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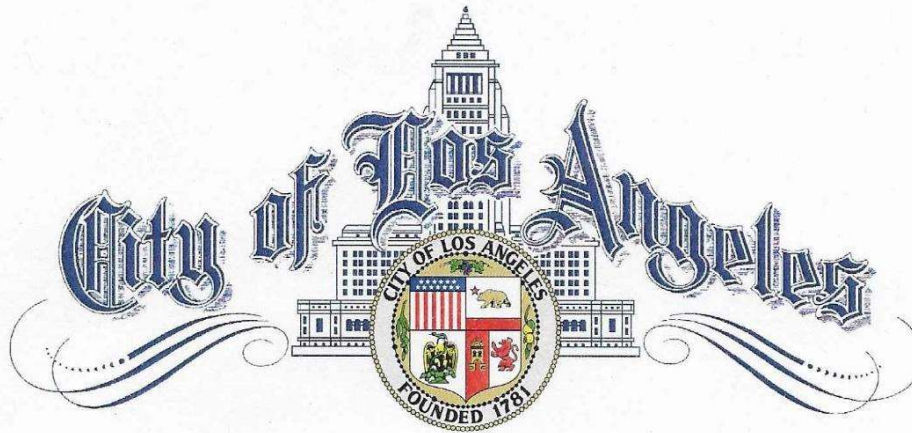
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June 28, 2022

Councilmember Kevin de Leon
Chair, Homelessness and Poverty Committee
200 N Spring Street, Suite 425
Los Angeles, CA 90012

Re: Council File 21-0052, 2025 Homeless Housing Goal

Dear Councilmember de Leon and committee members,

Homelessness is without question the overarching crisis of our time, and I thank you for your continued efforts to push the envelope to secure additional housing interventions for our city's most vulnerable residents.

The Chief Legislative Analyst's report in response to the above-referenced motion is illustrative of the tremendous work that has been done to bring more than 22,500 new interventions online. But, it also highlights the significant challenges the City continues to encounter in responding to the need for substantial amounts of new housing suitable for persons currently experiencing homelessness or living in any one of several forms of interim housing or shelter.

Even before the City crafted its Homeless Strategy and, in 2016, successfully placed Measure HHH before the voters to generate \$1.2 billion for Supportive Housing and other facilities to serve persons experiencing homelessness, the Mayor and the several City departments responsible for managing the City's land holdings began reviewing the inventory of those properties. The goal was to identify any that might be suitable for affordable or homeless housing. Emphasis was placed on surplus and underutilized properties.

The City had employed a "low-hanging fruit" strategy that pursued the easiest to acquire or repurpose properties first and foremost. This strategy resulted in the City being able to bring dozens of interventions to fruition in relatively quick order. But it also created significant geographic disparities in the siting of these interventions, with notable deficiencies being found in high-land-cost areas of the city.

Despite these constraints, over the course of some three years, intense negotiations and a major renovation, in 2020 an aging motel on South La Cienega finally became the district's first A Bridge Home site. And I'm proud to say that two HHH projects, one on a private lot on North La Brea and another in West Los Angeles are now under construction, with the latter being one of the first HHH projects to employ more cost-effective modular construction techniques. But, much, much more is needed.

As Councilmember for one of the City's highest-land-cost districts (see attached map), I know firsthand the difficulties associated with finding usable sites. Council District Five's neighborhoods almost all fall into the high-cost category and typically attract expensive development projects.

The Los Angeles Alliance litigation has also emerged as a focal point for the City's efforts to find shelter and housing for the unhoused. Unfortunately, the Council has chosen to structure its response on an "each district is responsible for its own" basis, heightening the challenge several high-land-cost districts have faced. In light of this settlement, we have no choice but to implement strategies - including spending more money if necessary - that will enable us to meet our obligations.

Unfortunately, my efforts to build on these admittedly modest beginnings have been continually thwarted by those same high-land-costs, the lack of sufficient City or other public funds, property unavailability, square footage deficiencies, and losing out to private sector buyers/developers. More than 100 potential sites (see attachment) have either fallen through or been rejected by City coordinators because the property is too expensive or the parcels are too small.

Moreover, the public's perception of our efforts has not been complimentary, which is understandable considering conditions on our City's streets. The specter of per-unit costs in the \$600,000-\$700,000 range for many HHH projects (even though the City's direct investment is strictly limited to \$140,000 per unit) has understandably drawn criticism.

The time it takes to develop projects, slowed by convoluted financing processes and City permitting, along with construction time (which slowed during the pandemic) has the public wondering where its billion dollars-plus went. They'll see soon enough, but in the meantime, our affordable housing shortage, inflation, and pandemic disruptions to employment have increased the number of unhoused persons in Los Angeles.

As the City moves forward with a resource allocation plan in the wake of the Alliance settlement, I encourage this committee and all of the City's decision-makers to re-evaluate the methodology and system of prioritization used to site homeless housing, and move in a direction that takes into consideration the variable sizes and costs of property in the City of Los Angeles, and the need to equitably distribute homeless interventions and services throughout the city (see Council File 22-0045).



Councilmember Kevin de Leon

June 28, 2022

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As my tenure on the City Council winds down, I remain committed to doing everything I can to create long-term solutions to homelessness. I am no more satisfied with my district's progress - or lack thereof - than are my constituents, critics and colleagues. If we are to continue to try to address these issues district-by-district, I must look to all of the City's decision makers to seek solutions that are realistic and which take into account the unique obstacles and needs of each district in this diverse city.

Thank you,

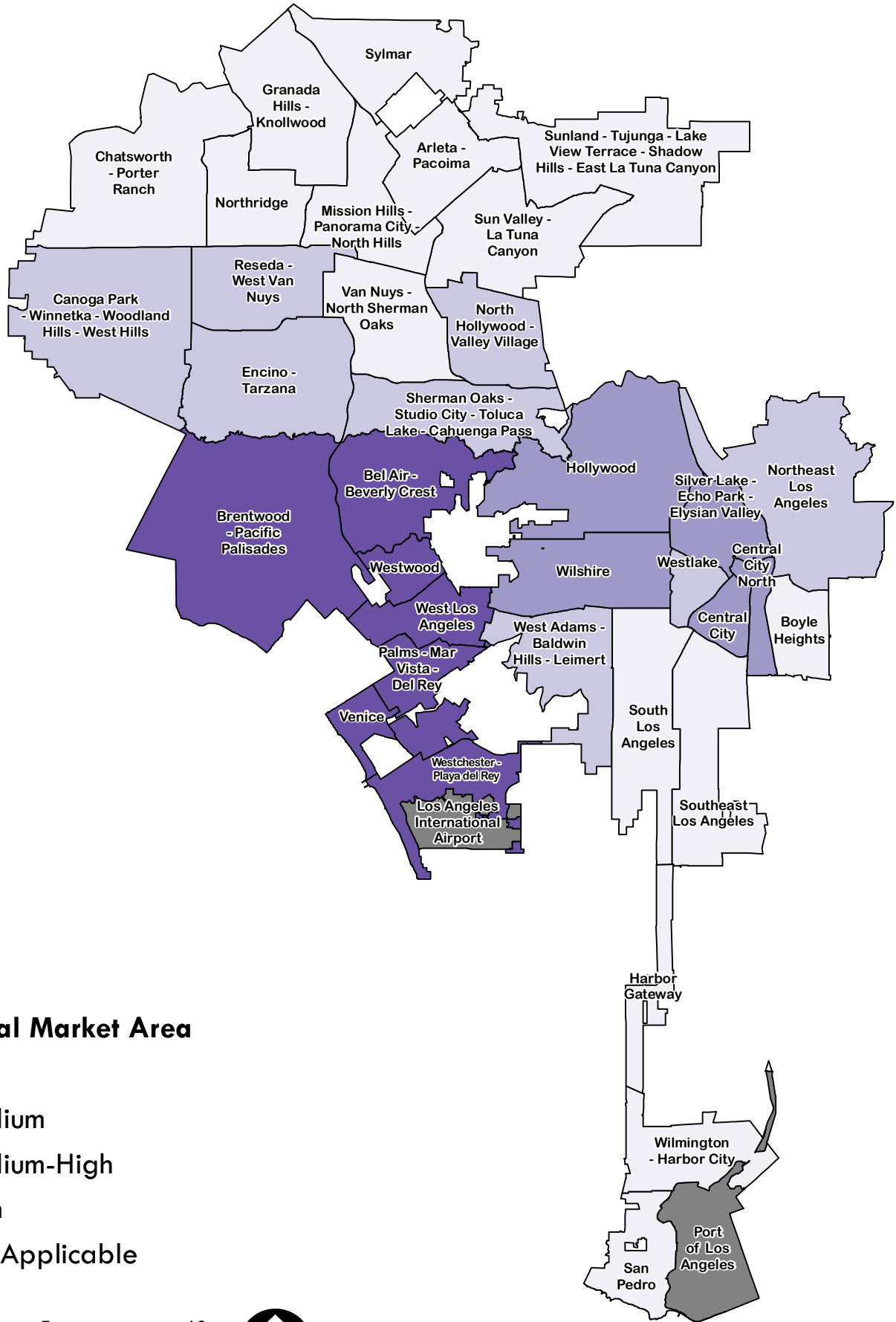


PAUL KORETZ

Councilmember, 5th District

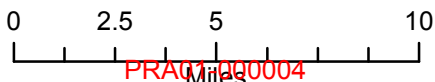


Affordable Housing Linkage Fee Residential Market Areas



Residential Market Area

- Low
- Medium
- Medium-High
- High
- Not Applicable



PRA01000004
8/23/23

MASTER LIST											
CD	Ownership	Site Name	Parcel Number	Zip Code	Address	Sq. Ft.	Zoning	Site Visit	Status/Feasible?	Project Type (for Roadmap)	Notes
5	City	LA DOT Lot 680	4363018904	90024	1036 Brodton Ave	29,070	C4-2D-O				Commercial uses on the first floor, two blocks from UCLA campus. TOC Tier 3
5	City	LA DOT Lot 748	4323013900	90025	11050 - 11010 Santa Monica Blvd	10,500	C2-1VL-O, TOC Tier 3		Motion issued 5/1/18; not good for interim housing.		LADOT lot adjacent to a 4-story office building (C2) and a 2-story residential (R3). Adjacent property is underutilized (Santa Monica Collision); very close to bus routes; alley access in the rear of site. Site dimensions for the lot are 88 ft x 120 ft.
5	Private				10320 Olympic Blvd	32,963			No	Interim Housing	Owner not interested in leasing for interim housing.
5	Private				10612 National Blvd.	10,273			No	Interim Housing	Too small for interim housing.
5					1070 Veteran Ave.				No	Interim Housing	parking structure; unsafe for safe parking
5					10833 La Conita Ave.				No	Interim Housing	parking structure; unsafe for safe parking
5	Private				11161 W. Pico Blvd.	20,000			No	Interim Housing	Too small for interim housing
5	Private				1977 Sepulveda Blvd.	39,000			No	Interim Housing	Not open to lease, only sale, and multiple bids are pending
5	Private	CF 21-0437			200 S. La Brea	49,932			No	Interim Housing	Owner not interested in leasing for interim housing because of mixed-use building.
5	Private				2347 Pontius Ave.	6,536			No	Interim Housing	Too small for interim housing
5	Private	CF 21-0437			2352 S. Sepulveda Blvd.	12,729			No	Interim Housing	Owner is in negotiation with a long-term client. Site not available for lease.
5	Private				371 S. Fairfax	9,338			No	Interim Housing	Too small for interim housing.
5	Private				401 S. Robertson (Beverly Hills)	15,831			No	Interim Housing	Outside of City of Los Angeles jurisdiction
5	Private				411 S. Fairfax	4,400			No	Interim Housing	Too small for interim housing.
5	Private				477 S. Fairfax	4,400			No	Interim Housing	Too small for interim housing.
5	Private				543 N. Fairfax Ave.	22,164			No	Interim Housing	Proposed rent ~\$150,000. GSD to inquire if parking lot can be leased for no cost for safe parking.
5	Private				6423 Wilshire Blvd.	17,712			No	Interim Housing	Per GSD, owner is not interested in leasing for interim housing; BC did initial review, and concerned about location (busy intersection, next to new luxury apartments)
5		Former Montessori school			650 N San Vicente	13,650			No	Interim Housing	Pending lot size parameters
5	Private	CF 21-0437			8765 Burton Way 90048	13,962			No	Interim Housing	Owner not interested in leasing for interim housing.
5	Culver City				9415-9427 Venice Blvd.	12,500			No	Interim Housing	Too small for interim housing.
5	RAP	L-Shaped parking lot that would require coordination with RAP field operations			Bad News Bears Baseball Park 1401/1411 S. Sepulveda	42,562			No	Interim Housing	Actively used park, not compatible with interim housing
5	RAP	Relocate trailers to locations that allow restored public access to park facilities.			Cheviot Hills Park 2551 Motor Ave				No	Interim Housing	Actively used park, not compatible with interim housing
5	LADWP	Parking scattered throughout site, and world require coordination with DWP operations.			LADWP West LA Commercial Office 1394 S. Sepulveda Blvd.	95,000			No	Interim Housing	Active LADWP Office
5	RAP	L-Shaped parking lot that would require coordination with RAP Rac Center operations			Westwood Recreation Center 1350 S. Sepulveda Blvd.	102,000			No	Interim Housing	Actively used park, not compatible with interim housing
5	US Government				Wilshire Federal Building 11000 Wilshire Blvd				No	Interim Housing	4/30 letter from GSA, lot is highly used
5	Private	Former swim school			2810 S. Robertson Blvd.	10,125			No	Interim Housing	Too small for interim housing, challenging to design around multiple in ground pools
5	Metro				Irene and Motor	8,766			No	Interim Housing or Safe Parking	Too small for interim housing and not recommended for safe parking because of low need
5	Private	Church parking lot, privately owned, owner reached out to offer the lot a couple of years ago.			St. John's Presbyterian Church 11000 National Blvd. LA 90064				No	Safe Parking	Because of community pushback, the owner does not want to proceed at this time and the CD agreed. CD looking for a different lot to use instead.
5					1018 Hilgard Ave.				On Hold	Interim Housing	UCLA property; spoke with CD on 9/4, waiting on CA to review deed
5	Private	Former Staples store			10830 W. Santa Monica Blvd.	15,498			On Hold	Interim Housing	
5	Private				6739 W. Olympic and 933 Schumer	22,212			On Hold	Interim Housing	
5	Private				9616 W. Pico Blvd	52,655			On Hold	Interim Housing	4/5 AW to send to GSD to call for availability of Ralob's
5	Private				10330 Olympic Blvd	23,392			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				157 S. Fairfax Blvd	12,194			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				1975 S. Sepulveda Blvd	32,800			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				2929 S. Sepulveda Blvd	64,413			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				640 N. Sepulveda Blvd	31,130			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				8339 W. 3rd St.	19,132			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	U.S. Gov't (Federal)				Burbank Blvd.	40,000			Pending Clearance	Interim Housing	GSA-owned, likely leased to RAP; sent to RAP for clearance and pending response
5		CF 21-0437			9415-9427 Venice Blvd.				TBD	Safe Sleeping	Site is owned by Culver City and is pending direction by Culver City
5	Caltrans				1981 Cotner Ave.	72,834			With BOE	Interim Housing	9/14 sent to BOE for review
5	Private	CF 21-0437			10755 Venice Blvd	31,765			With Brilliant Corners	Interim Housing	Lower priority
5	Private	CF 21-0437			8755 Olympic Blvd	17,171			With Brilliant Corners	Interim Housing	Higher priority; pending inspection recommendation from BC; ADA inspection planned for 10/8 and physical needs inspection planned for 10/21
5	Private				3115 S. Sepulveda Blvd.	56,934			With GSD	Interim Housing	7/12: Pending response from broker if available for interim housing
5	Private	10 single family homes with 3 bedrooms, 3 bathrooms each			853-869 Detroit St.	13,227			With GSD	Interim Housing	Sent to Housing for PHK consideration & GSD for leasing inquiry; Owner open to leasing for 5 years. COO expected 9/21, asking \$7250/mth per home (10 3br/3ba homes); Send to LAHSA to inquire on leasing
5	Private				10830 Santa Monica Blvd.	15,498			With LAHD	Interim Housing	Sent to LAHD for PHK consideration
5	Private	Apartment complex listed as for sale			8377-8387 Blackburn Ave.	21,194			With LAHD	Interim Housing	For sale, bidding period ended 5/28. 13 vacant apartment units being marketed for long-term redevelopment of up to 50 units.
5	ABH				1479 S. La Cienega				Yes	A Bridge Home	
5					7253 Melrose Ave				Yes	Interim Housing	
5	Private	3-story assisted living facility, proposed by Brilliant Corners. Site has 31 rooms for up to 62 beds. Sprinklered and fire alarm system. Available for lease, 30k MG for min 5 years.			7253 Melrose Ave	12,240 sq ft (bldg) + 5,989 sq ft (lot)			Yes	Interim Housing	Approved for funding, pending lease agreement
5					Coalition to Abolish Slavery and Human Trafficking (CAST) Shelter - Address Withheld				Yes	Interim Housing	
5	Private	Chabad of UCLA	4363007028	90024	741 S. Gayley Avenue	13,314	[O]R4-1VL, TOC Tier 3				This property is owned by Chabad of California. It is a four story brick apartment building with parking on the ground level. The building may be historic - each front window is stained glass. The building s.f. is unknown. The building is just off the southeast edge of the UCLA campus, in the heart of the Westwood neighborhood. This is a dense residential area with student-serving shops and services, including grocery and restaurants. There is good bus service in the area, five lines are available at a bus stop half a block away.
5	City	Bel Air Bureau of Street Services Yard Bldg 8/14	4323026900	90025	1826 Cotner Ave	48,972	PF-XL				Owner has indicated he is not interested in meeting with CAO to discuss the use of this site for interim housing (6/11/18). Lot situated off the 405 freeway amongst M2-1 zones. Adjacent to the lot (corner of Nebraska Ave/S Sepulveda) are sections of commercial improvements.

5	Private		4251015006	90034	3443 S. Sepulveda	121,067	C2-1VL				Owner not interested- the site is a former Albertson's that is currently unoccupied. It is on a busy commercial corridor with shops and four story multifamily housing, directly across the street from a Trader Joe's. It is located one block from an elementary school, and very close to but across the freeway from the Mar Vista Recreation Center. Directly to the north of the site is a surface parking lot and a parking structure that serve the adjacent 12 story office building. The entire site is 121,000 s.f. The store itself is about 40,000 s.f. There is a parking area to the north (adjacent to the parking structure and lot of the office building) that is about 36,000 s.f. The dimensions are 125 feet x 290 feet. Internet searching leads us to believe that it is used to sell pumpkins at Halloween, and so it may have other seasonal uses as well. Physically this location would certainly work for a temporary bridge housing shelter, as it is rectangular and paved. It might have a slight slope. It would not have impact on the immediately adjacent neighbors, but it does have proximity to some uses that would be considered sensitive, such as an elementary school and the recreation center.
5	City		4309002901	90034	2317 S Beverwill Dr	80,170	R1V2-O				Nuisance abatement property. Land includes part of Benedict Channel (paved river), space between the channel and single-family homes, and a patch of trees and plants between the channel and Beverwill Dr (about 25,000 square feet). A golf course is also nearby. Note from GSD: "Clean up, fencing repair (est tant)"
5	City	LA DOT Lot 689	4305014903	90035	8866 Pico Blvd	14,400	C4-1VL-O, TOC Tier 3	y			On a commercial street, residential adjacent - an additional 26 parking spaces is under construction at the Pico Robertson Senior Community Apartments project. The motion indicates that the senior center requested additional parking spaces and through the SPRF (Special Parking Revenue Fund), it is currently under construction
5	City	LA DOT Lot 688	4332014901	90035	1156 Clark Dr	12,750	R3-1-O				The parking lot is at the bottom floor of a 5 story apartment building. The lot abuts a narrow alleyway along with commercial improvements facing Pico Blvd. Metro buslines are located adjacent to Robertson Blvd.
5	Private	Sunny Hills Assisted Living	4333011025	90035	8755 W. Olympic Blvd.	17,531	[Q]R3-1-O				Privately owned site, added at request of Council office. Owned by Jewish Education Movement. Unused licensed care facility could be converted to bridge housing. Located amongst residential zones. On the corner of Olympic Blvd and Robertsons Blvd are Metro buslines. Further down Olympic Blvd is La Cienega Park.
5	City	LA DOT Lot 642	4303001BRK	90035	1421 S Wooster St	14,800	[Q]R3-1-O				Appears to be part of Pico Wooster Senior Housing? Actual address seems to be 1417 S WOOSTER ST, and DOT lot is zoned for medium residential, lot connected to alley, very narrow, most definitely not 14,800 sq ft, part of parking might be under the senior
5	City	LA DOT Lot 703	4334001900	90048	123 S Robertson Blvd	23,620	[Q]C2-1VL-O				Robertson Parking Structure, commercial uses on the first floor. Lot sandwiched between both commercial improvements and residential zones.
5	Private		5088001001	90048	6739 W Olympic Blvd	22,212	[Q]C2-1-O- HPOZ, TOC Tier 3				Privately-owned lots at the corner of Olympic Blvd and La Cienega Blvd. Three parcels in total: 17,000 SF in vacant land. A fire damaged single-family home is located on one of the parcels. The site borders the City of Beverly Hills, as it is adjacent to La Cienega Park, which has baseball fields, a children's playground, and a community center. Across La Cienega Blvd are more City of Beverly Hills facilities, such as the Margaret Herrick Library and the La Cienega Tennis Center. The lot is adjacent to residential and commercial zones. There are four bus lines the site's intersection. The site also has a billboard on the site; it is unclear whether or not the billboard owner has rights regarding the site. Water, sewer, stormdrains, and power are readily available from Schumacher Street. BOE estimates that a facility on this site could house 45 total beds, 30 men and 15 women
5	Private		5527035027	90048	7951 W Beverly Blvd	12,847	C2-1VL, TOC Tier 3		Review requested by CD 5. Property Profile complete 05/09/18		Interim housing - Property being sold. Current owner not interested in discussing- this site has been recommended for use as a Temporary Shelter by CD 5 staff, who have observed people experiencing homelessness in the area. The building sits on a corner property located on Beverly Blvd, a street with commercial uses, and N Hayworth Ave, a street with many multi-family residences. The lot measures 12,847 SF and behind the building, across an alley way, is an Assisted Living Facility
5	City		2293010902	90049	16465 W MULHOLLAND DR	9,045	RE15-1-H			Transfer to Rec and Parks?	Site appears to be in use as an overlook - "The Groves Overlook". Parcel located across the street from Fire Station No. 109. Site adjacent to is single-family homes with pools and tennis courts
5	City		4369007900	90049	11381 CHALON RD	65,844	RE20-1-H-HCR			CF 96-2139, inverse condemnation.	(In between Bel Air estates and Brentwood) Obtained through inversion condemnation (CF-96-2139) A large home was on the site, which has since been demolished. Parcel adjacent to high-end, single-family homes. Street access off of Chalon Road. Across the street from John Thomas Dye School
5	City		4255019900	90064	EXPOSITION BLVD/SELBY AVE	28,671	R1-1			Vacant Land	According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders stoo for Metro Expo Line
5	City		4255019901	90064	EXPOSITION BLVD/SELBY AVE	10,189	R1-1			Bike path	Parcel appears to be part of Exposition Corridor Bike Path
5	City		4255020900	90064	2657 S OVERLAND AVE	30,477	R1-1				According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders stoo for Metro Expo Line
5	City		4255021900	90064	EXPOSITION BLVD/WESTWOOD BLVD	23,117	R1-1				According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders stoo for Metro Expo Line
5	City		4318033901	90064	3195 S MOTOR AVE	6,896	PF-1XL, TOC Tier 3			Residential Vacant Land?	Narrow, sloping lot located between the 10 freeway and the back of the Chabad of Cheviot Hills. 25' of street frontage to Motor Ave. Lot dimensions: 33ft x 230 ft.
5	City	LA DOT Lot 685	4320004900	90064	2386 Malcolm Ave	6,450	R1-1-O	y	2/27/18 (Site Visit Sherilyn/Daniel)		Lot located in residential neighborhood across the street from Westside Pavilion (large commercial improvement) (corner of Pico Blvd/Westwood Blvd).
5	City	LA DOT Lot 715	4320005902	90064	2371 Overland Ave	10,887	R1-1-O, TOC Tier 3	y	2/27/18 (Site Visit Sherilyn/Daniel)		Parcel is bisected by an alley. Parking Lot not highly utilized. Chase bank is adjacent. In high-end residential neighborhood. Site dimensions about 85ft x 120ft
5	City	LA DOT Lot 698	4320013901	90064	2367 Prosser Ave	12,050	R1-1-O, TOC Tier 2	y	2/27/18 (Site Visit Sherilyn/Daniel)		Behind commercial uses and adjacent to high end single family neighborhood. Alley access. Lot dimensions are about 90 ft by 150 ft. Less than one mile from Midvale.
5	City	LA DOT Lot 707	4322004903, 4322004902	90064	2377 Midvale Ave	16,860	R1-1, TOC Tier 3	y	2/27/18 (Site Visit Sherilyn/Daniel)		Corner lot and adjacent area behind alley. One parcel is approx. 10k SF and fronts Pico Blvd. Adjacent to single family homes (R1), the rear lot is approx. 7k SF and can be used for replacement parking. Access from Westside mall.
5	City		4371001900	90077	10535 W FORUM LN	3,316	RE40-1-HCR			Vacant Land	Hillside, vacant lot. No street access. No adjacent homes, though there are adjacent private property owners
5	City		4371006900	90077	10427 W LARNED LANE	12,601	RE40-1-HCR			Vacant Land	Hillside lot behind single family homes in upscale residential area. No street access to lot, only unpaved Larned Lane. Adjacent parcels are single family homes
5	City		4371007900	90077	10533 E LISBON LN	7,500	RE15-1-HCR			Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only to unpaved Lisbon Lane
5	City		4371008900	90077	10465 W LISBON LN	5,232	RE15-1-HCR			Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only to unpaved Lisbon Lane. All adjacent property owners are private
5	City		4371009900	90077	1540 N Crater Lane	5,185	RE15-1-HCR			Vacant Land	Hillside vacant lot next to high-end single family homes. Street access along Crater Lane, which is unpaved in that section. No Google Street view for site.
5	City		4371015901	90077	1526 N YONKERS LN	14,999	RE40-1-H-HCR			Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only access to unpaved Yonkers Lane. Land located behind 1437 N BEVERLY GLEN BLVD
5	City		4371016900	90077	1207 N BEVERLY GLEN BLVD	3,079	RE15-1-HCR			Vacant Land	Hillside, vacant lot Street access off of Beverly Glen Blvd. Adjacent to one single-family home
5	City		4371020900	90077	BEVERLY GLEN BLVD/HOLLYBUSH LN	14,166	RE40-1-H-HCR			Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, not even an unpaved road
5	City		4371023900	90077	919 N HOLLYBUSH LN	2,415	RE40-1-H-HCR			Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4371024900	90077	969 N HOLLYBUSH LN	3,080	RE40-1-H-HCR			Vacant Land	Vacant lot up and behind to one single-family home in exclusively high-end single family neighborhood
5	City		4371024901	90077	1013 N HOLLYBUSH LN	11,604	RE40-1-H-HCR			Vacant Land	Hillside, vacant lot. No street access, only to unpaved Hollybush Ln. One adjacent property owner is the State of California, Santa Monica Mountains Conservancy. Land behind home at address: 936 N BEVERLY GLEN BLVD

5	City		4371024902	90077	1029 N HOLLYBUSH LN	2,737	RE40-1-H-HCR		Vacant Land	Nuisance abatement property. Hillside, vacant lot. No street access. Behind one single-family home
5	City		4371024903	90077	1037 N HOLLYBUSH LN	2,874	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4371025902	90077	Hollybush Lane	2,629	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access. No adjacent homes, though adjacent property is privately owned
5	City		4371027901	90077	1044 N FERNBUSH LN	10,317	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access, only to unpaved Fernbush Lane. No adjacent homes. Some adjacent parcels owned by Mountains Recreation and Conservation Authority
5	City		4371028901	90077	1215 N ARIMO LN	2,670	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371030900	90077	1401 N ARIMO LN	2,541	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031902	90077	1243 N BASIL LN	2,551	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031903	90077	1307 N BASIL LN	2,552	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031904	90077	1313 N BASIL LN	2,735	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031905	90077	BEVERLY GLEN / FERNBURSH	2,571	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371032900	90077	1319 N BASIL LN	2,552	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371032903	90077	ARIMO / BEVERLY GLEN	2,379	RE15-1-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access.
5	City		4371032907	90077	ARIMO / BEVERLY GLEN BLVD	2,757	RE15-1-HCR		Vacant Land	Vacant lot up and behind to one single-family home in exclusively high-end single family neighborhood
5	City		4371033900	90077	1423 N BASIL LN	35,900	RE40-1-HCR		Vacant Land	Vacant hillside in high end single family residential area. No street access, except to unpaved Basil Ln and Langtry Ln. Adjacent property owners are private, though across the "street" from Langtry Ln are parcels owned by the Mountains Recreation and Conservation Authority
5	City - RAP		4371033902	90077	1517 N MIRABEL LN	26,193	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371033903	90077	1446 N LANGTRY LN	10,887	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. No adjacent homes
5	City		4371034900	90077	1553 N CULEBRA LN	5,039	RE40-1-H		Vacant Land	Vacant hillside in high end single family residential area. No street access, only to unpaved Culbra Ln. No adjacent homes, all adjacent property owners private. Some nearby properties owned by Mountains Recreations and Conservation Authority
5	City		4371034903	90077	1600 N DESSERTY LN	7,447	RE40-1-HCR			Vacant hillside in high end single family residential area. No street access, only to unpaved Desserty Ln and Culbra Ln. No adjacent homes, all adjacent property owners private. Some nearby properties owned by Mountains Recreations and Conservation Authority
5	City		4371035901	90077	1628 N MIRABEL LN	2,564	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371035902	90077	1611 N DESSERTY LN	2,552	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371035903	90077	1559 N DESSERTY LN	2,554	RE40-1-H-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371037900	90077	1529 N LANGTRY LN	2,678	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371038901	90077	1707 N CRATER LN	2,541	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371038902	90077	1721 N CRATER LN	2,621	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371039900	90077	1729 N ELM TREE LN	2,714	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371039902	90077	1737 N ELM TREE LN	2,922	RE15-1-H-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access. Adjacent to one single family home
5	City		4371039903	90077	10201 W LELIA LN	2,627	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041900	90077	1753 N Wild Rose Lane	2,501	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041901	90077	1814 N ELM TREE LN	2,559	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041905	90077	1734 N CALGARY LN	2,532	A2-1&K		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041906	90077	1722 N CALGARY LN	2,535	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371046900	90077	10328 W CARIBOU LN	2,519	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4377013900	90077	2081 N ROSCOMARE RD	14,294	RE15-1-H-HCR		Vacant Land	Hillside vacant lot. Lot is L-shaped, sitting between two single-family homes, and has street access along Roscomare Road. The lot is in a high end single family residential area, far from transit. Dimensions of lot are 58 ft x 211 ft. Nuisance abatement property
5	City		4378014900	90077	2660 N ROSCOMARE ROAD	15,254	RE15-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access; property landlocked by adjacent properties, which are high-end single family homes with private owners. According to Google Maps, parcel appears to be in use by one of these adjacent properties: 2900 N Antelo View Dr (or 2728 N Roscomare Rd). One parcel away is open spaced managed by Department of Water and Power
5	City		4379003905	90077	BUSHROD LN/MANASQUAN LN	2,527	R1-1		Vacant Land	Small lot off dirt road in single family residential area. Most surrounding parcels are owned by Department of Water and Power, near Stone Canyon Reservoir
5	City		4379004907	90077	LATIMER LN/MANASQUAN LN	2,500	R1-1		Vacant Land	Small lot off dirt road in single family residential area. Most surrounding parcels are owned by Department of Water and Power, near Stone Canyon Reservoir
5	City		4379004910	90077	LATIMER LN/MANASQUAN LN	2,496	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access. Adjacent to four single family homes
5	City		4379004912	90077	LATIMER LN/LOUVAN LN	2,499	RE40-1-H-HCR		Vacant Land	Vacant, hillside lot between two single family homes. Street access along Basil Lane. Many adjacent properties are managed by DWP
5	City		4379004914	90077	LATIMER LN/LOUVAN LN	2,935	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4379004915	90077	2647 N BASIL LANE	2,496	RE40-1-H-HCR		Vacant Land	Vacant lot adjacent to one single-family home in exclusively high-end single family neighborhood
5	City		4379006902	90077	LATIMER LN/MANASQUAN LN	2,490	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4379015907	90077	POINTER LN/BONPAS LN	2,660	RE40-1-H-HCR		Vacant Land	Vacant hillside lot not near any development. No street access
5	City		4379020902	90077	BUSHROD LN/DEVORE LN	2,588	RE40-1-H-HCR		Vacant Land	Vacant hillside lot not near any development. No street access. Most adjacent landowners are private, but very close to LADWP properties.
5	City		4380003900	90077	2312 N DELLWOOD LN	2,642	RE15-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4380006900	90077	2247 N ELK	2,690	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4380009900	90077	10587 W SCENARIO LN	2,515	RE15-1-HCR		Vacant Land	Hillside, vacant lot. Street access off of Scenario Ln. Adjacent to two single-family homes
5	City		4380016900	90077	2038 N DELLWOOD LN	2,802	RE15-1-H-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4380019900	90077	1910 N DELLWOOD LN	2,668	RE15-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4380021900	90077	1948 N SPRUCEWOOD LN	45,390	RE40-1-HCR		Vacant Land	Hillside, vacant lot up and behind single family residential homes. No street access, except to unpaved Lillis Ln. Some adjacent properties are owned by the State of CA Mountain Recreation and Conservation Authority. Part of land appears to be in use by one adjacent property: 1916 N Sprucewood Ln.

5	City		4380021902	90077	10222 W ORTIZ LN	10,072	RE40-1-H-HCR		Vacant Land		Vacant hillside in high end single family residential area. Most nearby property owners are private, though some owned by Mountains Recreations and Conservation Authority. On adjacent property owner is the State of California Santa Monica TNS Conservation. No street access, except to unpaved Ortiz Ln
5	City		4380022900	90077	1917 N SPRUCEWOOD LN	2,709	RE40-1				Appears to be used as part of driveway for two single family homes, land located in hilly single family residential neighborhood
5	City		4380028900	90077	2164 N POINTER LN	2,629	RE15-1-HCR		Vacant Land		Hillside, vacant lot in high end single family residential area. No street access. One adjacent parcel is owned by State of CA Mountains Recreation and Conservation Authority. Other adjacent landowners private
5	City		4380031901	90077	2329 N LATIMER LN	15,599	RE40-1-HCR		Vacant Land		Rocky hillside, vacant lot. Street access along Beverly Glen Blvd. All adjacent properties are high-end single family homes (across the street from 2355 N BEVERLY GLEN BLVD)
5	City		4380032900	90077	2353 N BASIL LN	41,494	RE40-1-HCR		Vacant Land		Vacant lot on rocky hillside. No street access, except to unpaved roads. All adjacent properties are high-end single family homes, though across the unpaved "street" Basil Ln is land owned by the City, contiguous to land managed by RAP, which forms Beverly Glen Park
5	City		4382029900	90077	2502 N BEVERLY GLEN BLVD	612,484	OS-1XL-HCR		Open Space		Vacant hillside, marked for open space, part of Beverly Glen Park. Transfer to Recreation and Parks?
5	City		4356011900	90210	1318 BENEDICT CANYON DR	52,606	RE15-1-H-HCR		(94-1495)		Hillside lot next to high end single family homes. There appears to be the foundation of a since demolished single family home on the property. Street access on Benedict Canyon Dr. In 1994 there was a motion to sell the site (94-1495)
5	City		4357015901	90210	11080 CIELO DRIVE	5,916	RE15-1-H-HCR		Vacant Land		Vacant, hillside lot in high-end, single family neighborhood. Street access along Cielo Dr.
5	City		4384033900	90210	9509 HIGH RIDGE	31,054	RE15-1-H-HCR		Vacant Land		Hillside, vacant lot up and behind single family residential homes, driveway access to High Ridge Dr. All adjacent property owners are private
5	City	Abandoned Fire Station 83	2258016901	91316	5001 Balboa Boulevard	15,921	[Q]PF-1XL	y	Public Facility		Abandoned Fire Station No. 83, CF-13-0476 allows the Armenian Cultural Foundation to negotiate a lease with the CLA; plans for the site include cultural center, recreation, senior center. Nuisance abatement property.
5	Private		APNTBD4, 2287009019	91436	16654 W CALNEVA DR	25,258	RE15-1-H		Vacant Land		Flat in a high end single family residential area (UNABLE TO LOCATE APN, or PARCEL) Address in ZIMAS returns a private owner
5	City		4371041903		ELM TREE LN/CALGARY LN	2,543	RE40-1-HCR		Vacant Land		Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4379013903		RIDGETOP LN/POINTER LN	2,487	RE40-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access. Some adjacent property owners are private, most are DWP
5	City		4379015903		BUSHROD LN/BONPAS LN	2,585	A1-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access. Some adjacent property owners are private, most are DWP
5	City		4379020903		BUSHROD LN/DEVORE LN	2,588	A1-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access
5	City- DWP	Reservoir	4379027900	90068	DWP STONE CANYON RESEVOIR	7,011,931	[Q]OS-1XL		Reservoir		Square footage = very large. This APN contains the Stone Canyon Reservoir, as well as surrounding open space. There is a road that goes through the site: Lake Hollywood Dr. Surrounding neighborhoods are wealthy, single-family residential
5	City	CA Traditional Music Society	2258017900	91316	16953 W Ventura Blvd				Non-profit lease (C-111481)		Facility located on Encino Park (RAP-owned).
5	City	Career Planning Center	4303028900	90035	1623 S La Cienega Blvd	7,022	C2-1-O		Non-profit lease with Career Planning Center for workforce development services		built out, in use, minimal parking
5	City	The Odyssey Theater	4323024902	90025	2055 S Sepulveda Blvd	37,060	M2-1VL		Non-profit lease (C-097172) with The Odyssey Theater Foundation		performing arts theater on 37,000 SF site, approximately half parking. Housing development would require joint venture. Zoned for manufacturing, across the street from auto shop and yard; multifamily apartment buildings farther down the block.
5	City	Encino Community Center	2258018900	91316	4935 N. Balboa Blvd						over 40,000 sf across 11 parcels, all owned by rec and park. Community center has underutilized parking space, may be viable for redevelopment. Zoned for public facility.
5	Private	Goodwill Store and Donation Center	5527036024	90048	7915 W Beverly Blvd	27,792	C2-1VL, TOC Tier 3		CF 18-0825		Potential Interim Housing -- This privately-owned site is a former Goodwill Store and Donation Center. The address also includes a parking lot to the rear, about 9,750 square feet in size (150' x 65'). Adjacent uses on Beverly Blvd are commercial, and to the rear is are multi-family apartments. There is an alleyway to the east. A bus stop on the corner of Beverly Blvd and N Fairfax Ave serves six bus lines, including DASH Fairfax. It is a .3 mile walk to the Grove shopping center, and .5 miles to the Pan Pacific Park Recreation Center.
5	Private	Twenty-Eighth Church of Christ, Scientist	4360002021	90024	1018 S Hilgard Avenue	50,603	[Q]R3-1-O, TOC Tier 3		CF 18-0825		Potential Interim Housing -- The parcel is home to the Twenty-Eighth Church of Christ, Scientist. The main building (the lower three parcels, around 25,700 square feet) has been demolished. UCLA has purchased this land, to develop into student housing. The Church is retaining the smaller building on the other half of the property, the top two parcels. A temporary shelter would be located on the vacant land owned by UCLA before they develop their housing. Across a rear driveway is a parking lot owned by the Church; it is approx. 13,700 square feet in size, with dimensions approx. 125' x 106'. Nearly all adjacent uses are multi-family residential, though the Italian Cultural Institute is across the street. Commercial uses are nearby on Westwood Blvd, a 2 mile walk away; UCLA is the same distance away. At the intersection of Westwood Blvd and Lindbrook Dr. there is a bus stop which serves 8 bus lines.
5	Private		4323025005	90025	1977 S Sepulveda	65,600	M2-1VL, TOC Tier 3	y	site no longer available (9.28)		Three, single-story industrial buildings for lease. Located between Public Storage and car wash. Adjacent to other commercial and light manufacturing uses. Across the street is an animal Hospital with parking garage. Single-family and multi-family residential uses a block away down La Grange Ave. Many government facilities in the area: LA County Probation, LSNV Yard, LADWP. Seven bus lines are available: 3 miles away at S Sepulveda Blvd/Santa Monica Blvd. From Paul Burke's List. Lease information: (310)- 899-2704, Bob Dubbins. Broker sent Brochure -- \$2.25/SF, plus --\$0.15/SF in operating expenses, 25,000 SF Paul Burke prepared comps.



City Depts x LifeArk re: 2377 Midvale THV

Created by: Zachary Warma

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Wed Jun 14, 2023

My Notes

Guests

- ✓ Annabelle Gonzales
- ✓ cwee@lifeark.net
- ✓ Edwin Gipson
- ✓ Erik Villanueva
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ jdilworth@lifeark.net
- ✓ Kendra Leal
- ✓ Marina Quinonez
- ✓ Menoa Aghajani
- ✓ mohsen_anis@hotmail.com
- ✓ pcho@lifeark.net
- ✓ relrabaa@gmail.com
- ✓ rwee@lifeark.net
- ✓ ssale@lifeark.net
- ? Nathan Ho
- ⊗ Andrew Deblock
- ⊗ Eric French
 - Will be on vacation.
- ⊗ Hani Malki
- ⊗ Kevin Easton
 - Declined because I am out of office
- ⊗ Shine Lin
 - Analiz Marmolejo
 - Eugene Barbeau
 - Faruk Sezer
 - Kurt Corral
 - Leo Daube
 - Pejman Noori
 - Sean Dang
 - Zachary Warma



2377 Midvale Project Kickoff call

Created by: Zachary Warma · Your response: ✓ Yes, I'm going

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Thu Jul 6, 2023

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ jdilworth@lifeark.net
- ✓ Jose FUENTES
- ✓ Marina Quinonez
- ✓ Zachary Warma
- ? Gary Gero
- ✗ rwee@lifeark.net
Declined because I am out of office
- mohsen_anis@hotmail.com
- pcho@lifeark.net
- relrabaa@gmail.com



CD 5 Tiny Home Village: LifeArk Proposal

Created by: Marina Quinonez · Your response: ✓ Yes, I'm going

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Wed Jul 12, 2023

Description

Please add whoever needs to be present from the LifeArk team.

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ Dwayne Laurent
- ✓ Eric French
- ✓ Erik Villanueva
- ✓ Faruk Sezer
- ✓ Gary Gero
- ✓ jdilworth@lifeark.net
- ✓ Marina Quinonez
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ✓ Sean Dang
- ✓ Zachary Warma
- ⓧ Kevin Morales
- ⓧ Menoa Aghajani
- ⓧ Shine Lin
- ⓧ Hani Malki
- Eugene Barbeau
- Kevin Easton
- mohsen_anis@hotmail.com
- Pejman Noori
- relrabaa@gmail.com



Project Kick-Off/Check-In

Created by: Fernando Morales · Your response: ✓Yes, I'm going

Time

12pm - 12:50pm (Pacific Time - Los Angeles)

Date

Wed Jul 19, 2023

Description

Meeting Agenda:

- Introductions
- Document Review - Outreach Language (Leo) /Calendar of Major Actions (Zack/Fernando)
- Next Steps - Virtual and In-Person Meeting (Fernando) & Public Statement/Quotes (Leo)
- General Discussion

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ Fernando Morales
- ✓ George Hakopiants
- ✓ jdilworth@lifeark.net
- ✓ kmadigan@lafh.org
- ✓ Matthew Tenchavez
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ✓ Zachary Warma
- ? Gary Gero
- ⊗ Vanessa Saldana
In vacations.
- Analiz Marmolejo
kroberts@lafh.org
- Leo Daube
rkassenbrock@lafh.org



LA Family Housing / CD5: LifeArk Tyler Visit

Created by: rwee@lifeark.net · Your response: ✓Yes, I'm going

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Mon Jul 24, 2023

Where

2642 Tyler Ave El Monte CA 91733

Description

Parking: in the driveway if space permits or on the street

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ jdilworth@lifeark.net
- ✓ Katy Yaroslavy
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ✓ stephanie@lafh.org
- ✓ Zachary Warma
- Analiz Marmolejo
- Jenelle Henderson
- kmadigan@lafh.org
- kroberts@lafh.org
- Leo Daube
- Loren Jackson
- Perla Urzua

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #707, a surface parking lot that provides 41 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is divided by an alleyway. On one side of the alley is an R1-1 zoned, 6,794 square foot parcel adjacent to a single family house on a residential street. The parcel that fronts Pico Blvd. is 10,666 square feet and zoned NMU(EC). The surrounding uses are commercial.

There are two schools and two parks within roughly one half mile. There are two supermarkets within one mile of the site and two pharmacies within the same distance. The homeless services at the VA are roughly one mile from the site.

A Metro Expo station is within one quarter mile of the site, in addition to stops for Big Blue Bus lines 7, R7, 8, R12 and Culver City bus line CC3.

PRA01-000014
8/23/23

Owner: City of Los Angeles (LADOT)

Zoning: NMU(EC) [Pico parcels]; R1-1 [rear parcel]

APN: 4322004902; 4322004903

Lot Size: 16,860 SF



2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064
Council District (5): Katy Yaroslavsky



PRA01-000015
8/23/23



Andrew Deblock <andrew.deblock@lacity.org>

2377 Midvale Ave Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

1 message

Gary Gero <gary.gero@lacity.org>

Mon, May 8, 2023 at 4:50 PM

To: Gordon Stott <gordon@connect-homes.com>, Payal Gandhi <payal@connect-homes.com>, Richard Lee <richard.lee@connect-homes.com>, Heedo Chung <heedo@connect-homes.com>

Cc: Zachary Warma <zachary.warma@lacity.org>

Bcc: andrew.deblock@lacity.org

Dear Connect Homes Team,

Hello, my name is Gary Gero, and I am the Chief of Staff for Councilwoman Katy Yaroslavsky.

On behalf of the Councilwoman and the entire CD-5 team, I want to thank you for submitting preliminary plans for developing interim housing at the [2377 Midvale Avenue](#) LADOT parking lot. Bringing new housing to the district is the single highest priority of the Councilwoman and this office.

Having reviewed the various proposals, the Councilwoman desires to bring forward your proposal and that of another vendor to the broader community for feedback and input before making a final selection.

If you are interested in continuing with this process, we are asking that you furnish by **Friday, June 2nd** an update to your previous proposal that is inclusive of the following elements (many of which were already included in your initial proposal):

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

If possible, a site-specific rendering would be incredibly helpful in communicating to the public the look and feel of the facility.

In terms of next steps - upon receipt of the updated plans and renderings, the office will initiate a two week community engagement process, which will include a virtual town hall, a web page featuring the two proposals, and likely an in-person community event. Our team will promptly be in touch as we finalize the specific events.

No more than two weeks after the conclusion of the community engagement process, we will notify the selected vendor and then announce the decision publicly. The City Council motion to execute the contract with the selected vendor will then be introduced in Council concurrently with the public announcement.

A prompt confirmation of your participation is greatly appreciated. If you have any questions regarding the process, please do not hesitate to reach out to myself or Zachary Warma, who is cc'ed herein.

Thank you so much, and we look forward to further engagement with you and your team!

Kindly,
Gary

PRA01-000016



Gary Gero

Chief of Staff

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring St., Room 440](#)

[Los Angeles, CA 90012](#)



Andrew Deblock <andrew.deblock@lacity.org>

2377 Midvale Ave Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

3 messages

Gary Gero <gary.gero@lacity.org>

Mon, May 8, 2023 at 4:51 PM

To: Scott Sale <ssale@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Paul Cho <pcho@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>

Bcc: andrew.deblock@lacity.org

Dear Like Ark Team,

Hello, my name is Gary Gero, and I am the Chief of Staff for Councilwoman Katy Yaroslavsky.

On behalf of the Councilwoman and the entire CD-5 team, I want to thank you for submitting preliminary plans for developing interim housing at the [2377 Midvale Avenue](#) LADOT parking lot. Bringing new housing to the district is the single highest priority of the Councilwoman and this office.

Having reviewed the various proposals, the Councilwoman desires to bring forward your proposal and that of another vendor to the broader community for feedback and input before making a final selection.

If you are interested in continuing with this process, we are asking that you furnish by **Friday, June 2nd** an update to your previous proposal that is inclusive of the following elements (many of which were already included in your initial proposal):

- A *minimum* of 45 units, no less than 100 square feet,
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- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

If possible, a site-specific rendering would be incredibly helpful in communicating to the public the look and feel of the facility.

In terms of next steps - upon receipt of the updated plans and renderings, the office will initiate a two week community engagement process, which will include a virtual town hall, a web page featuring the two proposals, and likely an in-person community event. Our team will promptly be in touch as we finalize the specific events.

No more than two weeks after the conclusion of the community engagement process, we will notify the selected vendor and then announce the decision publicly. The City Council motion to execute the contract with the selected vendor will then be introduced in Council concurrently with the public announcement.

A prompt confirmation of your participation is greatly appreciated. If you have any questions regarding the process, please do not hesitate to reach out to myself or Zachary Warma, who is cc'ed herein.

Thank you so much, and we look forward to further engagement with you and your team!

Kindly,
Gary

PRA01-000018

**Gary Gero**

Chief of Staff

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring St., Room 440

Los Angeles, CA 90012

Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 2, 2023 at 11:41 AM

To: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>

All:

I am very excited to send along to you LifeArk's proposal for [2377 Midvale Ave](#)!

You can also find the file saved on the drive here: [LifeArk Proposal - Hope Pavillion](#)

----- Forwarded message -----

From: **Charles Wee** <cwee@lifeark.net>

Date: Fri, Jun 2, 2023 at 11:28 AM

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

To: Gary Gero <gary.gero@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Cc: Paul Cho <pcho@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Gary and Zachary,

Hope all is well. Lifeark is happy to submit this proposal for the CD-5 2377 Midvale project.

Cover sheet addressed to both of you will provide more details of the contents of the proposal. As I mentioned to Zach, we will submit the pre-submission project scope sheet for the City department meeting by 6/7 (Wed).

We have the original powerpoint presentation file we can share if you need it for any reason.

We are grateful for this opportunity to be part of the solution and we look forward to hearing from you. Also, as mentioned in the cover letter, we will be happy to help with any of your community outreach efforts.

Have a great weekend!

Thanks,
Charles
213-324-7228



On Tue, May 9, 2023 at 10:19 AM Charles Wee <cwee@lifeark.net> wrote:

Hi Gay and Zach,

Thank you for the invitation and opportunity to continue with the Midvale site development proposal.

We will be happy to provide an updated proposal before June 2. Thank you for your clear instruction on the programming and we will be able to have site specific renderings for the project as well as respond to your specific project requirements below.

I did try to call you or Zach this morning with a few questions about the project. Let me know if it would be possible to have a quick call with you or Zach to clarify a few items which can impact the design of the schemes.

Thanks again for the opportunity and look forward to submitting our updated proposal.

PRA01-000019

Thanks,
Charles

213-324-7228



[Quoted text hidden]

--



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org



CD5-Hope Pavilion-final.pdf

6852K

George Hakopiants <george.hakopiants@lacity.org>

Fri, Jun 2, 2023 at 2:33 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

These look great -- thank you, Zach!

[Quoted text hidden]

--



cd5.lacity.gov

George Hakopiants

District Director

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

[Quoted text hidden]



Zachary Warma <zachary.warma@lacity.org>

2377 Midvale LADOT Lot 707 - Topo Files

11 messages

Nathan Ho <nathan.ho@lacity.org>

Fri, Jul 21, 2023 at 11:50 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Good morning,

Please find attached the topo files for Midvale.

Regards,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



 **cd52377midvaleladotlot707topofiles.zip**
1766K

Zachary Warma <zachary.warma@lacity.org>

Fri, Jul 21, 2023 at 11:55 AM

To: Elda Mendez <emendez@lafh.org>

Cc: Stephanie Klasky-Gamer <Stephanie@lafh.org>

Elda:

Just for reference, please find attached herein the topo files prepared by BOE for Midvale.

[Quoted text hidden]

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

 **cd52377midvaleladotlot707topofiles.zip**
1766K

Zachary Warma <zachary.warma@lacity.org>

Fri, Jul 21, 2023 at 11:56 AM

To: Jonathan Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Cc: Paul Cho <pcho@lifeark.net>, Charles Wee <cwee@lifeark.net>

Jonathan and Rebecca:

Attached herein you'll find the topo files for Midvale, prepared by BOE.

Cheers,

Zack Warma

----- Forwarded message -----

From: **Nathan Ho** <nathan.ho@lacity.org>

Date: Fri, Jul 21, 2023 at 11:50 AM

Subject: 2377 Midvale LADOT Lot 707 - Topo Files

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

[Quoted text hidden]

[Quoted text hidden]



cd52377midvaleladotlot707topofiles.zip
1766K

Zachary Warma <zachary.warma@lacity.org>

Fri, Jul 21, 2023 at 11:57 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Marina Quinonez <marina.quinonez@lacity.org>

Nathan:

Thank you so much to you and your colleagues for all your work in preparing these files, and in such a timely manner!

Cheers,

Zack Warma

[Quoted text hidden]

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Fri, Jul 21, 2023 at 12:13 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Jonathan Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Paul Cho <pcho@lifeark.net>

Hi Zach,

Great! We will check the impact quickly and get back to you all!

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Fri, Jul 21, 2023 at 12:14 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Nathan,

Thank you for sharing! We will get back to you if we have any questions.

PRA01-000022

Thanks,
Charles
213-324-7228


On Fri, Jul 21, 2023 at 11:50AM Nathan Ho <nathan.ho@lacity.org> wrote:

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Fri, Jul 21, 2023 at 1:05 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>

Hi Marina and Nathan,

Thank you for getting the survey for us! It's very helpful to assess where we are.

With a quick look, it looks like the corner vent will have a bigger impact than I thought. Site is getting more challenging for a decent layout. Another critical question I have is, since the storm drain easement is not marked on the survey, can we get access to an accurate location of the storm drain easement? Would you be able to find out if there is any way to encroach a certain distance into the easement? Currently the easement is 12' but would we have a chance to get any relief to encroach into the edges a little?

BTW, one good news is we will be able to use the prescriptive foundation design for the expansive soils so we will not need to do the soils test.

Thanks and have a nice weekend.

Thanks,
Charles
213-324-7228


[Quoted text hidden]

jdilworth@lifeark.net <jdilworth@lifeark.net>

Mon, Jul 24, 2023 at 8:37 AM

To: Zachary Warma <zachary.warma@lacity.org>, Rebecca Wee <rwee@lifeark.net>

Cc: Paul Cho <pcho@lifeark.net>, Charles Wee <cwee@lifeark.net>

Thank you, Zack!

Jonathon Dilworth

M: 310.990.5880

LifeArk Builder

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 24, 2023 at 11:36 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Good morning Charles,

That's good news about the foundation design. We will have our team update the survey to show the requested information. It should be ready for you by the end of the week.

PRA01-000023

Thank you,
Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](#)
Email: nathan.ho@lacity.org



[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org> Mon, Jul 24, 2023 at 12:45 PM
To: Charles Wee <cwee@lifeark.net>
Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Charles,

Please see the attached files for your reference.

Thank you,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](#)
Email: nathan.ho@lacity.org



[Quoted text hidden]

2 attachments

 **CD5 - 2377 Midvale Lot 707.dwg**
1357K

 **CD5 - 2377 Midvale Lot 707.pdf**
546K

Nathan Ho <nathan.ho@lacity.org> Mon, Jul 24, 2023 at 4:50 PM
To: Charles Wee <cwee@lifeark.net>
Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hi Charles,

One more updated survey. Please disregard the files I forwarded earlier today. I am also trying to get an answer from the proper department if we are able to encroach a little bit into the storm drain easement.

Thanks,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)

PRA01-000024

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



[Quoted text hidden]



recd52377midvaleladotlot707topofiles.zip
1773K



CONNECT SHELTER 2 (A): LONG BEACH
ADDRESS: 1301 W. 12TH ST LONG BEACH, CA 90813

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LOCAL

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L-1.0

SAMPLE SITE PLAN 1
1/8" = 1'-0"





Andrew Deblock <andrew.deblock@lacity.org>

Accepted: 2377 Midvale THV Project - Next Steps @ Mon May 15, 2023 11am - 11:45am (PDT) (zachary.warma@lacity.org)

1 message

Andrew Deblock <andrew.deblock@lacity.org>
Reply-To: Andrew Deblock <andrew.deblock@lacity.org>
To: zachary.warma@lacity.org

Fri, May 12, 2023 at 3:56 PM

Andrew Deblock has accepted this invitation.**Join with Google Meet****Meeting link**meet.google.com/nno-bjox-jdi**Join by phone**(US) [+1 609-795-1395](tel:+16097951395)

PIN: 541809042

[More phone numbers](#)**When**

Monday May 15, 2023 · 11am – 11:45am (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

gary.gero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

andrew.deblock@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

[View all guest info](#)Invitation from [Google Calendar](#)

PRA01-000028

8/1/23, 2:37 PM

City of Los Angeles Mail - Accepted: 2377 Midvale THV Project - Next Steps @ Mon May 15, 2023 11am - 11:45am (PDT) (zachary...

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PRA01-000029



Andrew Deblock <andrew.deblock@lacity.org>

Accepted: City Depts x Connect Homes re: 2377 Midvale THV @ Mon Jun 12, 2023 10am - 11am (PDT) (zachary.warma@lacity.org)

1 message

Andrew Deblock <andrew.deblock@lacity.org>
Reply-To: Andrew Deblock <andrew.deblock@lacity.org>
To: zachary.warma@lacity.org

Mon, Jun 12, 2023 at 9:54 AM

Andrew Deblock has accepted this invitation.

Join with Google Meet

Meeting link

meet.google.com/emj-gwx-eibo

Join by phone

(US) [+1 470-735-3373](tel:+14707353373)

PIN: 856866041

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Attachments



Midvale Shelter Packag...



Midvale Shelters Budge...



Midvale Shelters Budge...

When

Monday Jun 12, 2023 · 10am – 11am (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

gary.gero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

menoa.aghajani@lacity.org

kevin.morales@lacity.org

faruk.sezer@lacity.org

eugene.barbeau@lacity.org

kevin.easton@lacity.org

pejman.noori@lacity.org

shine.lin@lacity.org

hani.malki@lacity.org

eric.french@lacity.org

sean.dang@lacity.org

nathan.ho@lacity.org

gordon@connect-homes.com

hannah@connect-homes.com

heedo@connect-homes.com

kyla@connect-homes.com

payal@connect-homes.com

richard.lee@connect-homes.com

kurt.corral@lacity.org

analiz.marmolejo@lacity.org

andrew.deblock@lacity.org

fernando.morales@lacity.org

leo.daube@lacity.org

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PRA01-000032



Allen Zipper <allen.zipper@lacity.org>

Accepted: Midvale Tiny Home Village - Next Steps @ Fri May 26, 2023 3:45pm - 4:15pm (PDT) (zachary.warma@lacity.org)

1 message

Allen Zipper <allen.zipper@lacity.org>
Reply-To: Allen Zipper <allen.zipper@lacity.org>
To: zachary.warma@lacity.org

Thu, May 25, 2023 at 6:34 PM

Allen Zipper has accepted this invitation.

Join with Google Meet

Meeting link

meet.google.com/fsa-hyxr-ngj

Join by phone

(US) +1 518-663-2766

PIN: 841688937

[More phone numbers](#)

Attachments

 MIDVALE INTERIM

All:

As June is fast approaching, we want to bring this group together to discuss communications and community engagement for the Midvale Tiny Home Village.

The current tentative calendar we are working off of can be found here: [MIDVALE INTERIM HOUSING - CALENDAR](#)

When

Friday May 26, 2023 · 3:45pm – 4:15pm (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

analiz.marmolejo@lacity.org

[View all guest info](#)

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PRA01-000034

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2K



Allen Zipper <allen.zipper@lacity.org>

Accepted: Midvale Tiny Home Village - Next Steps @ Fri May 26, 2023 3pm - 3:45pm (PDT) (zachary.warma@lacity.org)

1 message

Allen Zipper <allen.zipper@lacity.org>
Reply-To: Allen Zipper <allen.zipper@lacity.org>
To: zachary.warma@lacity.org

Mon, May 22, 2023 at 10:39 AM

Allen Zipper has accepted this invitation.

Join with Google Meet

Meeting link

meet.google.com/fsa-hyxr-ngj

Join by phone

(US) +1 518-663-2766

PIN: 841688937

[More phone numbers](#)

Attachments



MIDVALE INTERIM

All:

As June is fast approaching, we want to bring this group together to discuss communications and community engagement for the Midvale Tiny Home Village.

The current tentative calendar we are working off of can be found here: [MIDVALE INTERIM HOUSING - CALENDAR](#)

When

Friday May 26, 2023 · 3pm – 3:45pm (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

analiz.marmolejo@lacity.org

[View all guest info](#)

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2K



Andrew Deblock <andrew.deblock@lacity.org>

Accepted: Virtual Meeting re: Midvale @ Thu Jun 29, 2023 3pm - 3:30pm (PDT)
(katy.yaroslavsky@lacity.org)

1 message

Andrew Deblock <andrew.deblock@lacity.org>
Reply-To: Andrew Deblock <andrew.deblock@lacity.org>
To: katy.yaroslavsky@lacity.org

Wed, Jun 28, 2023 at 12:46 PM

Andrew Deblock has accepted this invitation.**Join with Google Meet****Meeting link**meet.google.com/txu-tnkt-sag**Join by phone**(US) [+1 605-646-0519](tel:+16056460519)

PIN: 843213888

[More phone numbers](#)**When**

Thursday Jun 29, 2023 · 3pm – 3:30pm (Pacific Time - Los Angeles)

Guests

katy.yaroslavsky@lacity.org - organizer

fernando.morales@lacity.org

zachary.warma@lacity.org

george.hakopiants@lacity.org

gary.gero@lacity.org

vanessa.saldana@lacity.org

matthew.tenchavez@lacity.org

andrew.deblock@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

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 **invite.ics**
2K



Andrew Deblock <andrew.deblock@lacity.org>

Announcing New Interim Housing on the Westside!

1 message

Councilwoman Katy Yaroslavsky <Councilmember.Yaroslavsky@lacity.org>

Mon, Jul 24, 2023 at 12:53 PM

Reply-To: Councilmember.Yaroslavsky@lacity.org

To: Andrew Deblock <andrew.deblock@lacity.org>

Email not displaying correctly? [View it](#) in your browser.



COUNCILWOMAN

KATY YAROSLAVSKY

LOS ANGELES COUNCIL DISTRICT 5



Taking bold action to fight the homelessness crisis is the most pressing challenge in Los Angeles. In the Fifth Council District, we have seen a dramatic increase in the number of people living on the streets in recent years.

According to the Los Angeles Homeless Count, there are as many as 1,300

PRA01-000041

people living in the district without a home. Unfortunately, due largely to the cost of housing on the Westside, there simply are not enough beds to bring people off the streets. In fact, there is only 1 interim housing unit for every 8 unsheltered Angeleno living in Council District 5. If we are to make meaningful progress on homelessness, we need to bring more beds online quickly.

That's why we are proud to announce a new interim housing project for the Westside set to open in 2024. Located at [2377 Midvale Avenue, Los Angeles CA 90064](#), this project will provide approximately 30 beds for participants living in the surrounding community. Each individual will be assigned to a living space, and be connected to an array of wrap-around services on-site.

The project will be constructed by [LifeArk](#), a Los Angeles-based company that creates beautiful, high quality modular structures. Once opened, operations will be led by [LA Family Housing](#), a national leader in helping people transition out of homelessness and poverty. LA Family Housing has a distinguished track record of operating well-managed buildings that provide participants with the services they need to stabilize their lives.

We understand that neighbors may have questions and/or concerns. To see the designs for the project, and learn about the safety protocols being implemented, building management and rules for participants, the construction schedule, and more, we invite you to join an information session in the coming days:

In-Person Information Session

Thursday, August 3, 2023 | 5:30 pm – 7:00 pm

Temple Isaiah Community Room

[10345 W Pico Blvd](#)

Virtual Information Session

Sunday, August 6, 2023 | 10:00 am – 11:00 am

To RSVP for one or both of these meetings, and to learn more about the project in general, click the button below:

[Click Here to RSVP](#)

Thank you for your continued support as we work together to bring an end to our homelessness crisis across the City.

All my best,

A handwritten signature in black ink that reads "Katy". The signature is fluid and cursive, with the first letter 'K' being large and prominent.

Katy Yaroslavsky
Councilwoman, Fifth Council District

councildistrict5.lacity.gov

Sign Up for Our Newsletter!



Councilwoman Katy Yaroslavsky

[200 N. Spring St., Room 440, Los Angeles, CA 90012](#)

[Unsubscribe](#)

Definitions	
Own a Piece of LA (OPLA)	City surplus undevelopable slivers of land and or remnants and a timeline for the sale of these properties to adjoining owners. These parcels are typically less than 5,000 square feet, are remnants from street widening or improvement projects and are no longer needed for City operations. Because of the limited size, narrow shape or inaccessibility of these parcels, they are incapable of independent development and can only be of use to the adjoining property owners.
Blocker Lot	The City of Los Angeles maintains 575 remnant lots that were once scheduled for use in another project. For a variety of reasons these lots were not developed. The departments of Transportation, City Planning and Public Works have requested that GSD not dispose of these lots. These departments need to preserve these lots for future projects, assist with traffic mitigation and potential hazards, and in some cases help block development the City believes is inappropriate for the area.
Surplus-Declared	Declared Properties: Properties declared surplus by the Mayor and City Council and available for sale.
Surplus-Undeclared	Undeclared Properties: Properties not yet available for sale.
Receivable Lease	Retail locations in City owned buildings, communication sites
Nonprofit Lease	Decommissioned City owned buildings or space within City owned buildings leased to non-profits providing community services
Holdover (lease status)	Renter staying in the property after their lease terminates without signing a new lease
CAO AMG	Office of the City Administrative Officer Asset Management Group
Municipal Facilities Capital Improvement Expenditure Program	The Municipal Facilities Capital Improvement Expenditure Program includes such public projects at public facilities as parks, recreation centers, libraries, animal shelters, cultural facilities, off-street parking lots and major maintenance projects to improve City facilities. Facilities required to support municipal operations, such as police and fire stations, landfills, shops, communications installations and other miscellaneous facilities owned or operated by the City are also included. (Projects from Municipal Facility Architect Program and Recreation and Cultural Facilities Program are listed in the notes section for a few properties)
NOTE	RAP is in the process of cleansing it's property data in the AMS. There may be missing RAP facilities, parks, and subparks in this data set.



Dylan Sittig <dylan.sittig@lacity.org>

CD 5 - Underutilized Properties for IH/AH/PSH

1 message

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, Apr 6, 2023 at 10:26 PM

To: Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>
Cc: Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Rachel Fox <rachel.fox@lacity.org>

Hi everyone,

Please find attached the property profiles for the 5 underutilized properties within your district that are being considered for interim housing, affordable housing, or permanent supportive housing.

I know there's special interest in the site on Midvale, so I will share this with BOE to begin the feasibility review for interim housing. If anyone has any questions, please let me know.

Thank you and have a great weekend!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

5 attachments**2367 Prosser Ave (03.10.23)(EAB).pdf**
419K**123 S. Robertson (03.14.23)(EAB).pdf**
337K**2377 Midvale Ave (03.10.23)(EAB).pdf**
381K**Olympic and Crenshaw (03.20.23)(EAB).pdf**
399K**1036 Broxton Ave (03.16.23)(EAB).pdf**
353K

Underutilized City-Owned Property

CM Direction

Site Address	Name	Controlling Dept	Current Use	Total sqft of Property	Zoning	Overlay	TOC Tier	Zoning explanation and possible density	Additional Information
2377 Midvale Avenue	Parking Lot # 707	LADOT	Parking Lot	16,860	NMU(EC)-POD R1-1	ECTNP	3	On the NMU portion, no density limit Height = 50 ft	The three lots have an alley running between them. 41 total parking spots. \$54K annual revenue. It is a low occupancy lot (below 40%, its mostly in the 30% range).
2367 Prosser Ave	Parking Lot # 698	LADOT	Parking Lot	12,035	R1-1-O	ECTNP	2	Base Density = 2 units	R1 is exempt from ECTNP. \$24K annual revenue. This lot has a high occupancy
1400 Sepulveda	LADWP Westwood Park facility	LADWP	LADWP Building, Parking, and Maintenance Yard	199,300	[Q]PF-1XL-O	None	3	Only residential allowed is PSH. No density limit for PSH No Height limit There is a limiting Q Condition. (Subarea 100)	Reach out to the Mayor's Office's Sustainability Team first, then can engage with LADWP Real Estate Adriana.Rubalcava@ladwp.com.
123 S Robertson Blvd	Parking Structure #703	LADOT	Parking Structure	23,770	[Q]C2-1VL	None	1	Base Density = 59 units TOC Tier 1 = 88 Height = 45 ft (TOC +11 ft)	3 story parking garage with ground floor retail. Q is not relevant to residential. 334 total parking spots
1036 Broxton Ave	Parking Structure #680	LADOT	Parking Structure	29,876	C4-2D-O	Westwood Village	3	Base Density = 37 units TOC Tier 3 = 62 Height = 40 ft	3 story parking garage with ground floor retail. 366 total parking spots
2513 S Sepulveda	Henry Medina Building	LADOT	Henry Medina Parking Enforcement Facility	133,531	[Q]PF-1XL	ECTNP	4	Only residential allowed is PSH. No density limit for PSH Height = 60 ft	Surface parking portions can be better utilized; whole property could also be considered for redevelopment. Q has some limits re yards, not a big issue.
2055 S Sepulevda	Odyssey Theater	GSD	Non-Profit Lease - Theater Company	48,270	M2-1VL [Q]P-1	ECTNP	3	Residential not allowed	Surface parking portions can be better utilized. The whole property could be redeveloped but would require a zone change and relocation of the theater company.
N/W Corner of Olympic and Crenshaw	Triangle at N/W corner of Crenshaw and Olympic	GSD	Vacant	16,220	None	None	3	N/A	This land used to be a street and has been filled in, is not currently being used and some neighbors complain about it.
2386 Malcolm Ave	Parking Lot # 685	LADOT	Parking Lot	6,445	R1-1-O	ECTNP	3	Base Density = 2 units	R1 is exempt from ECTNP
2371 Overland Ave	Parking Lot # 715	LADOT	Parking Lot	10,880	R1-1-O	ECTNP	3	Base Density = 2 units	R1 is exempt from ECTNP. 27 total spots
728 S Cochran	Parking Lot # 614	LADOT	Parking Lot	13,370	[Q]R4-1	Miracle	4	Base Density = 33 units	CDO review can be administrative if incompliance; split zoning of the site and
1623 La Cienega Blvd	Jewish Vocational Services	GSD	Non-Profit lease - JVS	10,530	C2-1	None	2	Base Density = 26 units	Current JVS lease term is through May 2027 with three 5 year extension options.
11168 Missouri Ave	Sewer maintenance building -	SAN and DWP	Sewer Maintenance	118,682	PF-1XL	None	N/A	Only residential allowed is PSH.	Freeway adjacency and active maintenance yard work may present an issue for

Yes - temporary and permanent

SEE ALSO: <https://docs.google.com/spreadsheets/d/1pUQeveTPN4Qj2LtWPtEU4Fn2ySmuP04/edit#gid=1140646797>

Privately Owned Properties to consider purchase or lease									
Site Address	Name	Owner	Owner Interest	CD 5 lead	Zoning	Overlay	Units	Zoning explanation and possible density	Additional Information
850 La Brea	850 La Brea	Amir Halavi, La Brea 9 LLC <rmglenproperties@gmail.com>, <amir42@gmail.com>	Yes, interested	?	C2-1	None	53	Currently under construction, not much progress has been made on the CoFo	Motion to use this site for Homekey 3.0 has been introduced, but never heard. https://cityclerk.lacity.org/lacityclerkconnect/index.cfm?fa=ccfi.viewrecord&cnumber=22-0253
1249-1259 Beverly Glen	Sinai Temple Beverly Glen Properties	Sinai Temple	Owner is interested in talking with the City about a Purchase	Allen	[Q]R3-1-O	Westwood DRB	25	Base Density = 19 units DB(35%) = 25 Height = 45 ft Design Review Board process	Temple is not pressing for a fast sale. Btwn \$5M and \$6.2M expected sale amount.
6001 Olympic	6001 Olympic	Michael Cohanzad, Wiesman Residential, Ogden Garden LP	Unknown	?	C2-1-O	None	57	Currently under construction, CoFo pending	
900 Hillgard	900 Hillgard	Dr. Eraj Basseri 310.801.3181.	Have been approached and is possibly interested in a sale, about \$20M	Allen / Patty	[Q]R3-1	Westwood DRB	?	vacant three-story office building with on site parking	https://la.urbanize.city/tags/900-hilgard-avenue https://new.dailybruin.com/post/university-religious-conference-to-sell-hilgard-avenue-property Site Visit 3.3.23 "McRitchie, Rob" <Rob.McRitchie@jll.com>. \$20M is too steep, will connect back to them in April 2023 to see if the sale went tthrough or not.
8755 Olympic	8755 Olympic	Jewish Educational Movement	Yes interested in leasing	Allen, Zach	[Q]R3-1-O	None	75	Built out	Need to coordinate with CAO, Mayor, Attorney, LADBS, and Fire. CAO beleives that the site has addressed the issues from the last round of conversations. CD 5 staff have take a site visit. About \$155K per month to lease and \$5.8M in construction and Planning costs. CAO has shared potential site plan options. 3/6/23: the bones of the site are good but rife with physical deficiencies (in 2021) (new roof, rotted wood, disrepair of interior balconies, PTAC/window AC units past life span, ADA upgrades, new water heater, fire/life safety is old and not code compliant(flow contorl value, exit signage), exterior cracks, needed to replace plumbing). Could accomodate more than 73 beds. Would have been \$5.9 M for capital upgrades to the facility, minimum; this is likely higher today. Would still need a full architeturall plan, permits, etc. The cost was the major issue in the past. Ownership has also been in litigation with the City Attorney in the past. There were signs that the building was occupied though, so some Qs about relocation. Best for this site may be PSH.
7253 Melrose	7253 Melrose	Jacob Getz, La Brea Gardens	Yes, but has not negotiated in good faith	?	C4-1XL	None	62	Built out as a 3-story assisted living facility, Corners. Site has 31 rooms for up to 62 beds. Sprinklered and fire alarm system. Available for lease	Ownership has not negotiated in good faith in the past and has raised the price multiple times, leading to talks breaking down.
3515 Overland	Country Villa South Convalescent Center	Westover Properties LLC	Per Allen the site will be coming up for sale soon	?	C2-1	ECTNP	155	Base Density = 97 units TOC Tier 2 = 155 No height limit	
806 Edinburgh	806 Edinburgh	Steven Scheibe, Generation Real Estate	Unknown	Dylan	R3-1	None	28	A 23 unit DB has been approved on the site; a 28 unit TOC is pending review.	Construction has not yet started.
724 Cochran	Parking lot adjacent to 728 Cochran	Maurice Refoua, H and R LLC	Unknown	?	[Q]R4-1	None	16	Base Density = 16 units TOC Tier 4 = 28 No height limit	If the owner is interested, this parcel could be combined with the adjacent City-owned lot. If we want to look at some of the other adjacent lots, that is also possible.
8765 Burton	8765 Burton	Thomas and May Yu, Versailles Office	Unknown	?	[Q]R4-1	None	34	Vacant lot; was identified as a possible site for Tiny Homes; 13,900 sqft. Base Density = 34 TOC Tier 1 = 51 No height limit, but some Q conditions	Council File 21-0437
9431 Venice	9415 Venice	City of Culver City	Unknown	?	MU(EC)	ECTNP	?	Culver City permit parking lot; was identified as a possible Safe Parking, Safe Camping, or tiny home site	Council File 21-0437. Gary is reaching out to Culver City for more information.
200 La Brea	200 La Brea	200 La Brea Partners	Unknown	?	C2-1LD, [Q]C2-1	None	?	Former Petco; was identified as a possible A Bridge Home or other interim housing site	Council File 21-0437 Council File 21-0437 Is included in the Status of Interventions for Homelessness Roadmap - Feb 2023, as pending approval. CAO has not had luck coordinating with this property owner. CAO will be deeming this site as infeasible.
10755 Venice	10755 Venice	Jacqueline Murray, Evard LLC	Not responsive	Zach	M1-1	None	?	Currently a 1-story manufacturing building	
6001 Pico	Orange Julius / LA Burger	Matt Nelson, Pico Sterns LP	They were open to discussions	Dylan	C4-1-O	None	48	Built out; some units have been leased already	Since some units have already been rented out, it might not make sense to pursue this option any more.
10602-10646 Venice Blvd.	10602-10646 Venice Blvd.	Michael Cohanzad, Wiesman Residential	Yes, interested in a short term use until summer 2023	Dylan / Allen	C2-1	None	N/A	Applicant has a proposed project on the site (DIR-2021-3405-TOC-SPR-HCA) but they are willing to work with us to demo the site and use it until about Summer 2024 as a short term / interim housing site (9 months with a 3 month extension option).	Applicant will need help to clear their demo permit and then 45 days at least for demolition and termination of the lease of the smog shop. They will also need assistance with resolving a City Attorney enforcement action against them related to demolition/fire at the site.

City-Owned Property in CD-5 for Potential Housing Interventions

Site Address	Name	Controlling Dept	Current Use	Total sqft of Property	Zoning	Overlay	TOC Tier	Zoning explanation and possible density	Additional Information	Desired Feasibility Use	Other Notes
2377 Midvale Avenue N/W Corner of Olympic	Parking Lot # 707 Triangle at N/W corner of	LADOT GSD	Parking Lot Vacant	16,860 16,220	NMU(EC)- POD R1-1	ECTNP None	3 3	On the NMU portion, no density limit Height = 50 ft N/A	The three lots have an alley running between them. 41 total parking spots This land used to be a street and has	Affordable or Supportive Housing - population agnostic; Interim interventions (tiny homes; safe parking; congregate shelter; pre-fab) in the near term Affordable or Supportive	Feasibility Analysis should be conducted assuming eventual zoning change to match uses along Pico; analysis should also contemplate vacation of the alleyway between the parcels; contemplate no-on-site parking
2367 Prosser Ave	Parking Lot # 698	LADOT	Parking Lot	12,035	R1-1-O	ECTNP	2	Base Density = 2 units TOC Tier 2 = N/A Height = 28 ft		Affordable or Supportive Housing - population agnostic	Feasibility Analysis should be conducted assuming eventual zoning change to match uses along Pico; contemplate no on-site parking
123 S Robertson Blvd	Parking Structure #703	LADOT	Parking Structure	23,770	[Q]C2-1VL	None	1	Base Density = 59 units TOC Tier 1 = 88 Height = 45 ft (TOC +11 ft)	3 story parking garage with ground floor retail. 334 total parking spots	Affordable or Supportive Housing - population agnostic	Feasibility Analysis should be conducted assuming demolition of pre-existing structure and new development; office is not opposed to contemplation of adaptive reuse, but should not be priority of analysis
1036 Broxton Ave	Parking Structure #680	LADOT	Parking Structure	29,876	C4-2D-O	Westwood Village	3	Base Density = 37 units TOC Tier 3 = 62 Height = 40 ft	3 story parking garage with ground floor retail. 366 total parking spots	Affordable or Supportive Housing - population agnostic; safe parking in the interim	Feasibility Analysis should be conducted assuming demolition of pre-existing structure and new development; office is not opposed to contemplation of adaptive reuse, but should not be priority of analysis; safe parking should not be the focus on the analysis, but basic assessment appreciated

Underutilized City-Owned Property

Controlling Dept/Bureau/Office	Site Address	APN	Name	Controlling Department	Council District	Current Use	Total Size of Property	Size of Underutilized Area	Restrictions on Use	Source of Acquisition Funds	Additional Information
LADOT	123 S Robertson Blvd	4334001900; 4	Parking Structure #70	DOT	5	Parking Structure	23,770	The whole lot could be redeveloped			3 story parking garage with ground floor retail
LADOT	2377 Midvale Avenue	432204902; 43	Parking Lot # 707	DOT	5	Parking Lot	16,860	16,860			The three lots have an alley running between them
LADOT	1036 Broxton Ave	4363018904	Parking Structure #68	DOT	5	Parking Structure	29,876	The whole lot could be redeveloped			3 story parking garage with ground floor retail
LADOT	2513 S Sepulveda	4256011901	Henry Medina BUIldir	DOT	5	Henry Medina Parking Enforcement	133,531	40,000			Surface parking portions can be better utilized; whole property could also be considered for redevelopment
GSD	2055 S Sepulveda	4323024902	Odyssey Theater	GSD	5	Non-Profit Lease - Theater Comp	48,270	20,000			Surface parking portions can be better utilized
GSD	N/W Corner of Olympic and Crenshaw	N/A	Vacated triangle at N/	GSD	5	Vacant	16,220	16,220			This land was vacated and filled in, is not currently being used.

Controlling Dept/Bureau/Office	Site Address	APN	Name	Controlling Department	Council District
LADOT	123 S Robertson Blvd	4334001900; 4	Parking Structure #70	DOT	5
LADOT	2377 Midvale Avenue	432204902; 43	Parking Lot # 707	DOT	5
LADOT	1036 Broxton Ave	4363018904	Parking Structure #68	DOT	5
LADOT	2513 S Sepulveda	4256011901	Henry Medina BUildin	DOT	5
GSD	2055 S Sepulevda	4323024902	Odyssey Theater	GSD	5
GSD	N/W Corner of Olympic and Crenshaw	N/A	Vacated triangle at N/	GSD	5

Underutilized City-Owned Property

Current Use	Total Size of Property	Size of Underutilized Area	Restrictions on Use	Source of Acquisition Funds
Parking Structure	23,770	The whole lot could be redeveloped		
Parking Lot	16,860	16,860		
Parking Structure	29,876	The whole lot could be redeveloped		
Henry Medina Parking Enforcem	133,531	40,000		
Non-Profit Lease - Theater Comp	48,270	20,000		
Vacant	16,220	16,220		

Additional Information
3 story parking garage with ground floor retail
The three lots have an alley running between them
3 story parking garage with ground floor retail
Surface parking portions can be better utilized; whole property could also be considered for redevelopment
Surface parking portions can be better utilized
This land was vacated and filled in, is not currently being used.



Dylan Sittig <dylan.sittig@lacity.org>

CD5 x LADOT conversation re: parking lots & garages in CD5; utilization rates, potential housing interventions

13 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, Feb 27, 2023 at 5:27 PM

To: Makenzi Rasey <makenzi.rasey@lacity.org>

Cc: Dylan Sittig <dylan.sittig@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Makenzi:

I hope you're staying dry and having a nice start to your week!

I'm reaching out to see if you might be able to help facilitate a meeting between the CD5 team and the relevant stakeholders at LADOT to discuss the matter of potentially converting some surface lots and parking structures located within CD5 into housing interventions.

With the full support of the Councilwoman, our office provided to the CAO this [list of 5 LADOT-controlled parcels - 3 surface lots and two parking garages - for preliminary BOE analyses](#) of various housing typologies.

As part of this very nascent process, we want the opportunity to openly engage LADOT on these efforts. With a particular emphasis on the two parking structures, we would love to discuss any and all relevant details concerning utilization rates and annual revenues at these locations.

Please let us know if there is any additional information that might be helpful to the department prior to our engagement. And thank you so much for helping to make this conversation possible!

Cheers,

Zack Warma

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**Zachary Warma**

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Makenzi Rasey <makenzi.rasey@lacity.org>

Tue, Feb 28, 2023 at 5:10 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Hi Zach - happy to coordinate! Let me touch base with our parking team about this list, get some feedback, and find out what else they might need to know.

In the meantime, do you want to find time next week or the week following to talk through it?

[Quoted text hidden]

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PRA01-000053

Makenzi Rasey

Director of Government Affairs
External Affairs

Los Angeles Department of Transportation
213.500.0655

Zachary Warma <zachary.warma@lacity.org>

Wed, Mar 1, 2023 at 9:55 AM

To: Makenzi Rasey <makenzi.rasey@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Makenzi:

We'd love to have a preliminary chat with you. Let me know if you have availability in any of the following time slots:

- **Monday 3/6:** 12-1pm; 1:30-4pm
- **Tuesday 3/7:** 12-1pm; 4-5pm
- **Wednesday 3/8:** 2-3pm
- **Thursday 3/9:** 4-5pm
- **Friday 3/10:** 3-5pm

And as a small request - would it be possible for the meeting with the Parking team to occur the week of 3/20? I am out of office from 3/13-3/19.

Thanks again, Makenzi!

- Zack

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Makenzi Rasey <makenzi.rasey@lacity.org>

Tue, Mar 7, 2023 at 8:30 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

So sorry for the slow response!

I'm available for all the remaining windows you suggested. The parking team will be thankful for the additional time to gather the data, so yes let's plan on the week of the 20th. Let me know what works for you and I'll get the group together on our end.

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Tue, Mar 7, 2023 at 9:49 AM

To: Makenzi Rasey <makenzi.rasey@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Makenzi:

Absolutely no apologies necessary. If you still have time at noon today, let's move forward with that! I'll send a calendar invite momentarily.

For the larger meeting with Parking, here are some proposed times that work for the CD5 team:

- **Monday 3/20:** 9:15-10:15am; 10:45-11:30am

PRA01-000054

- **Tuesday 3/21:** 12-1pm; 4:15pm-5:15pm
- **Wednesday 3/22:** 1-3:30pm; 4-5pm
- **Thursday 3/23:** 10:30am-11:30am; 2-3pm
- **Friday 3/24:** 1-3pm

Thank you again, Makenzi!

- Zack

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Makenzi Rasey <makenzi.rasey@lacity.org>

Tue, Mar 7, 2023 at 12:20 PM

To: Zachary Warma <zachary.warma@lacity.org>, Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Thanks! Adding Fernando on my team who will help coordinate schedules on our end and get back to you!

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Zachary Warma <zachary.warma@lacity.org>

Tue, Mar 21, 2023 at 12:44 PM

To: Makenzi Rasey <makenzi.rasey@lacity.org>, Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fernando:

At your earliest possible convenience, can you please provide some available times within the next 1-2 weeks for the LADOT Parking Team to meet with the senior staff of the Fifth Council District regarding potential interim and supportive housing development on city-owned parcels?

We so appreciate your assistance with this matter.

Regards,

Zachary Warma

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>

Tue, Mar 21, 2023 at 1:40 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zachary,

My apologies for the late response.

I'm checking in with our parking management staff now for availability and will advise on those asap!

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--

Fernando Navarrete, MPA

Council Liaison
Government Affairs

Los Angeles Department of Transportation

213.972.5096

Zachary Warma <zachary.warma@lacity.org>

Tue, Apr 4, 2023 at 11:20 AM

To: Fernando Navarrete <fernando.navarrete@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>

Fernando:

Following up on our correspondence from 3/21.

While it's been our office's goal to secure a meeting with the Parking Team to discuss the potential use of [2377 Midvale Ave](#) LADOT lot # 707 for interim housing, I am aware that the department has already supplied relevant information concerning the lot's utilization & annual revenues to the CAO for their preliminary analysis.

If your team has no questions or concerns with our efforts, we will continue our engagement with CAO, BOE, GSD, and the Mayor's Office.

Just let us know!

Thanks,

Zachary Warma

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>

Wed, Apr 5, 2023 at 2:47 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>

Hi Zachary,

Sorry for the delay, we had the head of parking management out for a few days.

I've reached back out to figure out some dates/times for next week.

I will follow up with you asap!

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>

Thu, Apr 6, 2023 at 10:26 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>

Hi Zachary,

Here are some dates that work for us:

Wed. 4/12 - 11am

Thurs. 4/13 - 11am or 11:30am

Fri. 4/14 - 11:30 - 1pm

Let me know what works for you all!

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, Apr 6, 2023 at 1:06 PM

To: Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>

PRA01-000056

Fernando:

Really can't tell you how much we appreciate your help with getting this meeting on the books. With the hope that the Councilwoman might be able to join for even a few minutes, let's move forward with 11am on Thursday 4/13.

I'll circulate a calendar invite shortly, to which you can add your team members.

Cheers,

Zack Warma

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>

Thu, Apr 6, 2023 at 3:45 PM

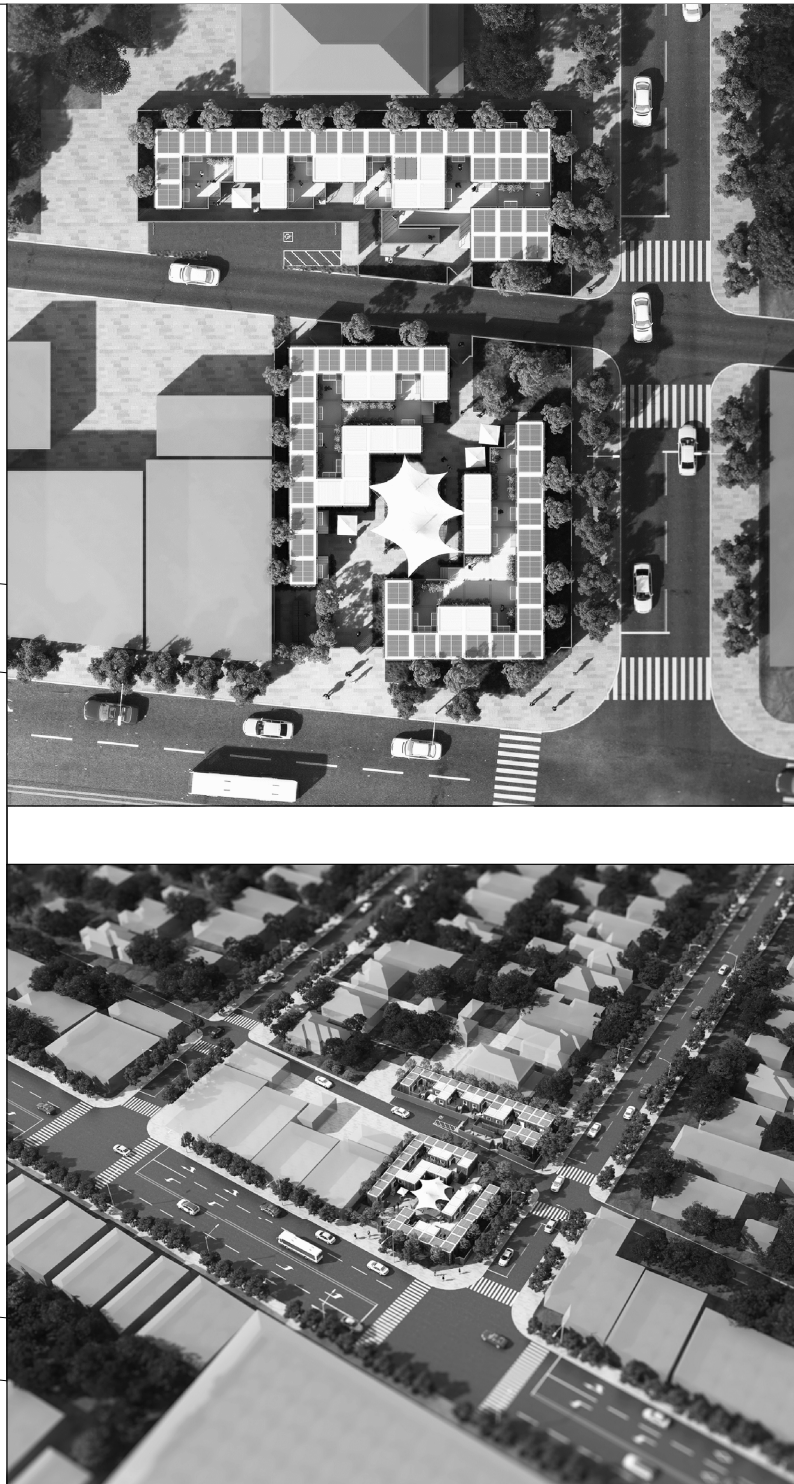
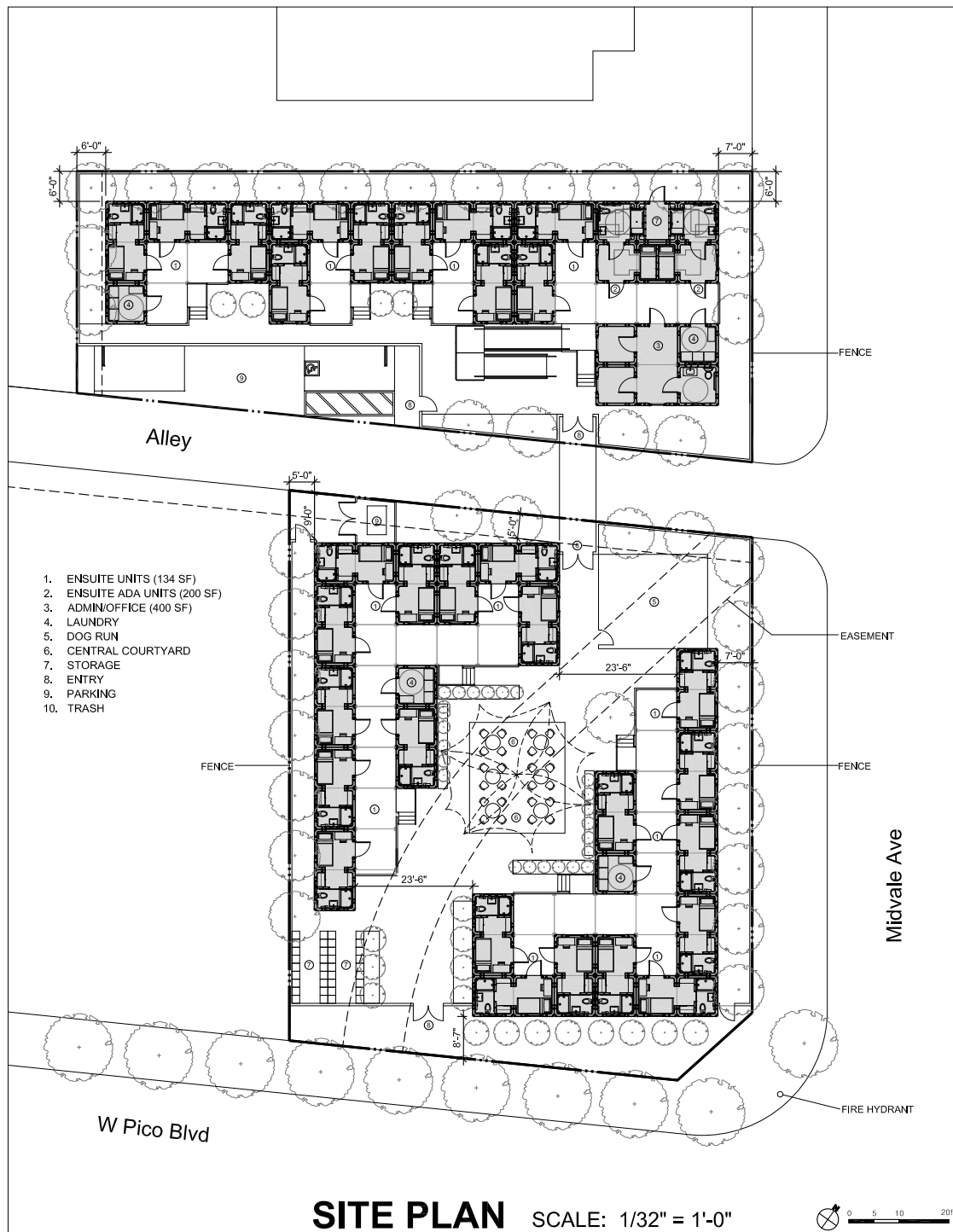
To: Zachary Warma <zachary.warma@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>

No problem, thank you for your patience.

Looking forward to speaking next week!

[Quoted text hidden]



PROJECT SUMMARY

CD-5 PICO-MIDVALE INTERIM HOUSING PROJECT

ARCHITECTURAL SUMMARY:

- | | | |
|------|-------------------|--|
| 1. | SITE AREA: | 16,340 SF |
| 2. | BUILDING AREA: | 5,136 SF |
| 2.1. | ENSUITE UNITS | 4,136 SF (31 BEDS) |
| 2.2. | ADA ENSUITE UNITS | 400 SF (2 BEDS)- (33 X 5% = 1.65 REQUIRED) 2 UNITS PROVIDE |
| 2.3. | ADMIN/ OFFICE | 400 SF (1 UNIT) |
| 2.4. | LAUNDRY | 200 SF (4 UNITS) |
| 3. | NUMBER OF BEDS: | 33 TOTAL |
| 4. | OCCUPANCY: | R2 |

- THE HCD APPROVED PROJECT REPRESENTS A HOMELESS SHELTER OF CONGREGATE RESIDENCE FOR 33 NON-TRANSIENT OCCUPANTS. IT INCLUDES PROVISIONS FOR SLEEPING AND SANITATION BUT DOES NOT INCLUDE PROVISION FOR EATING AND COOKING. THE MODEL PROVIDES 31 SINGLE SLEEPING UNITS AND TWO ADA UNITS WITH ENUSITE BATHROOM WITH ADA ROLL-IN SHOWER PER UNIT.

- PROJECT INCLUDES 400 SF ADMIN/ OFFICE UNIT FOR THE USE BY THE WRAP-AROUND SERVICE ORGANIZATION.

- PROJECT SHALL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF 2022 CBC ADDRESSING SLEEPING UNITS. PROVISIONS ADDRESSING DWELLING UNITS SHALL NOT APPLY.

- PROJECT PROVIDES THE FOLLOWING FIRE SAFETY MEASURES WHICH COMPLIES WITH THE REQUIREMENTS OF 2022 CBC
 - AUTOMATIC FIRE SPRINKLER SYSTEM ACCORDING TO NFPA 13R
 - FIRE ALARM SYSTEM
 - SMOKE AND CO ALARM SYSTEM
 - COMMUNICATION ACCESSIBLE FEATURES FOR THE SIGHT AND HEARING IMPAIRED

PRELIMINARY SITE CONDITION:

1. SITE PLAN SHOWN IS CONCEPTUAL ONLY AND ALL SITE INFORMATION IS TO BE VERIFIED BY A SITE SURVEY AND OTHER SITE STUDIES.
2. ELECTRICAL
 - 400A, 480/277V, 3 PHASE, OVERHEAD ELECTRIC SERVICE
3. DOMESTIC/ FIRE WATER
 - (E) 6" WATER MAIN ON MIDVALE AVE. (N) 2" DOMESTIC WATER METER INSTALLED BY LADWP; APPROXIMATELY (N) 70 FT OF 2" DOMESTIC WATER LINE WITHIN THE PROPERTY LINE
4. SANITARY SEWER
 - (E) 10" SEWER MAIN (PIPE ID:5191009951910116A) ON ALLEY.; APPROXIMATELY (N)20 FT OF 6" HOUSE CONNECTION LINE TO THE PROPERTY LINE. APPROXIMATELY (N)60 FT OF 4" SANITARY SEWER LINE WITHIN THE PROPERTY LINE



MODULAR HOUSING MANUFACTURER	
NAME	LIFEARK SPC
PHONE	(626) 535-9370
EMAIL	info@lifeark.net
WEB	www.lifeark.net
PLANT LOCATIONS	MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET.

GDS
ARCHITECTS INC.

31 Meridian Street
 Duarte, California 91010
 Tel : 626.535.9370



Revision Schedule		
#	Description	Date



CLIENT

COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

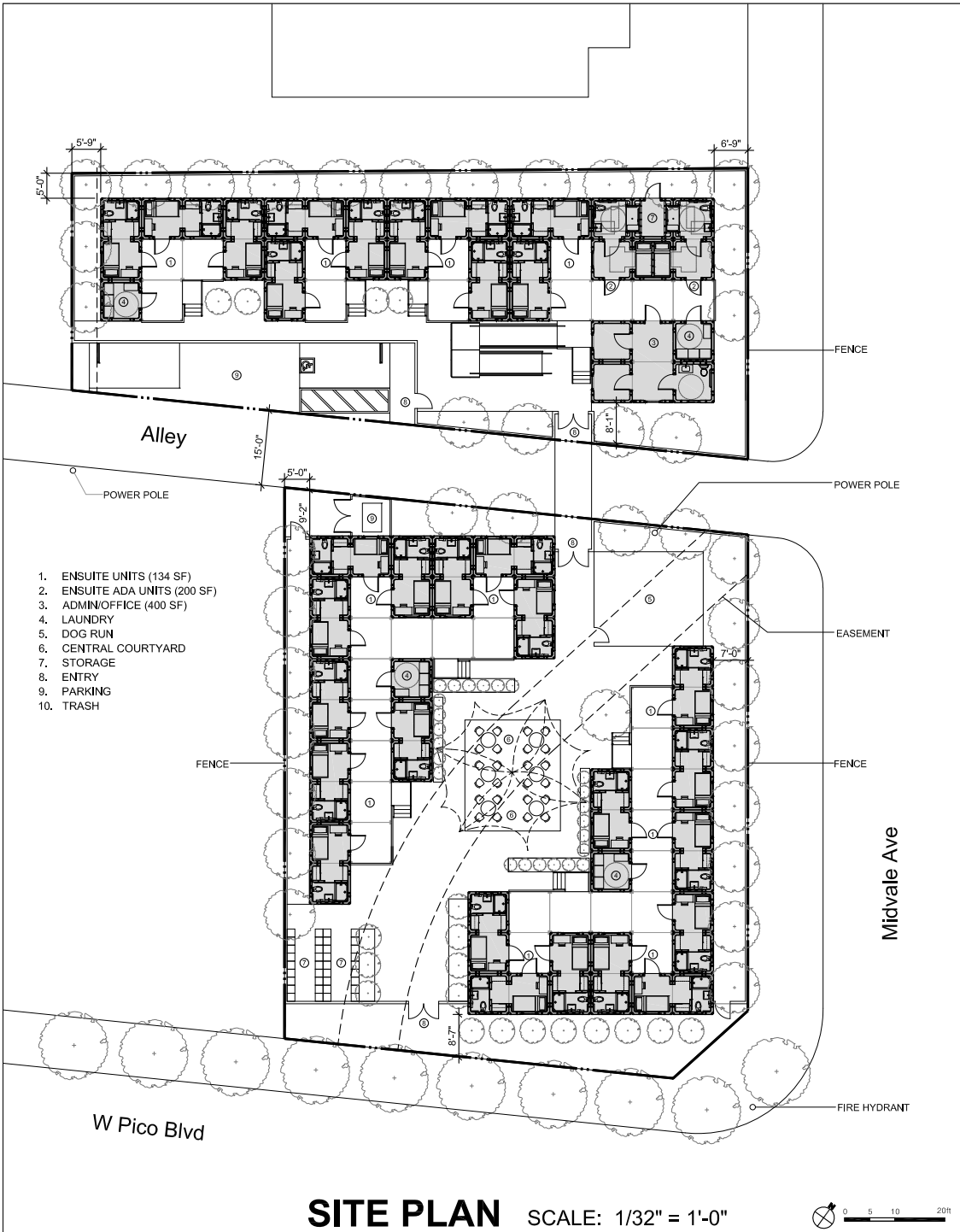
SHEET TITLE
PROJECT SUMMARY

PROJECT NUMBER	
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DRAWN BYCHECKED BY _____DATE _____SHEET NO.

A1.01

PRA01-000058
8/23/23



SITE PLAN SCALE: 1/32" = 1'-0"

CA FACTORY BUILT HOUSING PROGRAM NOTES

1. THESE PLANS ARE SUBMITTED TO CALIFORNIA HCD DEPARTMENT UNDER THE CALIFORNIA FACTORY-BUILT HOUSING PROGRAM, IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE - HSC, DIVISION 13 — HOUSING, PART 6 — FACTORY-BUILT HOUSING AND CALIFORNIA CODE OF REGULATIONS, TITLE 25, CHAPTER 3, SUBCHAPTER 1.
2. FBH MODEL PLANS ARE NOT LIMITED TO A SPECIFIC SITE AND CAN BE INSTALLED WITHIN THE STATE OF CALIFORNIA WHEREVER THE DESIGN CRITERIA MATCH OR EXCEED SITE CRITERIA, PURSUANT TO PROVISIONS AND LIMITATIONS SET FORTH IN CALIFORNIA HEALTH AND SAFETY CODE, ARTICLES 19981 AND 19993.
3. PURSUANT TO SECTION 19981(A) OF THE HEALTH AND SAFETY CODE: ALL FACTORY-BUILT HOUSING BEARING AN INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE DEEMED TO COMPLY WITH THE REQUIREMENTS OF ALL ORDINANCES OR REGULATIONS ENACTED BY ANY CITY, CITY AND COUNTY, COUNTY, OR DISTRICT WHICH MAY BE APPLICABLE TO THE CONSTRUCTION OF HOUSING. NO CITY, CITY AND COUNTY, COUNTY, OR DISTRICT SHALL REQUIRE SUBMITTAL OF PLANS FOR ANY FACTORY-BUILT HOUSING MANUFACTURED, OR TO BE MANUFACTURED, PURSUANT TO THIS PART FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS PART OR THE REGULATIONS PROMULGATED THEREUNDER, OR FOR DETERMINING COMPLIANCE WITH ANY LOCAL CONSTRUCTION REQUIREMENT, EXCEPT AS PROVIDED IN SECTION 19993.
4. PURSUANT TO SECTION 19981(B) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING BEARING A DEPARTMENT INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE IN ANY WAY MODIFIED PRIOR TO INSTALLATION UNLESS APPROVAL IS FIRST OBTAINED FROM THE DEPARTMENT.
5. PURSUANT TO SECTION 19981(C) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING SHALL BE IN ANY WAY MODIFIED DURING INSTALLATION UNLESS APPROVAL FOR SUCH MODIFICATION IS FIRST OBTAINED FROM THE LOCAL ENFORCEMENT AGENCY.
6. PURSUANT TO SECTION 19993 OF THE HEALTH AND SAFETY CODE: (A) LOCAL USE ZONE REQUIREMENTS, LOCAL SNOW LOAD REQUIREMENTS, LOCAL WIND PRESSURE REQUIREMENTS, LOCAL FIRE ZONES, BUILDING SETBACK, SIDE AND REAR YARD REQUIREMENTS, SITE DEVELOPMENT AND PROPERTY LINE REQUIREMENTS, AS WELL AS THE REVIEW AND REGULATION OF ARCHITECTURAL AND AESTHETIC REQUIREMENTS ARE HEREBY SPECIFICALLY AND ENTIRELY RESERVED TO LOCAL JURISDICTIONS NOTWITHSTANDING ANY REQUIREMENT OF THIS PART.
(B) LOCAL REQUIREMENTS IMPOSED ON FACTORY-BUILT HOUSING PURSUANT TO THE AUTHORITY GRANTED BY THIS SECTION SHALL NOT VARY SUBSTANTIALLY FROM THE REQUIREMENTS IMPOSED ON OTHER RESIDENTIAL BUILDINGS OF SIMILAR SIZE.

ACCESIBILITY NOTES

11B-233.3 PUBLIC HOUSING FACILITIES
PUBLIC HOUSING FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.

NOTE: SENIOR CITIZEN HOUSING MAY ALSO BE SUBJECT TO CIVIL CODE, DIVISION 1, PART 2, SECTIONS 51.2, 51.3 AND 51.4.

11B-233.3.1 MINIMUM NUMBER: NEW CONSTRUCTION
NEWLY CONSTRUCTED FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.1.

EXCEPTION:
WHERE FACILITIES CONTAIN 15 OR FEWER RESIDENTIAL DWELLING UNITS, THE REQUIREMENTS OF SECTIONS 11B-233.3.1.1 AND 11B-233.3.1.3 SHALL APPLY TO THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS THAT ARE CONSTRUCTED UNDER A SINGLE CONTRACT, OR ARE DEVELOPED AS A WHOLE, WHETHER OR NOT LOCATED ON A COMMON SITE.

11B-233.3.1.1 RESIDENTIAL DWELLING UNITS WITH MOBILITY FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, AT LEAST 5 PERCENT, BUT NO FEWER THAN ONE UNIT, OF THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS SHALL PROVIDE MOBILITY FEATURES COMPLYING WITH SECTIONS 11B-809.2 THROUGH 11B-809.4 AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

11B-233.3.1.2 RESIDENTIAL DWELLING UNITS WITH ADAPTABLE FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, ADAPTABLE RESIDENTIAL DWELLING UNITS COMPLYING WITH SECTIONS 11B-809.6 THROUGH 11B-809.12 SHALL BE PROVIDED AS REQUIRED BY SECTIONS 11B-233.3.1.2.1 THROUGH 11B-233.3.1.2.6.

ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

EXCEPTION: THE NUMBER OF REQUIRED ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE REDUCED BY THE NUMBER OF UNITS REQUIRED BY SECTION 11B-233.3.1.1.

PROJECT DESCRIPTION

MODEL DESCRIPTION

- THE HCD APPROVED PROJECT REPRESENTS A HOMELESS SHELTER OF CONGREGATE RESIDENCE FOR 33 NON-TRANSIENT OCCUPANTS. IT INCLUDES PROVISIONS FOR SLEEPING AND SANITATION BUT DOES NOT INCLUDE PROVISION FOR EATING AND COOKING. THE MODEL PROVIDES 31 SINGLE SLEEPING UNITS AND TWO ADA UNITS WITH ENSUITE BATHROOM WITH ADA ROLL-IN SHOWER IN EACH UNIT.
- PROJECT INCLUDES 400 SF ADMIN/ OFFICE UNIT FOR USE BY THE SERVICE ORGANIZATION.
- THE MODEL PROVIDES THE FOLLOWING FIRE SAFETY MEASURES THAT COMPLIES WITH THE REQUIREMENTS OF 2022 CBC
 - AUTOMATIC FIRE SPRINKLER SYSTEM ACCORDING TO NFPA 13R
 - FIRE ALARM SYSTEM
 - SMOKE AND CO ALARM
 - COMMUNICATION ACCESSIBLE FEATURES FOR THE SIGHT AND HEARING IMPAIRED

DESIGN INFORMATION

Occupancy	R-2	Type of Construction	VB
Use	Emergency Housing		
Main Floor Sq Ft	5,136 sf	Building Height	10'-11"
Basement Sq Ft	N/A	Number of Stories	1
Patio & Decks Sq Ft	N/A	Auto. Fire Sprinkler System	13R
Garage Sq Ft	N/A		

APPLICABLE CODES

National	2022 California Building Code
Electrical	2022 California Electrical Code
Plumbing	2022 California Plumbing Code
Energy	2022 California Energy Code (Title 24)
Other	2022 California Green Bldg Std. Code
Other	2022 California Mechanical Code

DESIGN CRITERIA

Roof Live/Snow Load	20 PSF	Ss	2.0g
Roof Dead Load	5 PSF	S1	1.0g
Floor Live Load	50 PSF	Sds	1.0g
Wind Speed	100 MPH \EXP C	Sd1	1.13g
Seismic Design	E	Frost Depth	N/A
Site Class	D	Climate Zone	9
Thermal Resistance	35.3 ft².hr.°F/Btu (IAPMO-ER560-3.3.5 02/2020)		

IAPMO ER-560 NOTES

* NOTE: REFER TO PRODUCT CERTIFICATION AS RECOGNIZED BY IAPMO UNIFORM EVALUATION REPORT (UES ER 560) PUBLISHED 02/28/2020 (EXPIRATION 02/28/2024) FOR ALL DESIGN AND CODE COMPLIANCE.



MODULAR HOUSING MANUFACTURER	
NAME	LIFEARK SPC
PHONE	(626) 535-9370
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PLANT LOCATIONS	MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET.



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



Revision Schedule		
#	Description	Date

PROFESSIONAL STAMP



CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
HCD MODEL
DESCRIPTION

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE

SHEET NO.

A1.02



HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL- VOLUME 1

PICO & MIDVALE WLA SITE

Submitted to Council District 5

June 2023

Gary Gero- Chief of Staff
Zachary Warma- Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
Los Angeles, CA 90012

Dear Gary and Zach,

In response to CD-5's RFP for the design concept of 2377 Midvale Ave Interim Housing Project, LifeArk is pleased to submit the following concept proposal for the interim supportive housing for homeless and at-risk population in Los Angeles Council District 5 using the LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction. LifeArk is all-in with mission to help solve the homeless crisis in our community but believe it's time to graduate from a short-term band-aid solutions. Design proposed in this submission utilizes a longer term "permanent interim housing" model which we strongly believe is a win-win solution for the CD-5 providing a much more dignified housing for the residents and a design which is much better visually for the neighborhood.

Please note that this proposal is based on the separate parcels with the diagonal easement through the south parcel. Although this existing site easement limits the number of units, we believe the proposed design uses the site well to provide a first of it's kind, long term interim housing project in Los Angeles area. The LifeArk ensuite interim plans provide each residents with a dignified housing they deserve.

Included in this proposal package is the following 3 documents:

1. Volume 1- PDF report slides focused on concept design of the project geared for your internal design review and for the community engagement programs and virtual townhall.
 - Slides are formatted to be used as a presentation slides. If needed, you can print each slides as a large presentation panels. If necessary, we will be happy to arrange for a professional printing and board mounting.
 - LifeArk team will be available to make any zoom or in-person presentation to the CD5 team and or to the public.
2. Volume 2- PDF budget report for your internal use covering the budget with inclusions and exclusions.
3. Volume 3- PDF report compiled for preliminary submission to the City for review and meeting.
 - Site plan sheet covering the CD-5 project description and key architectural summary for the city team to understand the scope of the project.
 - Preliminary HCD cover sheet with project description and all applicable compliance with code and HCD Factory Built Housing program. This will be an important information for the city team to assess the code compliance issues relating to the project.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,



Charles Wee
CEO – LifeArk SPC

Site Information

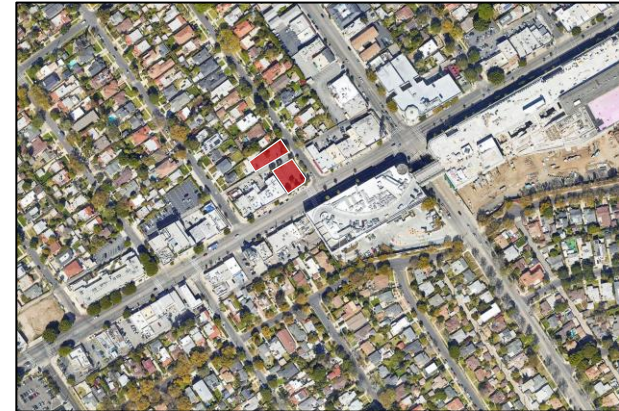
Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Existing City Parking Lot
- Located at the corner of W. Pico and Midvale split by an alley



Illustrative Context Site Plan



Project Context Map



Site

Design Concept

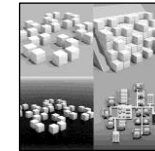
1. Lifeark's smaller 8' x 8' module footprint allows for a much more flexible massing articulation on a tight and difficult site compared to a larger, longer modular units.
2. Articulated sawtooth mirrored massing split by a diagonal easement provides an opportunity to create a dynamic, human-scale green pedestrian promenade connecting the project from North to South.
3. Lifeark modules are elevated at 28" above grade to provide an essential utility chase space, saving substantial sitework costs. At the same time, the elevated ensuite residential units connected by an upper deck provides privacy to the residents with easy access to the public community courtyard at ground level.
4. Lifeark modules are clad with horizontal slats with growing green vines to provide a lush landscaped courtyard and pedestrian promenade.
5. Continuous pedestrian circulation pathway connects staff and handicap parking to the ramp to the ADA ensuite units with the admin/office building to the south community through the green promenade all the way to the entry gate at the Pico Blvd.
6. Covered central courtyard with tables, chairs surrounded by a green walls will provide an eating and gathering space for the residents.
7. Enclosed large pet park is located at the NE corner of the promenade.
8. Storage bins for each residents are located at the SW corner of the site as well as a storage module at the NE corner behind the ADA units for the property manager and the service staff.
9. Four laundry modules (blue) are evenly distributed at each neighborhood for easy access and use.
10. Handicap and staff parking space as well as a trash enclosure are provided with access from the alley.
11. Both parcels are enclosed by a security fence with two entry and exit points. (Design of the fence for the rendering shows an open fence to illustrate the transparency of the spaces inside but more secure vertical fence can be designed.)
12. Each Ensuite unit is provided with a full private bathroom and a closet. All units are equipped with full MEP fixtures and fire sprinklers including a mini-split air conditioning and heating as well as high quality finishes at the level of permanent housing. (See unit specifications)



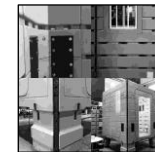
Kit-of-parts



Figure ground showing articulated massing



Massing variations



Modular parts



Utility chase



Site Plan



Courtyard



Green Promenade



View from Alley



Pico Entrance



Dog Park

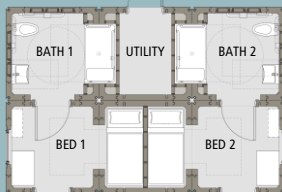


Bird's Eye View

Module Plan



Ensuite Unit (134 SF)
2 modules



ADA Ensuite Unit
(200 SF) 3 modules
(Illustration shows double unit)



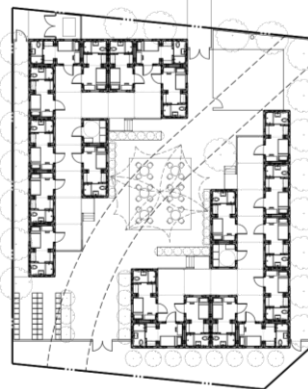
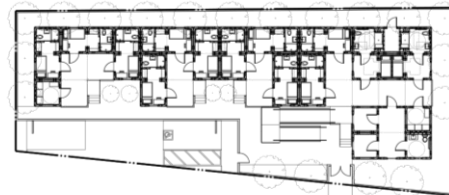
Laundry Unit (67SF)
1 module



Admin/ Office (400 SF)
6 modules

Lifeark Module Plan Concept

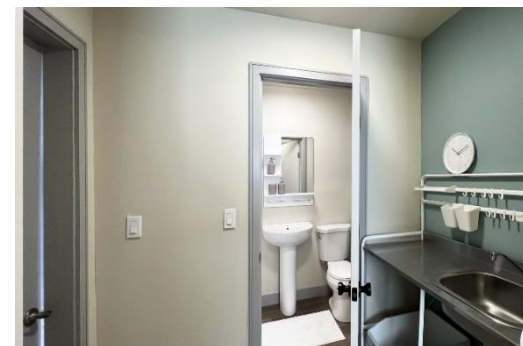
1. Lifeark models used in the Hope Pavilion project has been approved by HCD under a Factory Built Housing program as a permanent housing.
2. For the Hope Pavilion project, Lifeark will submit the entire project as a single R2 congregant housing project.
3. Lifeark will work with the city for other necessary permits required.
4. Each of the model plans shown above will be completely built-out with finishes and fixtures to a permanent housing specifications including a fire sprinkler system.
5. Modules will be manufactured, factory assembled under HCD program then transported to the site for final assembly and completion.
6. Lifeark has a documented lifespan of over 50 years and an appraised lifespan of 35 years by the bank.
7. Each ensuite unit is equipped with full MEP fit-out including split system A/C-heating and a fire sprinkler system.
8. Each unit interior is finished with high quality material and fixtures.



* Optional solar panel can be installed



Lifeark Single Module



Ensuite Unit Interior



Ensuite Unit Exterior Example

Site Plan



Bird's Eye View

Project Summary

Site Area				Acre		SF	
				0.38		16,340	
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF
Ensuite Unit	2	62	134	31	1	31	4,154
Ensuite ADA Unit	3	6	200	2	1	2	400
Deck				32			
Laundry	1	3	67	3			201
Admin/ Office	6	6	400	1			400
Total		77				33	5,155



PRA01-000066

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK





Bird's Eye View-000068

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK





Central Courtyard
PRA01-000070
8/23/23
HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Green-Wall Community Space

PR-01-00007-1

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Dog Park

PRA01-000072

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye Context View



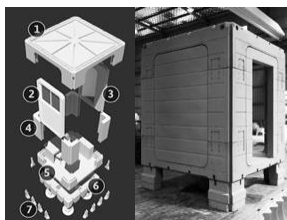
View of Hope Pavilion from the Alley

View of Hope Pavilion Entry from Pico Blvd



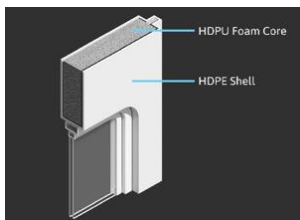
PRA01-000073
8/23/23

WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 28" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse



NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows LifeArk to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills



NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolders around the world
- Most common plastic processing process but never been used in the housing construction industry



FACTORY ASSEMBLY & TRANSPORT

- Certified under CA HCD (Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site



SITE ASSEMBLY

- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

LifeArk Community Making By Design



From a single shelter module to community cluster, LifeArk can grow to become a larger village with communal spaces for all

LifeArk Emergency Shelter Deployment Process



Rotomolding

Transport

Stockpile

Factory Assembly

Site Deployment

Site Assembly

Completion

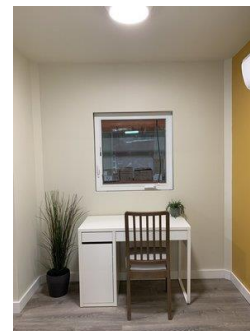
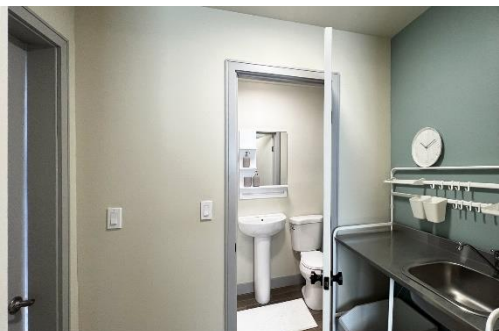
LifeArk's Essential Cost and Time Saving System



Simple foundation system that can be anchored to any surface including compacted soil, asphalt, or concrete

High under module chase space allows for all utilities to run under the crawl space and omit any expensive trenching

Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections



* Lifeark project photos for illustration only. Not for this project.

LA County Housing Innovation Challenge award-winning project

- 19-unit permanent supportive housing in El Monte, CA utilizing project-based vouchers
- 18 units for previously homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



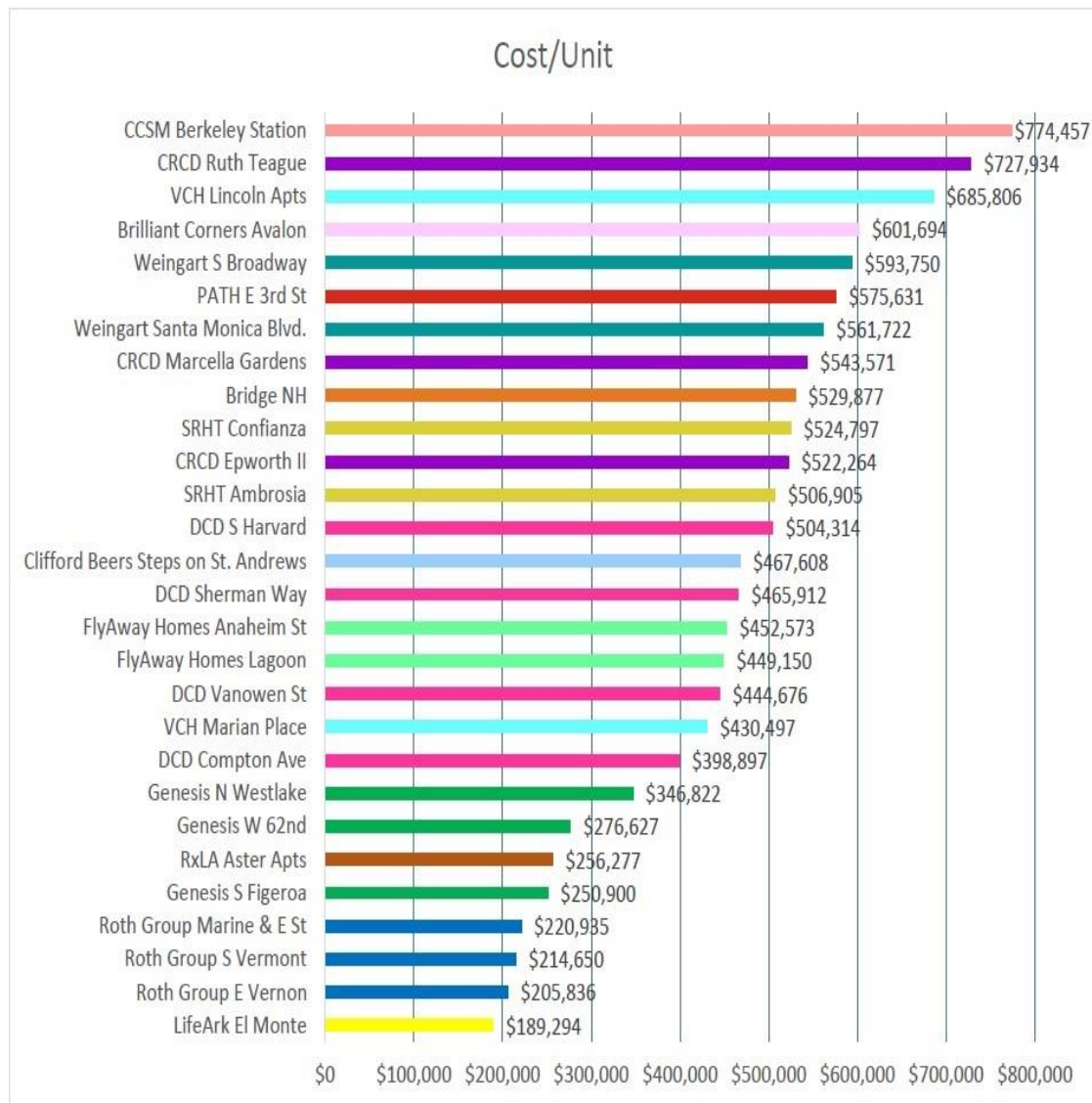
Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 **permanent supportive housing** projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit





HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL VOLUME 2- BUDGET
PICO & MIDVALE WLA SITE

Submitted to Council District 5
June 2023

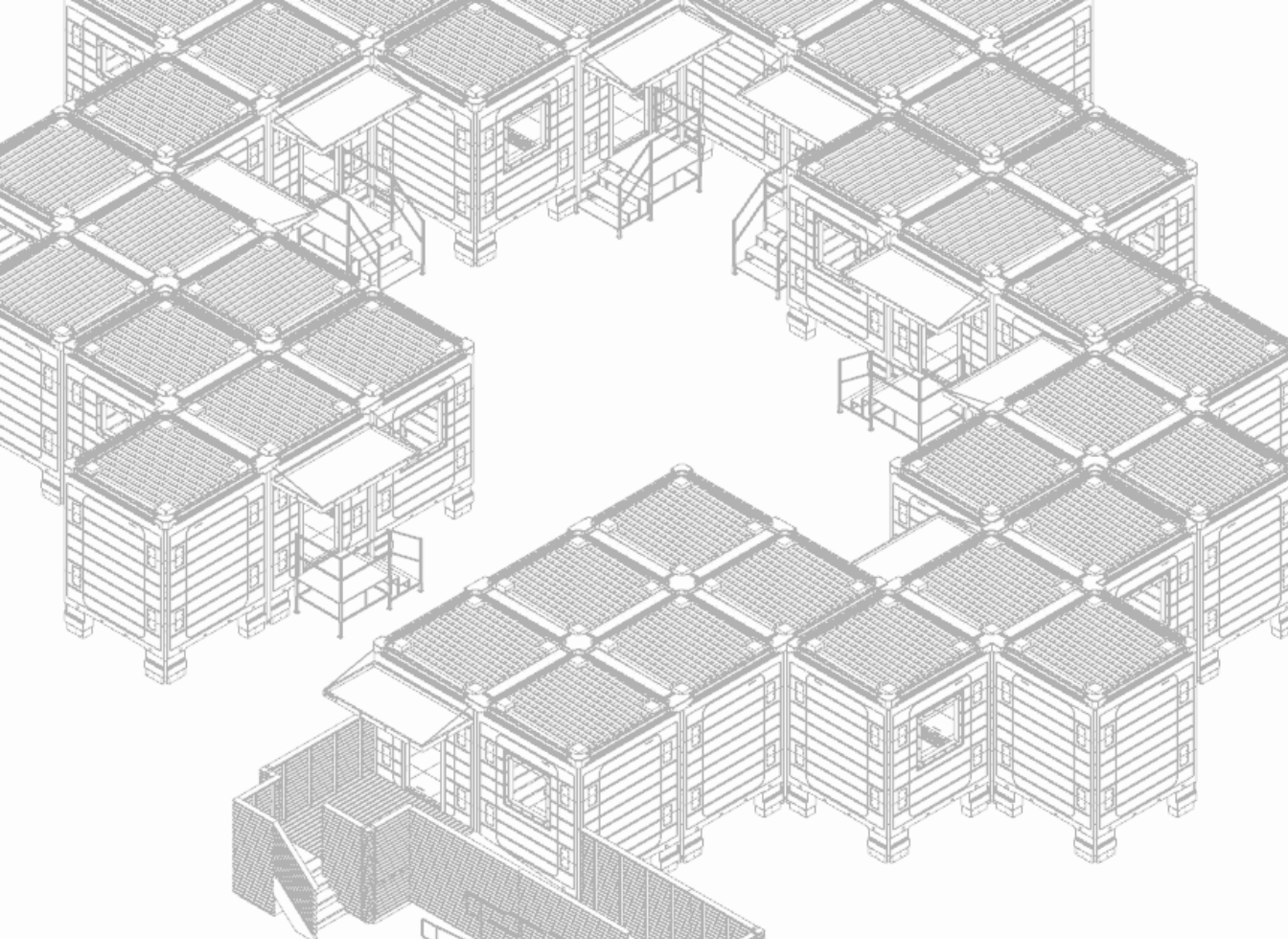
Lifemark Model	SF/ Unit	Units	Total SF	Cost/ Unit	Total
Ensuite Unit	134	31	4,154	\$ 47,000	\$ 1,457,000
ADA Ensuite Unit	200	2	400	\$ 62,000	\$ 124,000
Deck	0	33	0	\$ 4,000	\$ 132,000
Laundry Unit	67	4	200	\$ 25,000	\$ 100,000
Admin/ Office Unit	400	1	400	\$ 150,000	\$ 150,000
Total		33	5,155		* \$ 1,963,000
Cost Per Bed		\$59,485			

* All-In Lifemark Costs including:

1. Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)
2. Fully fitted out admin/office unit.
3. Laundry unit ready to hook up to a washer and a dryer.
4. Decks and railings (stair and ramps not included)
5. Off-The-Shelf (OTS) modular units are 90% completed when they arrive to the site. Units come with the insides finished with paint, flooring, MEP finishes, doors, and hardware. The last 10% includes connecting the units, anchoring to foundation, utilities hookup to mods & main site, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.
6. Units include mechanical HVAC mini-splits.
7. Module staging and on and off loading at the site is included.
8. Module assembly on-site and final testing.
9. A/E for all Lifemark HCD models.
10. HCD certification, permit and inspection fees

Exclusions:

1. Site work including grading, paving, gates and fences. We expect site costs to be minimized since utility connections from each unit will run above ground in the crawl space.
2. Landscaping, hardscaping, irrigation and common area amenities.
3. Stairs and ramps
4. Any demolition, repairs and/or improvements to the existing structures.
5. All city utilities including sewer, power, gas and storm drain work.
6. All trenching and repairs to the sidewalks.
7. Utility connections on site to module stub down points of connections
8. Final testing of all systems
9. Cost of land, construction financing, taxes, city fees.
10. All Permit costs including any costs for Street use, SFFD, excludes SMP and SWPPP plans.
11. A/E for the city related work.
12. The costs of testing and inspection including costs for trade permits and inspection.
13. Utility Fees, Account Setup, Power Poles, Transformers, Conductors, Etc. By Owner.
14. The handling and removal of any hazardous material is excluded.
15. The removal of any underground obstacles not shown is excluded.
16. All main power connection costs to connect to the switchgear are excluded (Paid by Owner).
17. Low Voltage Tele/Data, WiFi.
18. All Owner provided FF&E.
19. Costs for storing, double-handling or trucking owner supplied materials.
20. Appliances and furniture/
21. Central fire alarm system, PV system, emergency generator, site lighting.
22. Fire truck access.
23. Fire hydrants or other fire department improvements.
24. Owner's GL Property Insurance



HOUSING REIMAGINED

www.lifeark.net

PRA01-000082

8/23/23

85

HOME

Homekey Solutions for California's homeless crisis



CONNECT
HOMES

The leader in modern prefab homes

SAN
FRANCISCO
DESIGN
WEEK

AWARD
WINNER
2021

Connect Homes builds a home every 6 days on our assembly line

- Connect is revolutionizing construction utilizing a patented modular prefab system, dramatically reducing costs and simplifying the home building process.
- Reduces build time from 52+ weeks (conventional construction) to a matter of days.

- Built over 30 houses for people who lost homes in California Fires.
- Leading ADU provider with some of the finest “tiny home” products in space.
- Wanted to use prefab expertise to create new solution for current housing crisis.



SAN
FRANCISCO
DESIGN
WEEK

AWARD
WINNER
2021

2022 WINNER

ULI AMERICAS
AWARDS FOR EXCELLENCE



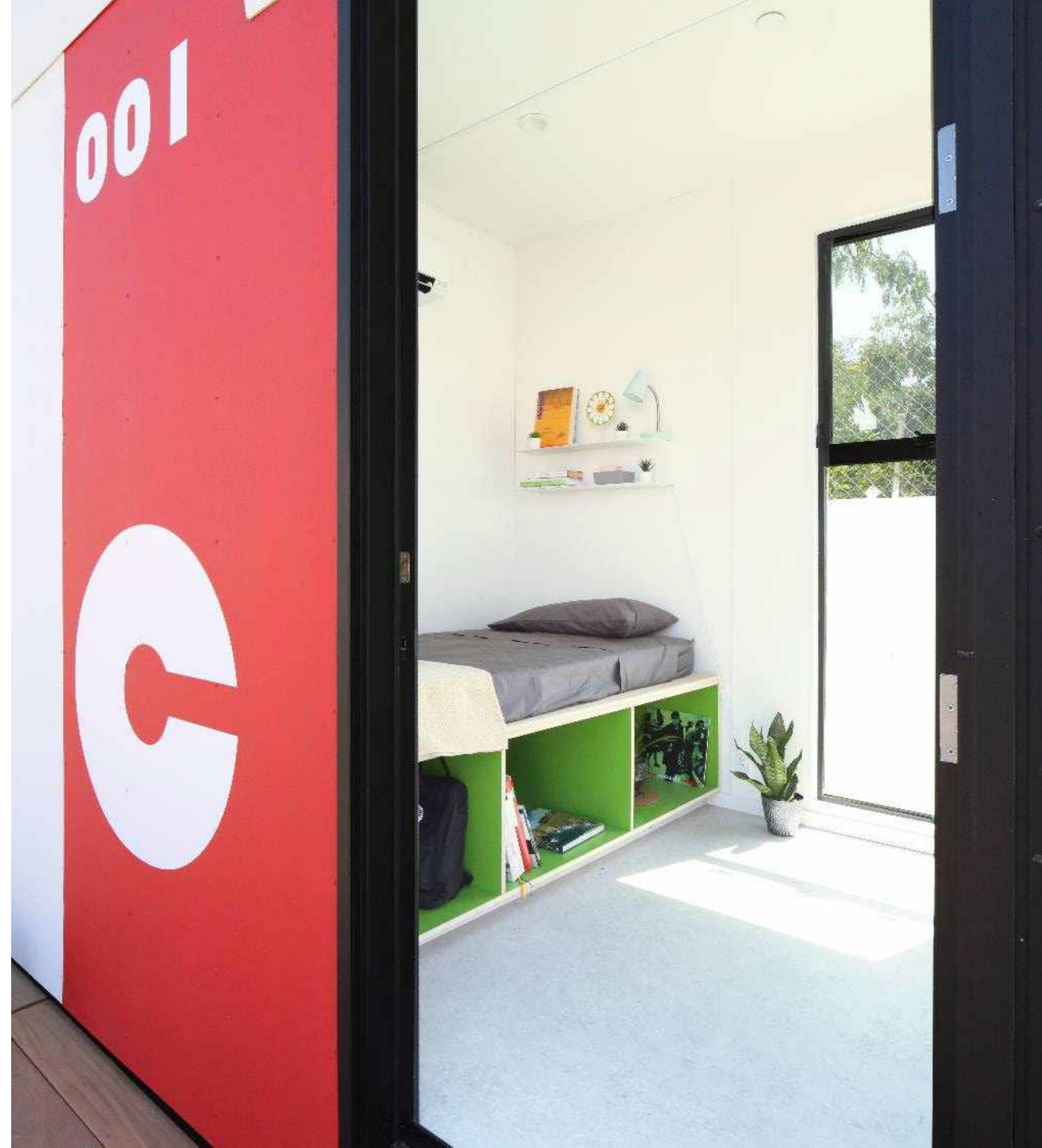
PRA01-000087
8/23/23



Connect Shelters: a proven, rapid-deploy, Homekey-ready housing system

- Flexible line of housing products that create community while providing users privacy.
- Available in configurations from 1-4 rooms.
- Meet challenging deadlines using a provider with proven Homekey experience.
- Provide dignified, private housing for hundreds of people in a matter of a few months, not years.

- Using same principles of modern architecture, assemblies, and green features of home line.
- Permanent housing designed and built to last decades, but can be relocated as needed.
- Comes with or without private bathrooms (ADA or otherwise) and kitchens.
- Can be specified to accommodate transitional user or one that stays decades.
- Winner of 2021 SF Design Week Social Impact Award.
- Winner of 2022 ULI Americas Award (Homekey Mountain View).



A scalable platform for housing

- Easy to ship
- Patented prefab system designed for intermodal transport
- Ship 100% complete from factory for immediate use

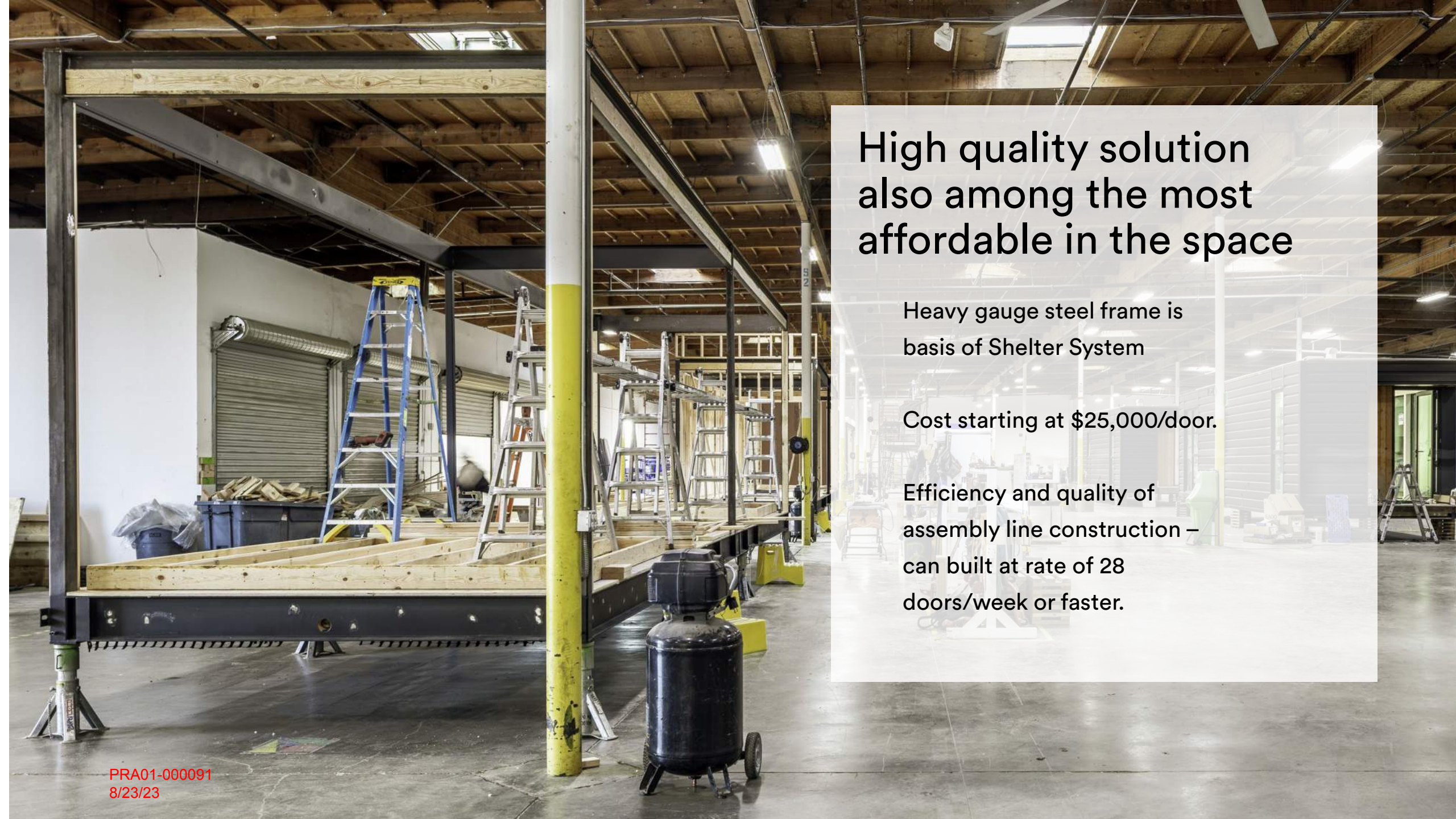


A photograph of a modern office interior. The room features a light-colored carpet, white walls, and a ceiling with recessed lighting and a large, rectangular, white ceiling-concealed fan coil for a heat pump. A long, low wooden desk with blue storage compartments is positioned against the back wall. Large windows on the left and right sides provide natural light and views of the outdoors. The text "CEILING-CONCEALED FAN COIL FOR HEAT PUMP" is overlaid in the top left corner.

CEILING-CONCEALED FAN COIL FOR HEAT PUMP

Industry-leading solutions to the unique challenges of the segment.

- Utilities home-run to mechanical area mounted on back of unit. Allows maintenance of unit without disturbing occupants.
- One area to run utilities to on site for true plug-and-play.
- Condenser arrives pre-charged, ready to go.
- Most advanced and efficient heat pump and ventilation system in the industry with Zoned control, ceiling recessed fan coil, as well as ventilation to control unforeseen humidity issues.



High quality solution also among the most affordable in the space

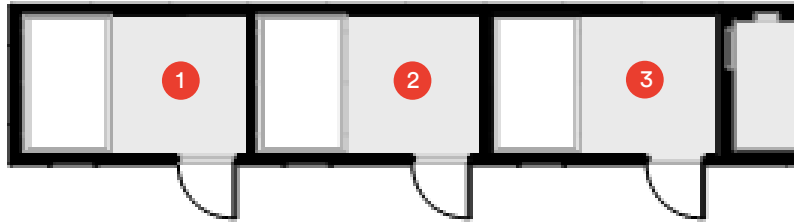
Heavy gauge steel frame is
basis of Shelter System

- Cost starting at \$25,000/door.

Efficiency and quality of
assembly line construction –
can built at rate of 28
doors/week or faster.

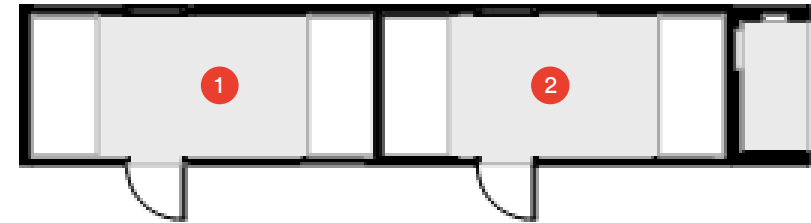
Connect Shelters – Standard Plans to flexibly address housing needs

Shelter 3



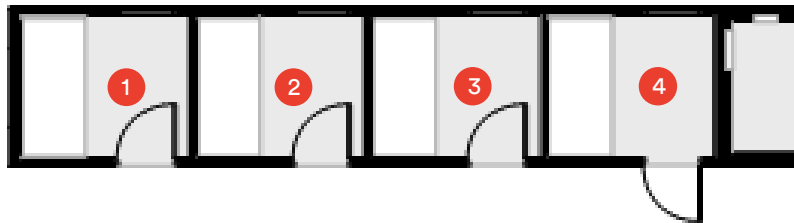
(3) private rooms, each room with individual air controls, filtration. Pricing starts at \$96,300.

Shelter 2



(2) private rooms with option for bunk beds (families), each room with individual air controls, filtration. Pricing starts at \$92,800.

Shelter 4



(4) private rooms, each room with individual air controls, filtration. Pricing starts at \$99,700.

Shelter 1

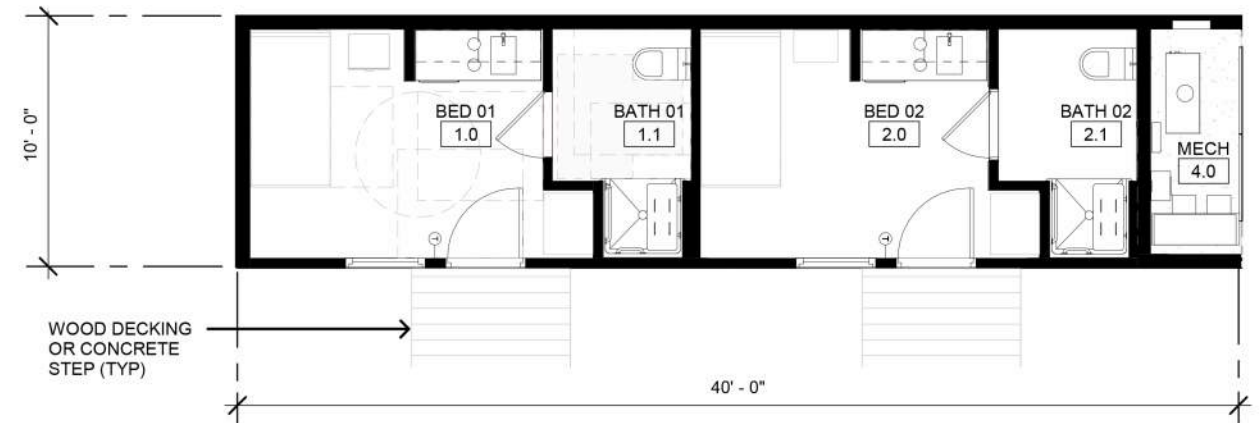


(1) private room with ensuite ADA bathroom for families. Individual air controls, filtration. Pricing starts at \$104,100.

Connect Shelters – Increasing livability with wider solutions



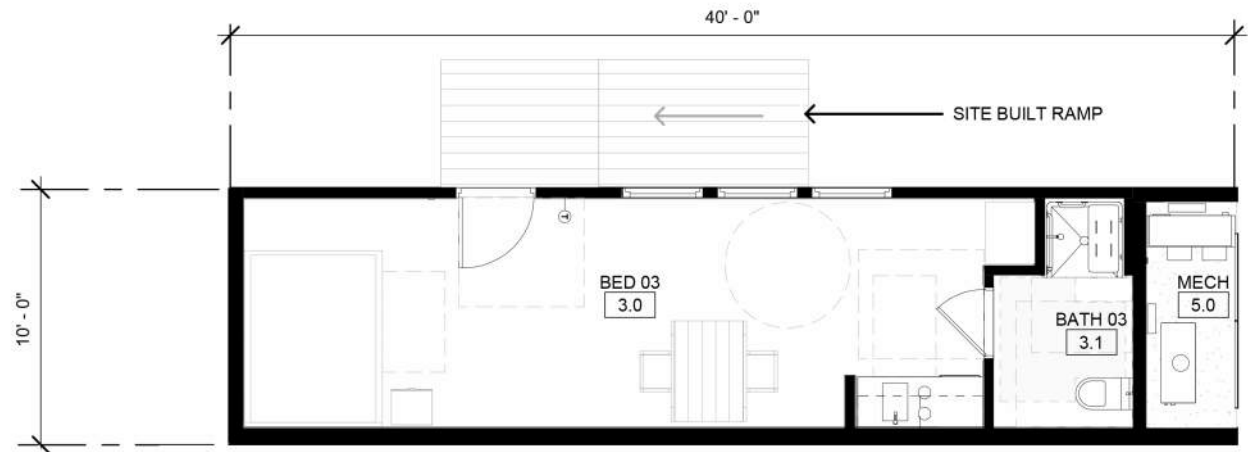
Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.



Connect Shelters – Increasing livability with wider solutions



Shelter 1 Efficiency (1) private rooms with private ADA bath and kitchenette. Each room with individual air controls, filtration. Pricing starts at \$140,400.



Connect Shelters – Increasing livability with wider solutions

Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.



PRA01-000095
8/23/23

These floor plans are shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to these standard floor plans at any time.



Two-story system

- Design dramatically reduces site work.
- For situations where more density required.



An aerial architectural rendering of the Homekey Victorville Wellness Center. The development features several long, single-story modular buildings with white walls and colorful accents in teal and yellow. These buildings are arranged in a U-shape around a central courtyard with green lawns and trees. To the left, there is a large parking lot with numerous cars parked. A paved road with a white car and a pickup truck curves through the foreground. The entire site is landscaped with various trees and shrubs. The background shows a body of water and more trees.

Case Study: Homekey Victorville

4.5 blighted acres transformed into a Wellness Center providing a supportive, safe, and stable environment for homeless persons and their families.



Homekey Victorville

- Victorville was initially awarded \$20 million in Homekey funds fall 2020. Manufacturer picked could not produce in time. Victorville could not utilize funds and had to reapply for Homekey Round 2 in 2021, having established Connect as provider.
- The campus features **46 Shelter Modules** - CS1, CS2, CS4s - to provide 110 rooms (170 beds) and **26 modules** to provide onsite OSPD Clinic, Cafeteria, Wellness Center, and Recuperative Center.
- Awarded \$28 million in Homekey funds December 2021.
- Contract signed March 2022 — first round of sleeping modules delivered in July 2022.

“one of the greatest challenges has been the lack of a comprehensive facility where shelter, food, and a full suite of support services are readily accessible. Our Wellness Center will bring these services together in one location to help homeless individuals stabilize and rebuild their lives .”

Mayor Debra Jones



STATION 01:
CS-088:
Module CS-088 is receiving
floor and ceiling framing.



STATION 03:
CS-078:
Module CS-078 will have roof
framing installed.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



STATION 05:
CS-07A:
Windows and exterior doors
were installed. The module is
receiving exterior siding.



STATION 06:
CS-06A:
Drywall has been installed
and the module is ready to be
taped.



STATION 06-A-B-C:
CS-03-04-05A:
Modules are in the stages of
drywall, tape, and sanding.

VICTORVILLE

JUNE 17, 2022

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East Entrance between Cafeteria and Wellness Center



Cafeteria view



Site Drive B view of Wellness Center and Clinic



Southwest Entrance view of Recuperative Center, Clinic, and Wellness Center

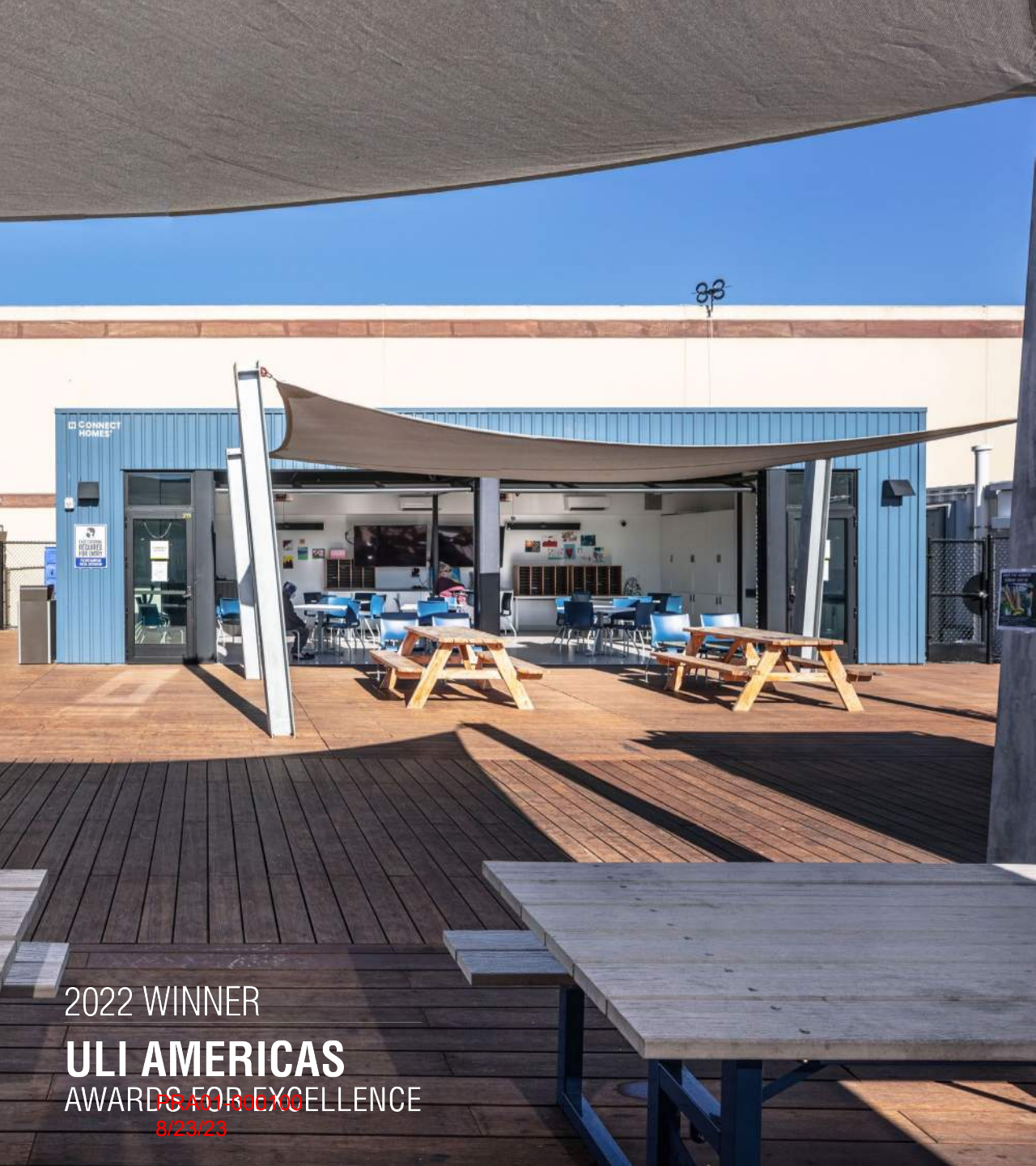


STATION 09:
CS-05A:
Gutters and interior finishes
are being installed at
station 9.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



Case Study: Homekey Mountain View

- Homekey Round 1 project duration Sep 2020 - Feb 2021.
- Produced 88 beds in the span of three months. Community Center was delivered one month later.
- Project increased Mountain View beds for those experiencing homelessness by 10x overnight by converting former car storage facility into Supportive Interim Housing



2022 WINNER

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PSA01-000101

8/23/23





2022 WINNER

ULI AMERICAS

AWARDS FOR EXCELLENCE






**CONNECT
HOMES®**

EXIT

Hope Lane


**CONNECT
HOMES®**


**CONNECT
HOMES®**

EVACUATION PLAN
200 LEBRON STREET
MOUNTAIN VIEW, CA

CONNECT HOMES

PRA01-000103
8/23/23



Case Study: Labath Landing (Rohnert Park)

- 2,700 people are experiencing homeless in Sonoma County.
- Homekey Round 2 project - 16 modules provided 60 private, dignified rooms.
- Entire project went from production start to ribbon cutting in a little over three months.
- Second Homekey Round 2 project to come online in state of California.

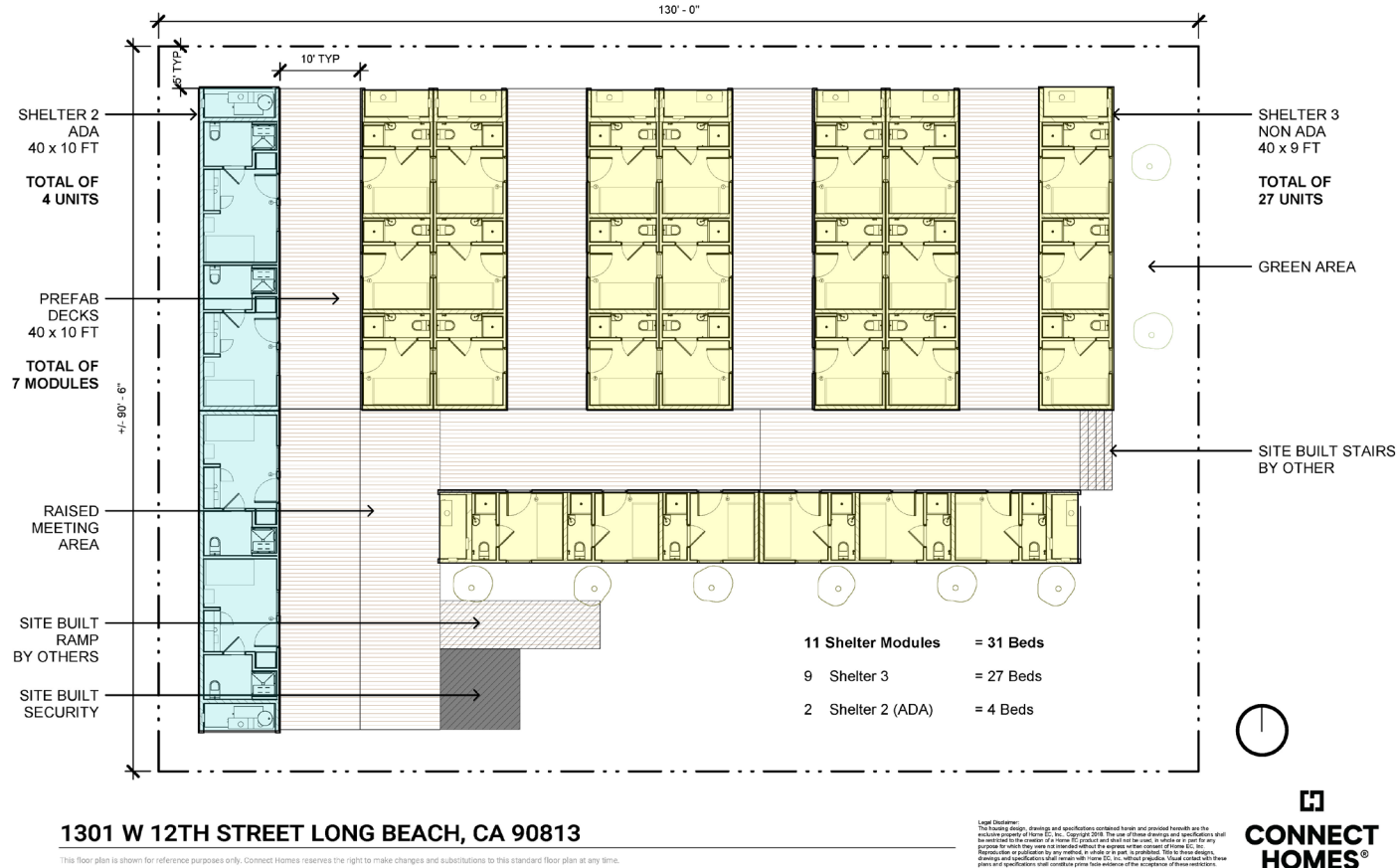




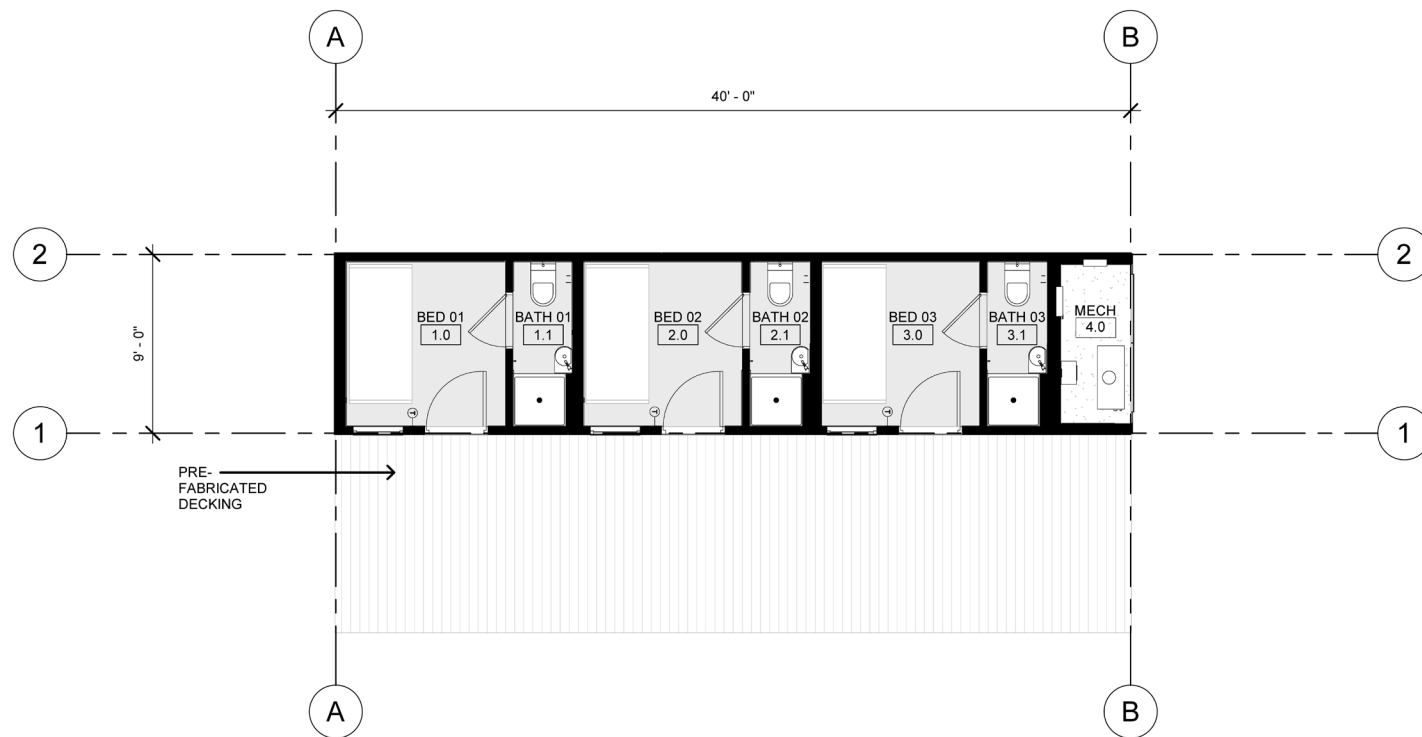
PRA01-000105
8/23/23



Homekey Long Beach



- Upcoming Homekey Long Beach Project
- The campus features **34 beds** using 12 Shelter 3 modules (three sleeping rooms, each with ensuite bathroom) and 2 Shelter 2 Efficiency modules (2 larger sleeping rooms, each with ADA bathroom).
- Part of Homekey Round 2
- Connect won open RFP in November of 2022.
- Contract expected to sign at February 2023 City Council Meeting.
- Private bathrooms and wider modules enhance livability.



- Homekey Long Beach Project Connect Shelter 3's with ensuite bathrooms.

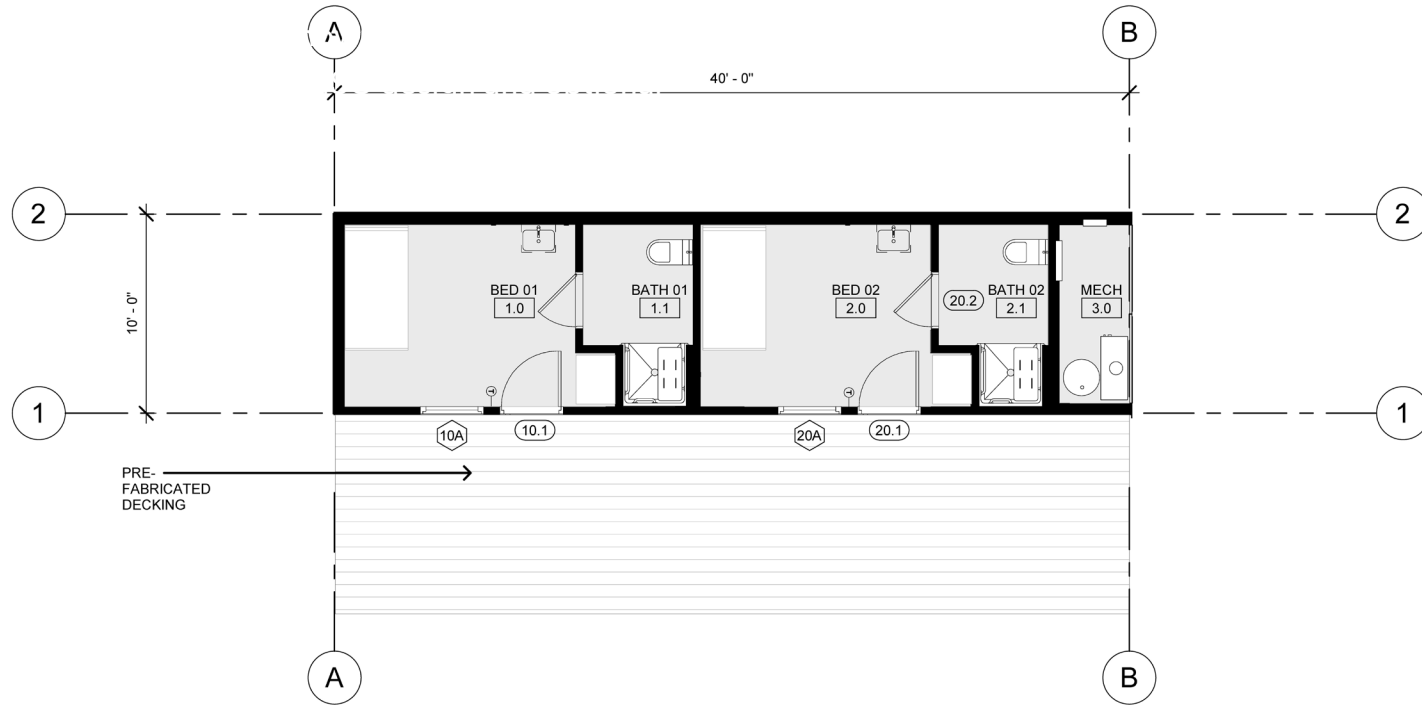
FLOOR PLAN

SHELTER MODEL - CS3 - 3BED/3BATH

0' 5' 10' 20'

This floor plan is shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to this standard floor plan at any time.

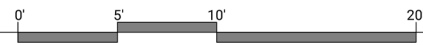




- Homekey Long Beach
Project Connect Shelter 2
Efficiency with ensuite
ADA bathrooms

FLOOR PLAN

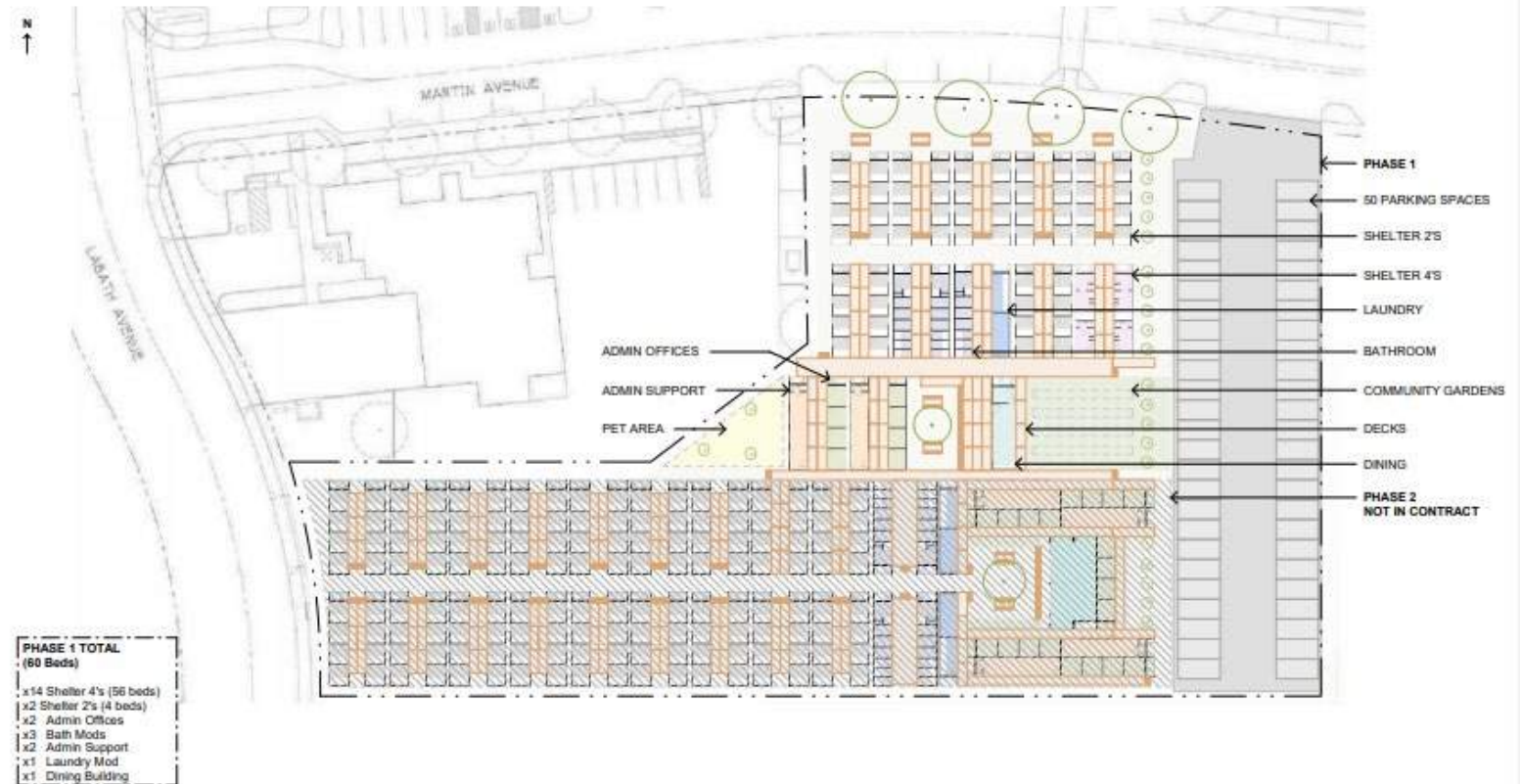
SHELTER MODEL - CS2 ADA - 2 BED/2BATH

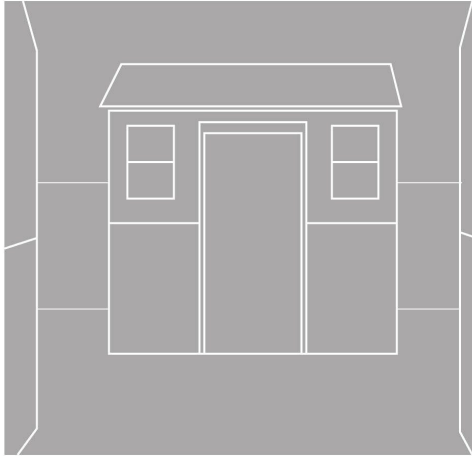


**CONNECT
SHELTERS®**

How we can help with Homekey and beyond

- We can quickly create a schematic site plans and budget based on specific project and community goals.
- Connect you with other parties/partners to help navigate Homekey process.
- Show how Homekey projects already underway can be converted to Connect Shelter System to satisfy “unrealistic” timelines.
- Adapt Connect Shelter System to specific housing typologies.

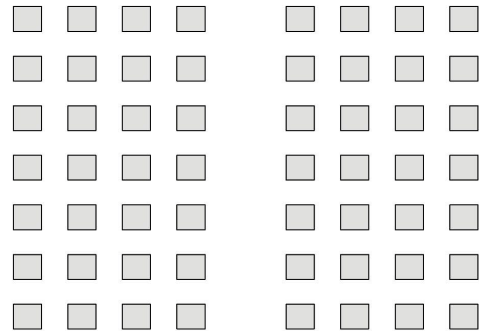




8x8 hard-sided emergency sheds weren't designed for long term use and can't be grouped because of lack of fire-resistance.

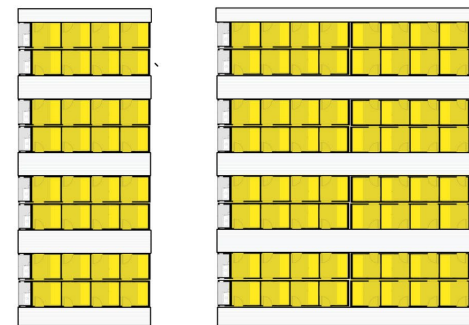


Connect Shelters come in multiple configurations and fire-resitant wall assemblies mean they can be placed back-to-back and/or stacked for increased density.



150'x 100' site showing 56 8'x8' emergency sheds, spaced 8' apart because of fire requirements.

Total sheltering: 56 beds.



150'x 100' site showing 24 Connect Shelter 4 modules.

Total sheltering: 96 beds (One Story).
Total sheltering: 144 beds (Two Story).



We can help

For Sales

Gordon Stott

Gordon@connect-homes.com
(323) 697-2386

PRA01-000112
8/23/23

706 S. Hill St. STE 1060, Los Angeles, CA 90014

888 959 - 2261



Marley Powell <marley.powell@lacity.org>

Constituent - Margaret Healy - Midvale concern

5 messages

Marley Powell <marley.powell@lacity.org>
To: George Hakopiants <george.hakopiants@lacity.org>

Mon, Jul 24, 2023 at 12:56 PM

Good Afternoon George,

Ms. Healy called in to speak with Patty but she lives in Vanessa's area. I am not sure how you want this handled so just let me know who to loop in.

Ms. Healy lives at 2370 Midvale Ave and did not receive a letter this morning. She said that she as well as a number of other residents did not get them delivered and are quite angry because neighbors on other blocks did receive them. (Just FYI she is on the Excel sheet of recipients and I couldn't find her house letter in the letters that the clean team returned--so I am not sure what happened.)

Ms. Healy wants to know more about the project, speak to someone on the phone in our office and wants to know why it was allowed to be set up next to a house. I tried to run over the information in the letter but she was angry she didn't receive it....

Margaret Healy
[REDACTED]

George Hakopiants <george.hakopiants@lacity.org>

Mon, Jul 24, 2023 at 1:02 PM

To: Marley Powell <marley.powell@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hi Marley,

I saw the Clean Team canvassing that neighborhood so I know they were out there making the deliveries. I instructed them not to touch peoples' mailboxes (since that's a federal crime), so it could be somewhere else on the property. If people call claiming they didn't get one, please offer to send them a digital PDF copy.

For calls like these, I would suggest taking their name and number down, and sending their information to Vanessa for her to follow up.

Vanessa, in your calls, hear them out, and redirect them to the community meeting to let their thoughts and concerns be heard in-person.

Adding Fernando on here as well.

Best,
George

[Quoted text hidden]

--



George Hakopiants

District Director

City Hall: (213) 473-7005

PRA01-000113


cd5.lacity.gov

District: (323) 866-1828
 Los Angeles City Hall
 200 North Spring St., Room 440
 Los Angeles, CA 90012

Fernando Morales <fernando.morales@lacity.org>

Mon, Jul 24, 2023 at 1:33 PM

To: George Hakopiants <george.hakopiants@lacity.org>

Cc: Marley Powell <marley.powell@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>

Thanks all and spot on, George! That is the best way to move forward and encourage folks to attend either of the community meetings. There will be much more information at the event including plans/renderings.

[Quoted text hidden]

Vanessa Saldana <vanessa.saldana@lacity.org>

Mon, Jul 24, 2023 at 3:23 PM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: George Hakopiants <george.hakopiants@lacity.org>, Marley Powell <marley.powell@lacity.org>

Was sent to voice mail. Left her my contact information.

[Quoted text hidden]


cd5.lacity.gov

Vanessa Saldana

Field Deputy, Palms & Westside

O: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

PLEASE NOTE: All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure under the Act.

Fernando Morales <fernando.morales@lacity.org>

Mon, Jul 24, 2023 at 3:24 PM

To: Vanessa Saldana <vanessa.saldana@lacity.org>

Cc: George Hakopiants <george.hakopiants@lacity.org>, Marley Powell <marley.powell@lacity.org>

Thanks, Vanessa!

Fernando


cd5.lacity.gov

PRA01-000114

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

7/31/23, 11:47 AM

City of Los Angeles Mail - Constituent - Margaret Healy - Midvale concern
[Los Angeles, CA 90012](#)

[Quoted text hidden]

PRA01-000115



Andrew Deblock <andrew.deblock@lacity.org>

Declined: City Depts x LifeArk re: 2377 Midvale THV @ Wed Jun 14, 2023 10am - 11am (PDT) (zachary.warma@lacity.org)

1 message

Andrew Deblock <andrew.deblock@lacity.org>
Reply-To: Andrew Deblock <andrew.deblock@lacity.org>
To: zachary.warma@lacity.org

Wed, Jun 14, 2023 at 9:19 AM

Andrew Deblock has declined this invitation.

Join with Google Meet

Meeting link

meet.google.com/yis-axdp-mea

Join by phone

(US) [+1 478-239-2171](tel:+14782392171)

PIN: 528421793

[More phone numbers](#)

Attachments



CD5-2377 Midvale-CLA-



CD5-Hope Pavilion-fina...

When

Wednesday Jun 14, 2023 · 10am – 11am (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

gary.bero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

menoa.aghajani@lacity.org

eugene.barbeau@lacity.org

pejman.noori@lacity.org

faruk.sezer@lacity.org

kevin.easton@lacity.org

shine.lin@lacity.org

hani.malki@lacity.org

eric.french@lacity.org

sean.dang@lacity.org

cwee@lifeark.net

jdilworth@lifeark.net

mohsen_anis@hotmail.com

pcho@lifeark.net

rwee@lifeark.net

nathan.ho@lacity.org

kurt.corral@lacity.org

analiz.marmolejo@lacity.org

andrew.deblock@lacity.org

fernando.morales@lacity.org

leo.daube@lacity.org

relrabaa@gmail.com

ssale@lifeark.net

[View all guest info](#)

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)





Marley Powell <marley.powell@lacity.org>

Document shared with you: "Midvale 199 Letter FINAL"

1 message

Leo Daube (via Google Docs) <drive-shares-dm-noreply@google.com>

Fri, Jul 21, 2023 at 4:41 PM

Reply-To: Leo Daube <leo.daube@lacity.org>

To: marley.powell@lacity.org

Leo Daube shared a document

Leo Daube (leo.daube@lacity.org) has invited you to **edit** the following document:

Midvale 199 Letter FINAL

Open

Google LLC, [1600 Amphitheatre Parkway, Mountain View, CA 94043, USA](#)

You have received this email because leo.daube@lacity.org shared a document with you from Google Docs.

Google Workspace

**Zachary Warma** <zachary.warma@lacity.org>

Emergency Sleeping Cabins Solicitation

1 message

Azeen Khanmalek <azeen.khanmalek@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>

Mon, Jul 17, 2023 at 2:45 PM

Hey Zach,

If LifeArk needs it, here is the solicitation for the emergency sleeping cabins. Closes Thursday at 5 pm.

<https://caleprocure.ca.gov/event/77601/0000027281>

**Azeen Khanmalek**

Director of Affordable Housing Production

He/Him

Phone: (213) 448-4730

Office of Mayor Karen Bass

[Sign up for updates from the Mayor here](#)

From: Zachary Warma <zachary.warma@lacity.org>
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Matthew Tenchavez <matthew.tenchavez@lacity.org>
Date: Mon Apr 03 2023 10:32:00 GMT-0700 (PDT)
Subject: Fwd: Homeless Program: List of Contracted Vendors

Just as an FYI, the city's current list of approved interim shelter vendors are as follows:

- Pallet
- Shelter Structures of America
- Sprung Instant Structures
- Mobile Modular
- GBO Homes
- Crate Modular

So we need LifeArk, Boss Cubez, Dignity Moves, Connect Homes to all register. I have sent (or will be sending) the vendor info to Dignity Moves and Connect Homes.

----- Forwarded message -----

From: **Connie Espinoza** <connie.espinoza@lacity.org>
Date: Fri, Mar 31, 2023 at 10:26AM
Subject: Re: Homeless Program: List of Contracted Vendors
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>

Good morning Zachary,

Attached is the latest listing of all active commodity contracts. I highlighted those that were awarded on behalf of the homeless crisis.

The Declaration of Local Emergency allows us to lift competitive bidding restrictions for contracts entered into by City departments, in response to the local emergency and mitigation efforts related to the homelessness emergency until September 1, 2023.

This being the case, we can award a one time purchase order or an annual requirements contract as long as the vendor is willing to work with us in fulfilling the City's compliance forms which were not waived.

Feel free to reach out to me if you have further questions.

Thank you,

Connie Espinoza, Supply Services Manager I
Department of General Services
Supply Chain Services
Ph: 213-928-9546
Fx: 213-928-9511



On Thu, Mar 30, 2023 at 12:45 PM Zachary Warma <zachary.warma@lacity.org> wrote:
Connie:

It's a pleasure to e-meet you!

Following up on Marina's 3/21 message, would you mind providing the list of city-approved Interim Housing vendors? Additionally, any guidelines regarding sole-sourcing tied to either the 2019 shelter crisis emergency declaration or Mayor Bass's recent emergency declaration / ED 1 would be incredibly helpful.

Thanks so much!

- Zachary Warma

On Tue, Mar 21, 2023 at 12:58 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:
Hi Connie,

Zachary Warma is the Director of Homeless Strategies for CD 5, would you please provide him a list of City vendors, also, could you provide any information you have regarding sole-sourcing vendors with the recent Directive from Mayor Bass?

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Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

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Attachments:

- Procurement Contracts.xlsx

From: Fernando Morales <fernando.morales@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Matthew Tenchavez <matthew.tenchavez@lacity.org>
Date: Mon Apr 03 2023 12:27:57 GMT-0700 (PDT)
Subject: Re: Homeless Program: List of Contracted Vendors

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Department of General Services
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Fx: 213-928-9511



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PRA01-000125
8/23/23

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PRA01-000126
8/23/23

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Cc: Zachary Warma <zachary.warma@lacity.org>
Date: Mon Apr 03 2023 12:38:14 GMT-0700 (PDT)
Subject: Re: Homeless Program: List of Contracted Vendors

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Sending it over to BOSS.

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Andrew Deblock <andrew.deblock@lacity.org>

Fwd: 2377 Midvale Ave Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

1 message

Zachary Warma <zachary.warma@lacity.org>

Wed, May 17, 2023 at 4:51 PM

To: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Leo Daube <leo.daube@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Rebecca Rasmussen <rebecca.a.rasmussen@lacity.org>

All:

Based on the desired amenities our office stipulated and the current restrictions BOE + other city departments have presented in the recent days, Connect Homes has provided us some preliminary updated layouts for the Midvale Interim Housing Project, with the bed count coming in at 33-34 units.

Work is ongoing to further engage BOE, DBS/LAFD on issues around setbacks and construction on storm drain easements.

While we will hopefully get the unit count up, I will note that even the most conservative of plans would yield an exceptionally robust interim housing facility.

More to come!

- ZW

----- Forwarded message -----

From: **Hannah Lee** <hannah@connect-homes.com>

Date: Wed, May 17, 2023 at 4:24 PM

Subject: RE: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA updateTo: Zachary Warma <zachary.warma@lacity.org>, Richard Lee <richard.lee@connect-homes.com>Cc: Gordon Stott <gordon@connect-homes.com>, Payal Gandhi <payal@connect-homes.com>, Heedo Chung <heedo@connect-homes.com>, Kyla Schaefer <kyla@connect-homes.com>

Hi Zachary,

Attached are the current site plans that we'd like to review with you over the pending call.

- Schemes A and B observe the setback, storm drain easement, and alley. With the reduction in available site area, the number of dwelling units is reduced from the original target of 45.
- Schemes C, D, and E do not preserve one or more of the site constraints. However, we're including these as reference to show what it would take to accommodate 45 units.

Our goal for the call is to identify a site plan (or two) that meets your needs to then take forward and further develop. Looking forward to hearing your thoughts!

HANNAH LEE

PRA01-000135

Project Manager | Architect

323.544.3558

hannah@connect-homes.com



[CONNECT-HOMES.COM](https://connect-homes.com)

304 S. Broadway, Suite 320

Los Angeles, CA 90013

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Wednesday, May 17, 2023 2:29 PM

To: Richard Lee <richard.lee@connect-homes.com>

Cc: Hannah Lee <hannah@connect-homes.com>; Gordon Stott <gordon@connect-homes.com>; Payal Gandhi <payal@connect-homes.com>; Heedo Chung <heedo@connect-homes.com>; Kyla Schaefer <kyla@connect-homes.com>

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

Richard:

I am free tomorrow from 9:30-10:30am, 2-3:30pm, 4:30-5:30pm. Additionally, I am free after 3pm today, and Friday is open from 10:30am-3pm.

In terms of follow up items:

- **Alley:** I can conclusively confirm that we will need to keep the alleyway open.
- **Parking requirements:** For the different zoning requirements, the City Attorney did not raise any concerns about this matter. We should be fine with including no more than 4 spots for the entire facility.
- **Setbacks:** For the 10' setback, BOE has made it clear it is a Fire Life Safety precaution from property lines with adjacent structures, but that in review with LADBS setbacks can be minimized to 5' or 6'. Know that our office is committed to maximizing the usable space of the lot.
- **Storm Drain Easement:** While BOE has stipulated that no structures can go on the storm drain easement, I (with the assistance of the City Attorney's Office) will continue investigating this matter.

Looking forward to chatting more soon!

- ZW

On Wed, May 17, 2023 at 1:59 PM Richard Lee <richard.lee@connect-homes.com> wrote:

Hi Zack,

What times would you be available to meet tomorrow to review our progress? We think it might be a quick meeting if we're able to send you a preliminary study by end of day today.

PRA01-000136

It would be good to share some design options to validate we're on the same page before we make our final design push.

Let us know.

RICHARD LEE, AIA

Project Director

626.765.7758



CONNECT HOMES

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Tuesday, May 16, 2023 6:30 PM

To: Richard Lee <richard.lee@connect-homes.com>

Cc: Gordon Stott <gordon@connect-homes.com>; Payal Gandhi <payal@connect-homes.com>; Heedo Chung <heedo@connect-homes.com>; Hannah Lee <hannah@connect-homes.com>; Kyla Schaefer <kyla@connect-homes.com>

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

Richard:

Re: potential closure of the alley - my meeting with the City Attorney's Office is from 9:30-10am tomorrow. I will be in touch immediately thereafter.

For the different zoning - our office was working off the assumption that parking requirements did not apply to a temporary housing facility, but I will add this to the list of items to discuss with the CA tomorrow. And as for the setbacks - BOE noted last week that they would review with LADBS and LAFD to see if the 10' setback could be reduced; I will also follow up on this matter.

Apologies to your team for not having this more complete set of information earlier on, but know how much we appreciate your work on this.

Regards,

Zack Warma

On Tue, May 16, 2023 at 3:56 PM Richard Lee <richard.lee@connect-homes.com> wrote:

Hi Zachary,

PRA01-000137

When do you expect to find out about the alleyway? We have several site plans ready and you're right about them changing once you have firm direction on alley closure options.

Separately, our team identified that both parcels are zoned differently. The back lot is residential and has some setback requirements. Does the city intend to move forward to rezone the parcel to be more commercial or variances to eliminate setback or parking requirements?

Thank you,

RICHARD LEE, AIA

Project Director

626.765.7758



CONNECT HOMES

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Tuesday, May 16, 2023 11:09 AM

To: Richard Lee <richard.lee@connect-homes.com>

Cc: Gordon Stott <gordon@connect-homes.com>; Payal Gandhi <payal@connect-homes.com>; Heedo Chung <heedo@connect-homes.com>

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

Richard:

BOE sent over the below passages of the State Building Code governing adaptability requirements. Here is [the link](#) to the section of the code captured in the second screen shot.

Furthermore - please find attached herein a preliminary layout BOE assembled of the site, utilizing past layout plans done with Pallet. The reasons for sending this are two-fold:

1. BOE has informed me that there is a storm drain easement running diagonally across the section of the lot fronting Pico, which needs to be kept clear of major structures.
2. BOE has also noted that the alleyway cannot be closed, which was our office's initial desire. I have a meeting with the City Attorney's Office tomorrow to see whether or not there are any legislative actions available to address this issue. I will be in touch shortly on this, as this will very likely impact the overall configuration, door count, and costs.

This morning I was also made aware of the existence of [NavigateLA](#), managed by BOE, which provides detailed parcel information.

As noted before, don't hesitate to be in touch if we can be of assistance.

PRA01-000138

- ZW

PUBLIC HOUSING. [DSA-AC & HCD 1-AC] Housing facilities owned, operated, or constructed by, for or on behalf of a public entity including but not limited to the following:

- 1. Publically owned and/or operated one- or two-family dwelling units or congregate residences;*
- 2. Publically owned and/or operated buildings or complexes with three or more residential dwelling units;*
- 3. Reserved.*
- 4. Publically owned and/or operated homeless shelters, group homes and similar social service establishments;*
- 5. Publically owned and/or operated transient lodging, such as hotels, motels, hostels and other facilities providing accommodations of a short term nature of not more than 30 days duration;*
- 6. Housing at a place of education owned or operated by a public entity, such as housing on or serving a public school, public college or public university campus;*
- 7. Privately owned housing made available for public use as housing.*

11B-233.1 General

Public housing facilities with residential dwelling units shall comply with Section 11B-233. See Chapter 2, Section 202 of this code for the definition of Public Housing.

11B-233.2 Reserved**11B-233.3 Public Housing Facilities**

Public housing facilities with residential dwelling units shall comply with Section 11B-233.3.

Note: Senior citizen housing may also be subject to Civil Code, Division 1, Part 2, Sections 51.2, 51.3 and 51.4.

11B-233.3.1 Minimum Number: New Construction

Newly constructed facilities with residential dwelling units shall comply with Section 11B-233.3.1.

Exception: Where facilities contain 15 or fewer residential dwelling units, the requirements of Sections 11B-233.3.1.1 and 11B-233.3.1.3 shall apply to the total number of residential dwelling units that are constructed under a single contract, or are developed as a whole, whether or not located on a common site.

11B-233.3.1.1 Residential Dwelling Units With Mobility Features

In facilities with residential dwelling units, at least 5 percent, but no fewer than one unit, of the total number of residential dwelling units shall provide mobility features complying with Sections 11B-809.2 through 11B-809.4 and shall be on an accessible route as required by Section 11B-206.

11B-233.3.1.2 Residential Dwelling Units With Adaptable Features

In facilities with residential dwelling units, adaptable residential dwelling units complying with Sections 11B-809.6 through 11B-809.12 shall be provided as required by Sections 11B-233.3.1.2.1 through 11B-233.3.1.2.6. Adaptable residential dwelling units shall be on an accessible route as required by Section 11B-206.

On Mon, May 15, 2023 at 8:51 PM Richard Lee <richard.lee@connect-homes.com> wrote:

Perfect. I appreciate you keeping this at top of mind.

RICHARD LEE, AIA

Project Director

626.765.7758



CONNECT HOMES

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Monday, May 15, 2023 4:32 PM

To: Richard Lee <richard.lee@connect-homes.com>

Cc: Gordon Stott <gordon@connect-homes.com>; Payal Gandhi <payal@connect-homes.com>; Heedo Chung

PRA01-000140

<heedo@connect-homes.com>

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

Richard:

I will happily inquire as to where / with whom that information might live regarding adaptability requirements, and I'll be in touch shortly.

- ZW

On Mon, May 15, 2023 at 3:43 PM Richard Lee <richard.lee@connect-homes.com> wrote:

Hi Zachary,

Thank you for the additional clarification on reviewing authorities. I'll circle with our team internally prior to committing to dates.

Regarding the ADA requirements, we'll make sure 5% are ADA accessible. Regarding Adaptability, is there someone at LADBS we can liaise with to understand which components would be required "adaptable."

Thank you,

RICHARD LEE, AIA

Project Director

626.765.7758



CONNECT HOMES

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Monday, May 15, 2023 3:03 PM

To: Gordon Stott <gordon@connect-homes.com>; Richard Lee <richard.lee@connect-homes.com>

Cc: Payal Gandhi <payal@connect-homes.com>; Heedo Chung <heedo@connect-homes.com>

Subject: [2377 Midvale Ave](#) Interim Housing Project - June meeting with LAFD/BOE/LADBS; ADA update

Gordon, Richard, Payal, and Heedo:

I hope you all had restful weekends.

PRA01-000141

Having met with Bureau of Engineering and City Administrative Office (CAO) staff earlier today, I want to provide all of you with the following updates:

- **June meeting with LAFD, Building & Safety, Bureau of Engineering, CAO:** After your proposal has been transmitted to our office, we will be sending it to the CAO/BOE/LAFD/LADBS. We then want to set up a meeting between your team and relevant city departments to discuss the proposal prior to any public announcement. At your convenience, can you please send me some available time slots for the week of 6/5?
- **ADA accessible room requirements:** Per the CAO, 5% of the units need to be ADA-accessible, while the rest of the units are required to be potentially "adaptable" to ADA accessibility in the future.

Cheers,

Zack Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

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Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

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**Zachary Warma**

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**Zachary Warma**

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--

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[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

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--

**Zachary Warma**

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org



230517_MIDVALE_Site Plan-combined.pdf
9537K



Zachary Warma <zachary.warma@lacity.org>

Fwd: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

2 messages

Erik Villanueva <erik.villanueva@lacity.org>

Fri, Jul 21, 2023 at 7:13 PM

To: Zachary Warma <zachary.warma@lacity.org>, cwee@lifeark.net

Cc: Marina Quinonez <Marina.Quinonez@lacity.org>

Afternoon Zach and Charles,
Please see the attached survey for the Midvale site, pdf and AutoCAD.
Kind regards

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 830](#), Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING

----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>

Date: Thu, Jul 20, 2023 at 10:24 AM

Subject: Fwd: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

To: Erik Villanueva <Erik.Villanueva@lacity.org>

----- Forwarded message -----

From: **Elise Hernandez** <elise.hernandez@lacity.org>

Date: Thu, Jul 20, 2023, 10:01 AM

Subject: Fwd: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

To: Marina Quinonez <marina.quinonez@lacity.org>

Hello Marina,

Here are the topo files for the CD5 - 2377 Midvale LADOT Lot 707 project.

Thank you,

----- Forwarded message -----

From: **Elise Hernandez** <elise.hernandez@lacity.org>

Date: Thu, Jul 20, 2023 at 8:01 AM

Subject: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

To: Nathan Ho <nathan.ho@lacity.org>Cc: Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>, Valerie Lai <valerie.lai@lacity.org>

Hello Nathan,

Here are the topo files for the above mentioned project. Please let me know if you have any questions or concerns.

Thank you,

PRA01-000145

--

Elise Hernandez
Survey Division | Survey Party Chief
Bureau of Engineering | Department of Public Works
[201 N. Figueroa St., Suite 1100](#)
[Los Angeles, CA 90012](#)
Mail Stop: 904
Office:
Email: elise.hernandez@lacity.org

 <http://eng.lacity.org/> 

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Elise Hernandez
Survey Division | Survey Party Chief
Bureau of Engineering | Department of Public Works
[201 N. Figueroa St., Suite 1100](#)
[Los Angeles, CA 90012](#)
Mail Stop: 904
Office:
Email: elise.hernandez@lacity.org


 <http://eng.lacity.org/> 

4 attachments

 **CD5 - 2377 Midvale Lot 707.dwg**
1238K

 **CD5 MIDVALE.XML**
238K

 **CD5 - 2377 Midvale Lot 707.pdf**
545K

 **Survey Control Plat - CD5 - 2377 Midvale Lot 707.pdf**
254K

Charles Wee <cwee@lifeark.net>

Sat, Jul 22, 2023 at 8:43 AM

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Thanks Eric! We did get a copy of the survey from Nathan Ho.

Thanks,
Charles
213-324-7228


[Quoted text hidden]



Andrew Deblock <andrew.deblock@lacity.org>

Fwd: Connect Homes - 2377 Midvale Ave Interim Housing Submission

1 message

Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 2, 2023 at 5:44 PM

To: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>

Apologies for the late Friday email, but I am excited to share with you all the second proposal for 2377 Midvale, this one from Connect Homes.

The files are [saved on the shared drive here](#).

We are going to have two extremely compelling proposals to share with the community!

- ZW

----- Forwarded message -----

From: **Richard Lee** <richard.lee@connect-homes.com>

Date: Fri, Jun 2, 2023 at 5:32 PM

Subject: Connect Homes - [2377 Midvale Ave](#) Interim Housing Submission

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Gordon Stott <gordon@connect-homes.com>, Hannah Lee <hannah@connect-homes.com>, Kyla Schaefer <kyla@connect-homes.com>

Hello Zack,

Our team at Connect Homes is pleased to submit the attached file for the Interim Housing Project located at [2377 Midvale Avenue](#).

Within the files, you will find the following:

1. Budget for Scheme A
2. Budget for Scheme E
3. Shelter Package
 - a. Rendered Plans for A and E
 - b. Rendered Perspectives for A and E
 - c. Images of existing and proposed interiors
 - d. Images of an existing project containing dwelling units and a community building
 - e. Site Comparison of A and E with mod-type legend to use when reviewing budgets.

Please do not hesitate to contact us with additional questions.

We hope you have a great weekend.

RICHARD LEE, AIA

PRA01-000147

Project Director

626.765.7758



CONNECT HOMES

304 S. Broadway, Suite 320

Los Angeles, CA 90013

--



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

3 attachments



Midvale Shelter Package_20230602.pdf

19212K



Midvale Shelters Budget_SchemeA_ 20230602.pdf

529K



Midvale Shelters Budget_SchemeE_ 20230602.pdf

473K



Andrew Deblock <andrew.deblock@lacity.org>

Fwd: Update re: Midvale Ave. storm drain, potential encroachment on easement

1 message

Zachary Warma <zachary.warma@lacity.org>

Thu, Jul 27, 2023 at 2:55 PM

To: Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Updated site plan layout, just FYI. Trying to get this locked down / finalized ASAP.

We should have updated renderings by next Wednesday. So rather tight.

- ZW

----- Forwarded message -----

From: **Charles Wee** <cwee@lifeark.net>

Date: Thu, Jul 27, 2023 at 1:54 PM

Subject: Re: Update re: Midvale Ave. storm drain, potential encroachment on easement

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Rebecca Wee <rwee@lifeark.net>, Paul Cho <pcho@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Elda Mendez <emendez@lafh.org>, Gary Gero <gary.gero@lacity.org>, Stephanie Klasky-Gamer <stephanie@lafh.org>, Kimberly Roberts <KRoberts@lafh.org>, Kelsey Madigan <kmadigan@lafh.org>

Hi Zach and team,

Thanks for the update. 7' below is shallower than I thought. I have a feeling it will take a long time to get to the bottom of this and eventually they will say no.

Attached is the progress plan incorporating what we discussed yesterday. Also, see the NavLA map superimposed. You can see the impact is not too bad and the deck over the easement, we can bridge the structure over not to have any footings where the easement is. In the interest of moving this project along, I suggest we go with this siteplan. Please review and if it's close enough, we should go with this. I probably didn't pick up every comment from yesterday but should be close. I still have 34 units so we can lose a few with drain impact if we have to.

I also spoke to our rendering team and decided we can redo the rendering based on the revised siteplan. They will need at least 3-4 days since they will have to redo the 3D modeling. If everyone is generally OK, I will use this siteplan to update the rendering to be done by next Tue-Wed.

I know we still have the LAHD hurdle left and keeping my fingers crossed they will not bulldoze it. Zach, can you confirm with Kenya for the 8/3 11:30am LAHD meeting?

Thanks,
Charles
213-324-7228



On Thu, Jul 27, 2023 at 12:49 PM Zachary Warma <zachary.warma@lacity.org> wrote:

All:

Want to provide you with a brief update concerning the storm drain (and the related easement) at 2377 Midvale. Yesterday, our CoS Gary spoke with Ted Allen, the City Engineer at BOE.

The 90' drain dates to 1920, and is located 6 to 7 feet below the surface.

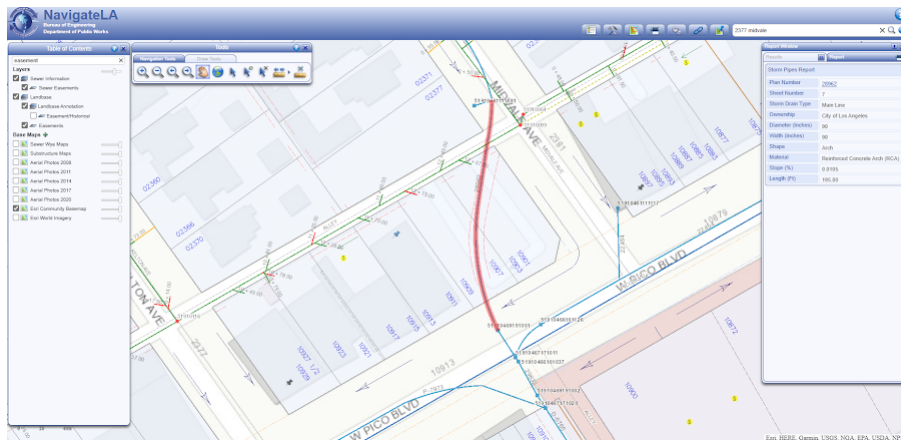
What is copied below (and attached herein) is the NavigateLA image showing the approximate location of the drain, relative to the easement.

PRA01-000149

City staff have committed to initiating an analysis of the storm drain, while BOE is currently engaging BSS for encroachment information, and LASAN regarding the requirements for the revocable permit.

We very much hope to have some increased clarity shortly.

- ZW



Zachary Warma
Housing & Homelessness
Policy Director
O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012



Zachary Warma
Housing & Homelessness
Policy Director
O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

2 attachments



cd5-230727 siteplan-drain-navla.jpg
785K

PRA01-000150



230727-cd5-sp.pdf

635K



George Hakopiants <george.hakopiants@lacity.org>

Fwd: WSSM Board Meeting: Tuesday, August 1, 2023, 7:15 pm

2 messages

Dylan Sittig <dylan.sittig@lacity.org>

Mon, Jul 31, 2023 at 12:50 PM

To: Fernando Morales <fernando.morales@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

FYI

----- Forwarded message -----

From: **Barbara Broide** <wncluc@gmail.com>

Date: Mon, Jul 31, 2023 at 9:18 AM

Subject: WSSM Board Meeting: Tuesday, August 1, 2023, 7:15 pm

To: Vanessa Saldana <vanessa.saldana@lacity.org>

CC: Dylan Sittig <dylan.sittig@lacity.org>

Our next WSSM Board meeting will be a zoom meeting tomorrow evening.

Please let me know if you plan to attend and/or if you have any items for the agenda.

Share this with any others in the office who may wish to have any items considered.

I would expect that we will have a number of local residents who are concerned about the proposed interim housing project at Midvale and Pico in attendance at the meeting. We made a conscious decision not to hold our WSSM Board meeting in person, despite great public interest in the project because we did not want to compete with people's possible attendance at Thursday night's meeting.

It is going to be a busy week!

Thanks,
Barbara

--



cd5.lacity.gov

Dylan Sittig*Pronouns: He, Him, His***SENIOR PLANNING DEPUTY****O: (213) 473-7005**

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.

Fernando Morales <fernando.morales@lacity.org>

Mon, Jul 31, 2023 at 1:14 PM

To: Dylan Sittig <dylan.sittig@lacity.org>

Cc: George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Thanks, Dylan! Vanessa/myself will join to refer folks to Thursday's meeting.

Fernando

PRA01-000152



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]



Midvale Next Steps - Review Final Q&A/Set Meetings

Created by: Fernando Morales · Your response: ✓ Yes, I'm going

Time

3pm - 3:40pm (Pacific Time - Los Angeles)

Date

Mon Jun 5, 2023

My Notes

Guests

- ✓ Allen Zipper
- ✓ Andrew Deblock
- ✓ Fernando Morales
- ✓ George Hakopiants
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ✓ Gary Gero
- ⊗ Zachary Warma
- Analiz Marmolejo
- Leo Daube



Midvale Team Meeting (In Person - District Office)

Created by: Fernando Morales · Your response: ✓Yes, I'm going

Time

11am - 11:40am (Pacific Time - Los Angeles)

Date

Thu Jun 8, 2023

My Notes

Guests

- ✓ Allen Zipper
- ✓ Andrew Deblock
- ✓ barbaraatl@large@gmail.com
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ George Hakopiants
- ✓ Jarrett Thompson
- ✓ Katy Yaroslavsky
- ✓ Matthew Tenchavez
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ⊗ Zachary Warma
- Leo Daube



Virtual Meeting re: Midvale

Created by: Jenelle Henderson · Your response: ✓ Yes, I'm going

Time

3pm - 3:30pm (Pacific Time - Los Angeles)

Date

Thu Jun 29, 2023

Guests

- ✓ Andrew Deblock
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ George Hakopiants
- ✓ Katy Yaroslavy
- ✓ Matthew Tenchavez
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ⊗ Zachary Warma
- Leo Daube

My Notes



CD 5 Tiny Home Village: LifeArk Proposal

Created by: Marina Quinonez · Your response: ✓ Yes, I'm going

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Wed Jul 12, 2023

Description

Please add whoever needs to be present from the LifeArk team.

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ Dwayne Laurent
- ✓ Eric French
- ✓ Erik Villanueva
- ✓ Faruk Sezer
- ✓ Gary Gero
- ✓ jdilworth@lifeark.net
- ✓ Marina Quinonez
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ✓ Sean Dang
- ⓧ Kevin Morales
- ⓧ Menoa Aghajani
- ⓧ Shine Lin
- ⓧ Zachary Warma
- ⓧ Hani Malki
- Eugene Barbeau
- Kevin Easton
- mohsen_anis@hotmail.com
- Pejman Noori
- relrabaa@gmail.com



Virtual Meeting re: Midvale

Created by: Jenelle Henderson · Your response: ✓ Yes, I'm going

Time

3:45pm - 4:15pm (Pacific Time - Los Angeles)

Guests

- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ Katy Yaroslavy
- ✗ Zachary Warma

Date

Wed Jul 12, 2023

Description

Details: Virtual meeting discussing updates on Midvale and other homeless housing

Staff: Gary, Zack, and Fernando

My Notes



Project Kick-Off/Check-In

Created by: Fernando Morales · Your response: ? I might go

Time

12pm - 12:50pm (Pacific Time - Los Angeles)

Date

Wed Jul 19, 2023

Description

Meeting Agenda:

- Introductions
- Document Review - Outreach Language (Leo) /Calendar of Major Actions (Zack/Fernando)
- Next Steps - Virtual and In-Person Meeting (Fernando) & Public Statement/Quotes (Leo)
- General Discussion

Guests

- ✓ cwee@lifeark.net
- ✓ Fernando Morales
- ✓ George Hakopiants
- ✓ jdilworth@lifeark.net
- ✓ kmadigan@lafh.org
- ✓ Matthew Tenchavez
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ? Gary Gero
- ⊗ Vanessa Saldana
In vacations.
- ⊗ Zachary Warma
Analiz Marmolejo
kroberts@lafh.org
Leo Daube
rkassenbrock@lafh.org

My Notes



LA Family Housing / CD5: LifeArk Tyler Visit

Created by: rwee@lifeark.net · Your response: ✓ Yes, I'm going

Time

10am - 11am (Pacific Time - Los Angeles)

Date

Mon Jul 24, 2023

Where

2642 Tyler Ave El Monte CA 91733

Description

Parking: in the driveway if space permits or on the street

My Notes

Guests

- ✓ cwee@lifeark.net
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ jdilworth@lifeark.net
- ✓ Katy Yaroslavy
- ✓ pcho@lifeark.net
- ✓ rwee@lifeark.net
- ✓ stephanie@lafh.org
- ⊗ Zachary Warma
- Analiz Marmolejo
- Jenelle Henderson
- kmadigan@lafh.org
- kroberts@lafh.org
- Leo Daube
- Loren Jackson
- Perla Urzua



Zachary Warma <zachary.warma@lacity.org>

Hope Pavilion Site Plan Layout/Design

1 message

Nkena Lawrence <NLawrence@lafh.org>

Tue, Jul 18, 2023 at 4:39 PM

To: "Charles Wee <cwee@lifeark.net>" <cwee@lifeark.net>, Stephanie Klasky-Gamer <Stephanie@lafh.org>, Kelsey Madigan <KMadigan@lafh.org>, "Gary Gero <gary.gero@lacity.org>" <gary.gero@lacity.org>, "Paul Cho <pcho@lifeark.net>" <pcho@lifeark.net>, "Jonathan Dilworth <jdilworth@lifeark.net>" <jdilworth@lifeark.net>, Elda Mendez <EMendez@lafh.org>, "Zachary Warma <zachary.warma@lacity.org>" <zachary.warma@lacity.org>
Cc: Jonathon Dilworth <jonathon@c-dpartners.com>



Hi there,

Kimberly Roberts is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

One tap mobile: US: +16699006833,,85245694657# or +16694449171,,85245694657#

Meeting URL: <https://us06web.zoom.us/j/85245694657?from=addon>

Meeting ID: 852 4569 4657

Join by Telephone

For higher quality, dial a number based on your current location.

Dial: +1 669 900 6833 US (San Jose)
+1 669 444 9171 US

PRA01-000161

+1 719 359 4580 US
+1 253 205 0468 US
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 689 278 1000 US
+1 929 436 2866 US (New York)
+1 301 715 8592 US (Washington DC)
+1 305 224 1968 US
+1 309 205 3325 US
+1 312 626 6799 US (Chicago)
+1 360 209 5623 US
+1 386 347 5053 US
+1 507 473 4847 US
+1 564 217 2000 US
+1 646 931 3860 US

Meeting ID: 852 4569 4657

International numbers

3 attachments

 **Re: Exciting update re: Hope Pavilion's service provider; team meeting to discuss site plan layout/design.msg**
178K

 **Re: Exciting update re: Hope Pavilion's service provider; team meeting to discuss site plan layout/design.msg**
222K

 **invite.ics**
5K

From: Scott Sale <scottsale28@gmail.com>
To: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Date: Mon May 08 2023 16:17:08 GMT-0700 (PDT)
Subject: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

Patrick,

I was talking with Hugo about the Life Ark concept in El Monte about which Fernando Morales (here) is very familiar as well the deputies for CD 11.

Hugo thought you and I could do a Zoom meeting after you have reviewed the website: [www.life](http://www.lifeark.org)

Life Ark is THE ANSWER for the lack of affordable housing in LA. Please look at the website and following highlights about Life Ark.

Each unit has its own bathroom and kitchenette and windows

It has the highest rating of earthquake and fire resistance

each room opens into a common space with full kitchen, TV room, game area to promote community

(The residents take turns taking a blind resident out for walks as one example)

It does not trigger NIMBY resistance because of its small scale

It is buoyant for areas where flooding may be a challenge

It uses the most cost-efficient form of molding prefab housing - roto-molding rather than injection molding are roto-molding factories across the country and the globe meaning this technology can be transferred and brought to scale swiftly - which also radically enhances its affordability - (currently \$190k/unit vs more than \$800k/unit for PSH in LA County) - and if brought to scale the costs would shrink significantly)

Production in factory translates into enabling production to be completed in weeks rather than years

The modules can be used to create emergency shelter and then the same modules can be converted to permanent housing!

The El Monte demonstration project I visited looks ideal for TAY given its small size, privacy and ability to community/peer relationships

Has a smaller carbon footprint than traditional and other emerging housing models as it uses recycled plastic solar panels

Its material creates calming acoustics in the common area

the material is resistant to mold and other environmental health risk factors

It has other ingenious efficiencies such as creating crawl space enabling easy assembly and maintenance wiring/electricity/plumbing - never need to trench underground which incurs significant construction/environmental impact costs/delays

Life Ark is exploring ways to involve workforce entry nonprofits to employ TAY in the production phases to hone key skills

They are in discussions with FEMA which can take it to scale. As mentioned, it has potential to be introduced across the globe to address emerging crises such as we've witnessed in Syria/Turkey where the earthquake rendered 2 million individuals homeless

This model is sustainable with Section 8, HUD VASH and similar housing vouchers and can generate profits that can be garnered to expand production capacity

Life Ark and Luminosity are partnering with Home Aid to create ever more proficient, cost-effective production capacity

The website is: LOADED with prototypes, drawings, partners, potential projects, and some of the data.

Scott Sale (retired MD)

Founder of Safe Parking LA

310-780-2266

From: Scott Sale <scottsale28@gmail.com>
To: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Date: Mon May 15 2023 12:49:14 GMT-0700 (PDT)
Subject: Re: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

Patrick,
Let me try again to connect with you. Fernando, can you relay to Patrick how significant a concept Life Ark is.
Scott
310-780-2266

From: Saunalogic <scottsale28@gmail.com>
Date: Tuesday, May 9, 2023 at 1:17 AM
To: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Subject: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

Patrick,

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capacity

The website is: LOADED with prototypes, drawings, partners, potential projects, and some of the data.

From: Fernando Morales <fernando.morales@lacity.org>
To: Scott Sale <scottsale28@gmail.com>
Cc: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Date: Mon May 15 2023 12:56:53 GMT-0700 (PDT)
Subject: Re: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

Modular housing is great although the concept has been around a bit. We're exploring some options for Interim Sites. There are many different providers, but LifeArk is one of our finalists if that helps at all!

All the best,

Fernando

On Mon, May 15, 2023 at 12:49 PM Scott Sale <scottsale28@gmail.com> wrote:

Patrick,
Let me try again to connect with you. Fernando, can you relay to Patrick how significant a concept that Life Ark is.
Scott
310-780-2266

From: Saunalogic <scottsale28@gmail.com>
Date: Tuesday, May 9, 2023 at 1:17 AM
To: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Subject: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

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Scott Sale (retired MD)

Founder of Safe Parking LA

310-780-2266

From: Scott Sale <scottsale28@gmail.com>

To: Fernando Morales <fernando.morales@lacity.org>

Cc: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>

Date: Mon May 15 2023 12:57:35 GMT-0700 (PDT)

Subject: Re: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June St

thanks

From: Fernando Morales <fernando.morales@lacity.org>
Date: Monday, May 15, 2023 at 9:57 PM
To: Saunalogic <scottsale28@gmail.com>
Cc: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Subject: Re: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June 5

Modular housing is great although the concept has been around a bit. We're exploring some options for Interim Sites. There are many different providers, but LifeArk is one of our finalists if that helps :

All the best,

Fernando

On Mon, May 15, 2023 at 12:49 PM Scott Sale <scottsale28@gmail.com> wrote:

Patrick,
Let me try again to connect with you. Fernando, can you relay to Patrick how significant a contribution Life Ark is.
Scott
310-780-2266

From: Saunalogic <scottsale28@gmail.com>
Date: Tuesday, May 9, 2023 at 1:17 AM
To: "patrick.mooney@lacity.org" <patrick.mooney@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Subject: I met with Hugo yesterday, Sunday May 7 at the Eco Street Fair on June 5

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The website is: LOADED with prototypes, drawings, partners, potential projects, and some of the history

Scott Sale (retired MD)

Founder of Safe Parking LA

310-780-2266



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: 2377 Midvale THV Project - Next Steps @ Mon May 15, 2023 12pm - 12:45pm (PDT) (andrew.deblock@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Wed, May 10, 2023 at 4:44 PM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: andrew.deblock@lacity.org, fernando.morales@lacity.org, gary.gero@lacity.org, edwin.gipson@lacity.org, erik.villanueva@lacity.org, marina.quinonez@lacity.org, kendra.leal@lacity.org, annabelle.gonzales@lacity.org

Join with Google Meet**Meeting link**

meet.google.com/nno-bjox-jdi

Join by phone

(US) +1 609-795-1395

PIN: 541809042

[More phone numbers](#)**When**

Monday May 15, 2023 · 12pm – 12:45pm (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

gary.gero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

andrew.deblock@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

[View all guest info](#)**Reply** for andrew.deblock@lacity.org

Yes

No

Maybe

More options

PRA01-000172

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 **invite.ics**
3K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: AD/ZW/FM Midvale Check-In @ Fri Jun 30, 2023 1:30pm - 1:55pm (PDT)
(andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>
Reply-To: Fernando Morales <fernando.morales@lacity.org>
To: andrew.deblock@lacity.org, zachary.warma@lacity.org

Thu, Jun 29, 2023 at 4:42 PM

Join with Google Meet**Meeting link**

meet.google.com/dmt-zbiq-vgx

Join by phone

(US) +1 470-485-8739

PIN: 822812622

[More phone numbers](#)**When**

Friday Jun 30, 2023 · 1:30pm – 1:55pm (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

zachary.warma@lacity.org

andrew.deblock@lacity.org

[View all guest info](#)**Reply for andrew.deblock@lacity.org**

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

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PRA01-000174

 **invite.ics**
2K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: City Depts x Connect Homes re: 2377 Midvale THV @ Mon Jun 12, 2023 10am - 11am (PDT) (andrew.deblock@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Wed, Jun 7, 2023 at 11:51 AM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: andrew.deblock@lacity.org, gary.gero@lacity.org, edwin.gipson@lacity.org, erik.villanueva@lacity.org, marina.quinonez@lacity.org, kendra.leal@lacity.org, annabelle.gonzales@lacity.org, kevin.morales@lacity.org, faruk.sezer@lacity.org, eugene.barbeau@lacity.org, kevin.easton@lacity.org, pejman.noori@lacity.org, shine.lin@lacity.org, hani.malki@lacity.org, sean.dang@lacity.org, nathan.ho@lacity.org, gordon@connect-homes.com, payal@connect-homes.com, kurt.corral@lacity.org, analiz.marmolejo@lacity.org, fernando.morales@lacity.org, leo.daube@lacity.org, hannah@connect-homes.com, heedo@connect-homes.com, kyla@connect-homes.com, richard.lee@connect-homes.com

Join with Google Meet

Meeting link

meet.google.com/emj-gwx-ibo

Join by phone

(US) [+1 470-735-3373](tel:+14707353373)

PIN: 856866041

[More phone numbers](#)

Attachments



Midvale Shelter Packag...



Midvale Shelters Budge...



Midvale Shelters Budge...

When

Monday Jun 12, 2023 · 10am – 11am (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

gary.bero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

menoa.aghajani@lacity.org

kevin.morales@lacity.org

faruk.sezer@lacity.org

eugene.barbeau@lacity.org

kevin.easton@lacity.org

pejman.noori@lacity.org

shine.lin@lacity.org

hani.malki@lacity.org

eric.french@lacity.org

sean.dang@lacity.org

nathan.ho@lacity.org

gordon@connect-homes.com

payal@connect-homes.com

kurt.corral@lacity.org

analiz.marmolejo@lacity.org

andrew.deblock@lacity.org

fernando.morales@lacity.org

leo.daube@lacity.org

hannah@connect-homes.com

heedo@connect-homes.com

kyla@connect-homes.com

richard.lee@connect-homes.com

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

PRA01-000178

 **invite.ics**
7K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: City Depts x LifeArk re: 2377 Midvale THV @ Wed Jun 14, 2023 10am - 11am (PDT) (andrew.deblock@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Wed, Jun 7, 2023 at 11:52 AM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: andrew.deblock@lacity.org, gary.gero@lacity.org, edwin.gipson@lacity.org, erik.villanueva@lacity.org, marina.quinonez@lacity.org, kendra.leal@lacity.org, annabelle.gonzales@lacity.org, menoa.aghajani@lacity.org, eugene.barbeau@lacity.org, pejman.noori@lacity.org, faruk.sezer@lacity.org, kevin.easton@lacity.org, sean.dang@lacity.org, cwee@lifeark.net, jdilworth@lifeark.net, pcho@lifeark.net, rwee@lifeark.net, nathan.ho@lacity.org, kurt.corral@lacity.org, analiz.marmolejo@lacity.org, fernando.morales@lacity.org, leo.daube@lacity.org, mohsen_anis@hotmail.com

Join with Google Meet

Meeting link

meet.google.com/yis-axdp-mea

Join by phone

(US) [+1 478-239-2171](tel:+14782392171)

PIN: 528421793

[More phone numbers](#)

Attachments



CD5-2377 Midvale-CLA-



CD5-Hope Pavilion-fina...

When

Wednesday Jun 14, 2023 · 10am – 11am (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

gary.bero@lacity.org

edwin.gipson@lacity.org

erik.villanueva@lacity.org

marina.quinonez@lacity.org

kendra.leal@lacity.org

annabelle.gonzales@lacity.org

menoa.aghajani@lacity.org

eugene.barbeau@lacity.org

pejman.noori@lacity.org

faruk.sezer@lacity.org

kevin.easton@lacity.org

shine.lin@lacity.org

hani.malki@lacity.org

eric.french@lacity.org

sean.dang@lacity.org

cwee@lifeark.net

jdilworth@lifeark.net

pcho@lifeark.net

rwee@lifeark.net

nathan.ho@lacity.org

kurt.corral@lacity.org

analiz.marmolejo@lacity.org

andrew.deblock@lacity.org

fernando.morales@lacity.org

leo.daube@lacity.org

mohsen_anis@hotmail.com

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

 **invite.ics**
6K



Allen Zipper <allen.zipper@lacity.org>

**Invitation: LAFH/Lifeark/CD 5 Community Meeting Check-In @ Fri Jul 28, 2023
2:45pm - 3:25pm (MST) (allen.zipper@lacity.org)**

1 message

Fernando Morales <fernando.morales@lacity.org>

Wed, Jul 26, 2023 at 3:13 PM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: allen.zipper@lacity.org, zachary.warma@lacity.org, george.hakopiants@lacity.org, cwee@lifeark.net, gary.gero@lacity.org, kmadigan@lafh.org, pcho@lifeark.net, leo.daube@lacity.org, vanessa.saldana@lacity.org, stephanie@lafh.org, jarrett.thompson@lacity.org

Join with Google Meet

Meeting link

meet.google.com/fib-zctn-paz

Join by phone

(US) [+1 484-469-7594](tel:+14844697594)

PIN: 914866840

[More phone numbers](#)

When

Friday Jul 28, 2023 · 2:45pm – 3:25pm (Mountain Standard Time - Fort Nelson)

Guests

fernando.morales@lacity.org - organizer

zachary.warma@lacity.org

george.hakopiants@lacity.org

cwee@lifeark.net

gary.gero@lacity.org

kmadigan@lafh.org

pcho@lifeark.net

leo.daube@lacity.org

vanessa.saldana@lacity.org

stephanie@lafh.org

allen.zipper@lacity.org

jarrett.thompson@lacity.org

[View all guest info](#)

Reply for allen.zipper@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

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invite.ics

4K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale Check-In & In-Person/Virtual Event Discussion @ Thu Jul 27, 2023 3:30pm - 4:35pm (PDT) (andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Tue, Jul 25, 2023 at 3:01 PM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: andrew.deblock@lacity.org, analiz.marmolejo@lacity.org, george.hakopiants@lacity.org, zachary.warma@lacity.org, gary.gero@lacity.org, leo.daube@lacity.org, vanessa.saldana@lacity.org, matthew.tenchavez@lacity.org

Join with Google Meet**Meeting link**

meet.google.com/gez-gyuv-neq

Join by phone

(US) +1 971-361-9245

PIN: 402562197

[More phone numbers](#)**When**

Thursday Jul 27, 2023 · 3:30pm – 4:35pm (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

analiz.marmolejo@lacity.org

george.hakopiants@lacity.org

zachary.warma@lacity.org

gary.gero@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

matthew.tenchavez@lacity.org

[View all guest info](#)**Reply** for andrew.deblock@lacity.org

Yes

No

Maybe

More options

PRA01-000187

Invitation from [Google Calendar](#)

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 **invite.ics**
3K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale IH In-Person Community Meeting @ Thu Aug 3, 2023 5:30pm - 7pm (PDT) (andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Mon, Jul 31, 2023 at 3:37 PM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: andrew.deblock@lacity.org, allen.zipper@lacity.org, analiz.marmolejo@lacity.org, gary.gero@lacity.org, george.hakopiants@lacity.org, jocelyn.tabata@lacity.org, leo.daube@lacity.org, loren.jackson@lacity.org, matthew.tenchavez@lacity.org, patricia.macias@lacity.org, perla.urzua@lacity.org, vanessa.saldana@lacity.org

Join with Google Meet

Meeting link

meet.google.com/agv-xhpe-fpq

Join by phone

(US) [+1 405-349-3047](tel:+14053493047)

PIN: 930938751

[More phone numbers](#)

Run of Show & Information - CD 5 Team, can you please arrive by 4:30pm? Thanks!

<https://docs.google.com/document/d/1zlpu1gxF9MqrB1KsMYGLIX0KYc3a8kIO/edit?usp=sharing&oid=103571711253364873092&rtpof=true&sd=true>

When

Thursday Aug 3, 2023 · 5:30pm – 7pm (Pacific Time - Los Angeles)

Location

Temple Isaiah, [10345 W Pico Blvd, Los Angeles, CA 90064, USA](#)

[View map](#)

Guests

fernando.morales@lacity.org - organizer

allen.zipper@lacity.org

analiz.marmolejo@lacity.org

andrew.deblock@lacity.org

gary.gero@lacity.org

george.hakopiants@lacity.org

jocelyn.tabata@lacity.org

leo.daube@lacity.org

loren.jackson@lacity.org

matthew.tenchavez@lacity.org

patricia.macias@lacity.org

perla.urzua@lacity.org

vanessa.saldana@lacity.org

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)





Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale Next Steps - Review Final Q&A/Set Meetings @ Mon Jun 5, 2023 3pm - 3:40pm (PDT) (andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Fri, Jun 2, 2023 at 11:03 AM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: andrew.deblock@lacity.org, analiz.marmolejo@lacity.org, zachary.warma@lacity.org, george.hakopiants@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org, vanessa.saldana@lacity.org, allen.zipper@lacity.org

Cc: gary.gero@lacity.org

Join with Google Meet

Meeting link

meet.google.com/zqf-cqos-bbc

Join by phone

(US) [+1 443-776-0807](tel:+14437760807)

PIN: 928904946

[More phone numbers](#)

When

Monday Jun 5, 2023 · 3pm – 3:40pm (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

analiz.marmolejo@lacity.org

zachary.warma@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

gary.gero@lacity.org - optional

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)



invite.ics

4K

PRA01-000193



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale Outreach Plan @ Wed Apr 26, 2023 4pm - 4:25pm (PDT)
(andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Tue, Apr 25, 2023 at 3:32 PM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: zachary.warma@lacity.org, george.hakopiants@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org, vanessa.saldana@lacity.org

Cc: andrew.deblock@lacity.org

Join with Google Meet**Meeting link**

meet.google.com/bqc-nvgm-kwq

Join by phone

(US) +1 304-402-6132

PIN: 397079778

[More phone numbers](#)**When**

Wednesday Apr 26, 2023 · 4pm – 4:25pm (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

zachary.warma@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

vanessa.saldana@lacity.org

andrew.deblock@lacity.org - optional

[View all guest info](#)**Reply** for andrew.deblock@lacity.org (your attendance is optional)

Yes

No

Maybe

More options

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

 **invite.ics**
3K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale Team Meeting (In Person City Hall) @ Thu Jun 8, 2023 4pm - 4:40pm (PDT) (andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Mon, Jun 5, 2023 at 5:27 PM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: andrew.deblock@lacity.org, george.hakopiants@lacity.org, zachary.warma@lacity.org, patricia.macias@lacity.org, gary.gero@lacity.org, leo.daube@lacity.org, katy.yaroslavsky@lacity.org, vanessa.saldana@lacity.org, matthew.tenchavez@lacity.org, allen.zipper@lacity.org, jarrett.thompson@lacity.org

Join with Google Meet

Meeting link

meet.google.com/rzy-xega-ooq

Join by phone

(US) [+1 402-623-0345](tel:+14026230345)

PIN: 675686948

[More phone numbers](#)

When

Thursday Jun 8, 2023 · 4pm – 4:40pm (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

george.hakopiants@lacity.org

zachary.warma@lacity.org

patricia.macias@lacity.org

gary.gero@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

katy.yaroslavsky@lacity.org

vanessa.saldana@lacity.org

matthew.tenchavez@lacity.org

allen.zipper@lacity.org

jarrett.thompson@lacity.org

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

PRA01-000197



invite.ics

4K



Allen Zipper <allen.zipper@lacity.org>

Invitation: Midvale Tiny Home Village - Next Steps @ Fri May 26, 2023 3pm - 3:45pm (PDT) (allen.zipper@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Mon, May 22, 2023 at 9:55 AM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: allen.zipper@lacity.org, fernando.morales@lacity.org, george.hakopiants@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org, andrew.deblock@lacity.org, vanessa.saldana@lacity.org

Join with Google Meet

Meeting link

meet.google.com/fsa-hyxr-ngj

Join by phone

(US) +1 518-663-2766

PIN: 841688937

[More phone numbers](#)

Attachments



MIDVALE INTERIM

All:

As June is fast approaching, we want to bring this group together to discuss communications and community engagement for the Midvale Tiny Home Village.

The current tentative calendar we are working off of can be found here: [MIDVALE INTERIM HOUSING - CALENDAR](#)

When

Friday May 26, 2023 · 3pm – 3:45pm (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

[View all guest info](#)

Reply for allen.zipper@lacity.org

Yes

No

Maybe

More options

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

 **invite.ics**
4K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Midvale Tiny Home Village - Next Steps @ Fri May 26, 2023 3pm - 3:45pm (PDT) (andrew.deblock@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Mon, May 22, 2023 at 9:55 AM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: andrew.deblock@lacity.org, fernando.morales@lacity.org, george.hakopiants@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org, vanessa.saldana@lacity.org, allen.zipper@lacity.org

Join with Google Meet

Meeting link

meet.google.com/fsa-hyxr-ngj

Join by phone

(US) +1 518-663-2766

PIN: 841688937

[More phone numbers](#)

Attachments



MIDVALE INTERIM

All:

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When

Friday May 26, 2023 · 3pm – 3:45pm (Pacific Time - Los Angeles)

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

 **invite.ics**
4K



George Hakopiants <george.hakopiants@lacity.org>

Invitation: Midvale Virtual Mtg Check-In @ Mon Jul 31, 2023 11:30am - 11:55am (PDT)
(george.hakopiants@lacity.org)

Fernando Morales <fernando.morales@lacity.org>
Reply-To: Fernando Morales <fernando.morales@lacity.org>
To: george.hakopiants@lacity.org, analiz.marmolejo@lacity.org
Cc: leo.daube@lacity.org, vanessa.saldana@lacity.org

Mon, Jul 31, 2023 at 10:35 AM

Join with Google Meet**Meeting link**meet.google.com/cya-xxus-mnc**Join by phone**(US) [+1 929-256-1430](tel:+19292561430)

PIN: 689018382

[More phone numbers](#)**When**

Monday Jul 31, 2023 · 11:30am – 11:55am (Pacific Time - Los Angeles)

Guests

fernando.morales@lacity.org - organizer

analiz.marmolejo@lacity.org

george.hakopiants@lacity.org

leo.daube@lacity.org - optional

vanessa.saldana@lacity.org - optional

[View all guest info](#)**Reply for george.hakopiants@lacity.org**

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

PRA01-000205

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)

**invite.ics**

3K



Andrew Deblock <andrew.deblock@lacity.org>

Invitation: Virtual Meeting re: Midvale @ Thu Jun 29, 2023 3pm - 3:30pm (PDT)
(andrew.deblock@lacity.org)

1 message

Fernando Morales <fernando.morales@lacity.org>

Wed, Jun 28, 2023 at 10:16 AM

Reply-To: Fernando Morales <fernando.morales@lacity.org>

To: andrew.deblock@lacity.org, zachary.warma@lacity.org, george.hakopiants@lacity.org, gary.gero@lacity.org, katy.yaroslavsky@lacity.org, vanessa.saldana@lacity.org, matthew.tenchavez@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org

Join with Google Meet

Meeting link

meet.google.com/txu-tnkt-sag

Join by phone

(US) [+1 605-646-0519](tel:+16056460519)

PIN: 843213888

[More phone numbers](#)

When

Thursday Jun 29, 2023 · 3pm – 3:30pm (Pacific Time - Los Angeles)

Guests

katy.yaroslavsky@lacity.org - organizer

fernando.morales@lacity.org

zachary.warma@lacity.org

george.hakopiants@lacity.org

gary.gero@lacity.org

vanessa.saldana@lacity.org

matthew.tenchavez@lacity.org

andrew.deblock@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

[View all guest info](#)

Reply for andrew.deblock@lacity.org

Yes

No

Maybe

More options

Invitation from [Google Calendar](#)

You are receiving this email because you are subscribed to calendar notifications. To stop receiving these emails, go to [Calendar settings](#), select this calendar, and change "Other notifications".

Forwarding this invitation could allow any recipient to send a response to the organizer, be added to the guest list, invite others regardless of their own invitation status, or modify your RSVP. [Learn more](#)





Dylan Sittig <dylan.sittig@lacity.org>

LADOT Parking Lots for potential exploration as affordable/supportive housing

1 message

Zachary Warma <zachary.warma@lacity.org>

Tue, Feb 14, 2023 at 3:30 PM

To: Dylan Sittig <dylan.sittig@lacity.org>

D:

Having reviewed the list China pulled from AMS, here are the LADOT parking lots that, pending your input, could be potential sites we send to the CAO / Mayor's Office for consideration of housing:

Parking Structure

- **123 S Robertson Blvd** ([google map](#)) - Parking Structure #703 just north of 3rd / Robertson. APN 4334001900. 3 story parking garage with ground floor retail; likely our worst option, given location on commercial corridor, but it seems like a substantial parcel

Parking Lots

I want to note that the first four lots are located in less than a mile radius off each other off Pico, and in fact the Malcolm and Overland lots are within 2 blocks of each other

- **2377 Midvale Avenue** ([google map](#)) - Parking Lot # 707. The lot seems to stretch over 2 parcels (APN 432204902 & 432204902), with one of the parcels fronting Pico. This is by far the largest lot, if the city owns the front parcel, and likely the best development opportunity.
- **2386 Malcolm Ave** ([google map](#)) - Parking Lot # 685. Half a block from Pico, located between an alley and a SFR. One of the smaller looking parcels.
- **2371 Overland Ave** ([google map](#)) - Parking Lot # 715. Half a block from Pico, located between an alley and a SFR.
- **2367 Prosser Ave** ([google map](#)) - Parking Lot # 698. Half a block from Pico, located between an alley and SFR.
- **728 S Cochran**

--



Zachary Warma

Housing & Homelessness Policy Director
 Councilwoman Katy Yaroslavsky, Council District 5
 200 North Spring Street, Room 440
 Los Angeles, CA 90012
 Tel: (213) 473-7005 - Los Angeles City Hall Office
 Email: zachary.warma@lacity.org

From: Scott Sale <scottsale28@gmail.com>
To: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>,
"Zachary.Warma@lacity.org" <Zachary.Warma@lacity.org>
Cc: "fernando.morales@lacity.org" <fernando.morales@lacity.org>
Date: Sun Feb 05 2023 14:05:17 GMT-0800 (PST)
Subject: Life Ark

Good afternoon Everyone,

I am thinking that maybe Fernando who is an old colleague of mine from my having started Safe LA might have mentioned you my ridiculous enthusiasm about the Life Ark community in El Mor www.lifeark.net)

It is without a doubt the coolest and most efficient and cheapest and safest modular product that speeds up the production of affordable housing. I could go on forever, but the website, if studied, tells you a lot. You have to see it in person and let Charles Wee and Paul Cho, the architect and developer, tell you the entire story. It is beyond!!!

I have been involved since Ian Musa, Heidi Marston's husband told me about it last April. I have over 50 people to tour the community and hear the story. Hilda Solis was behind the original Housing Innovation grant for the project so her office is all over the concept. I am working on getting CD 11 staff out there as well as many affordable housing developers from Venice Community Housing, Family Housing, PATH, The People Concern as well as Meta Housing and Tom Safran Associates. I am on 2nd is trying to find a time to make it out as well.

Valecia Kellum Adams, formerly of St Joseph Center, wants to come and is working out a time.

Please give me some dates that will work for you and Katy to come. Charles and Paul and I will accommodate your schedule. Thank you for your time.

Scott Sale (retired MD)

Founder Safe Parking LA

310-780-2266

Sent from my iPhone

From: Zachary Warma <zachary.warma@lacity.org>
To: Scott Sale <scottsale28@gmail.com>
Cc: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>,
"fernando.morales@lacity.org" <fernando.morales@lacity.org>
Date: Tue Feb 07 2023 10:48:17 GMT-0800 (PST)
Subject: Re: Life Ark

Scott:

Thanks so much for reaching out!

Unfortunately, the Councilwoman's schedule still has a backlog of a few hundred meeting requests that are being processed.

In the meantime, however, the CD5 Field and Homelessness Teams would be delighted to schedule a virtual meeting with you in the coming weeks to learn more about the project. If you can let us know your availability between 2/13-2/24, we will find a slot that works. Please also keep us in the loop as some of the aforementioned pending tours are scheduled.

Thanks so much, Scott, and we look forward to connecting with you soon.

Cheers,

Zachary Warma

On Sun, Feb 5, 2023 at 2:05 PM Scott Sale <scottsale28@gmail.com> wrote:

Good afternoon Everyone,

I am thinking that maybe Fernando who is an old colleague of mine from my having started Safe Parking LA might have mentioned you my ridiculous enthusiasm about the Life Ark community in El Monte. (www.lifeark.net)

It is without a doubt the coolest and most efficient and cheapest and safest modular product that good speed up the production of affordable housing. I could go on forever, but the website, if studied will tell you a lot. You have to see it in person and let Charles Wee and Paul Cho, the architect and developer, tell you the entire story. It is beyond!!!

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Please give me some dates that will work for you and Katy to come. Charles and Paul and I will accommodate your schedule. Thank you for your time.

Scott Sale (retired MD)

Founder Safe Parking LA

310-780-2266

Sent from my iPhone

--

PRA01-000212
8/23/23



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

From: Scott Sale <scottsale28@gmail.com>
To: Zachary Warma <zachary.warma@lacity.org>
Cc: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>, "fernando.morales@lacity.org" <fernando.morales@lacity.org>
Date: Tue Feb 07 2023 15:34:04 GMT-0800 (PST)
Subject: Re: Life Ark

Zachary,

Thanks for your response.

I am up every morning at 5 and close the computer at 9 pm. In between I am pretty free on Feb 1 pm; Feb 14 all day; Feb 21- all day

I hope we can find a time in there for a virtual meeting. There are tours on the following dates:

Sat Feb 11- Noon

Friday Feb 17-Noon

Monday Feb 20- 11 am (maybe)

Thursday Mar 2- Noon

See if any of those dates work because meeting Charles and Paul the Founders and Architect while touching the project in person, will blow you away.

Also, if you want to give us some dates, we will make it work for the Councilwoman and whome Scott

From: Zachary Warma <zachary.warma@lacity.org>

Date: Tuesday, February 7, 2023 at 10:48 AM

To: BJC Retirement <scottsale28@gmail.com>

Cc: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>, "fernando.morales@lacity.org" <fernando.morales@lacity.org>

Subject: Re: Life Ark

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Thanks so much, Scott, and we look forward to connecting with you soon.

Cheers,

Zachary Warma

On Sun, Feb 5, 2023 at 2:05 PM Scott Sale <scottsale28@gmail.com> wrote:

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I have been involved since Ian Musa, Heidi Marston's husband told me about it last April. I have

Please give me some dates that will work for you and Katy to come. Charles and Paul and I accommodate your schedule. Thank you for your time.

Scott Sale (retired MD)

Founder Safe Parking LA

310-780-2266

Sent from my iPhone

--



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

From: Matthew Tenchavez <matthew.tenchavez@lacity.org>
To: Scott Sale <scottsale28@gmail.com>
Cc: Zachary Warma <zachary.warma@lacity.org>, "fernando.morales@lacity.org" <fernando.morales@lacity.org>
Date: Tue Feb 07 2023 19:23:32 GMT-0800 (PST)
Subject: Re: Life Ark

Hello Scott,

Pleasure to e-meet you. I am open to meet virtually this coming Friday.

Interested in learning more about Life Ark and how this company can potentially assist us in housing.

I have availability this Friday at 10am, let me know if that works for you.

Thanks.

On Tue, Feb 7, 2023 at 3:34 PM Scott Sale <scottsale28@gmail.com> wrote:

Zachary,

Thanks for your response.

I am up every morning at 5 and close the computer at 9 pm. In between I am pretty free on Feb 13 after 1 pm; Feb 14 all day; Feb 21- all day

I hope we can find a time in there for a virtual meeting. There are tours on the following dates:

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Friday Feb 17-Noon

Monday Feb 20- 11 am (maybe)

Thursday Mar 2- Noon

See if any of those dates work because meeting Charles and Paul the Founders and Architect of Life Ark while touching the project in person, will blow you away.

Also, if you want to give us some dates, we will make it work for the Councilwoman and whomever else.

Scott

From: Zachary Warma <zachary.warma@lacity.org>

Date: Tuesday, February 7, 2023 at 10:48 AM

To: BJC Retirement <scottsale28@gmail.com>

Cc: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>, "fernando.morales@lacity.org" <fernando.morales@lacity.org>

Subject: Re: Life Ark

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In the meantime, however, the CD5 Field and Homelessness Teams would be delighted to schedule a virtual meeting with you in the coming weeks to learn more about the project. If you can let us know your availability between 2/13-2/24, we will find a slot that works. Please also keep us in the loop as some of the aforementioned pending tours are scheduled.

Thanks so much, Scott, and we look forward to connecting with you soon.

Cheers,

PRA01-000216
8/23/23

Zachary Warma

On Sun, Feb 5, 2023 at 2:05 PM Scott Sale <scottsale28@gmail.com> wrote:

Good afternoon Everyone,

I am thinking that maybe Fernando who is an old colleague of mine from my having started Safe Parking LA might have mentioned you my ridiculous enthusiasm about the Life Ark community in El Monte. (www.lifeark.net)

It is without a doubt the coolest and most efficient and cheapest and safest modular product that good speed up the production of affordable housing. I could go on forever, but the website, if studied will tell you a lot. You have to see it in person and let Charles Wee and Paul Cho, the architect and developer, tell you the entire story. It is beyond!!!

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Please give me some dates that will work for you and Katy to come. Charles and Paul and I will accommodate your schedule. Thank you for your time.

Scott Sale (retired MD)

Founder Safe Parking LA

310-780-2266

Sent from my iPhone



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org



Matthew Tenchavez

Director - Homelessness Strategies

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring St., Room 440

Los Angeles, CA 90012

Tel: [\(213\) 473-7005](tel:(213)473-7005) - Los Angeles City Hall Office

Email: matthew.tenchavez@lacity.org

General City Services: 3-1-1

LA Dept of Mental Health: (800) 854-7771

Homelessness Outreach Services: LAHOP.org and/or 211

PRA01-000217
8/23/23

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LAPD Non-Emergency: (877) 275-5273
LADWP: (800) 342-5397
Immediate Life Threatening Emergency: 9-1-1

From: Scott Sale <scottsale28@gmail.com>
To: Matthew Tenchavez <matthew.tenchavez@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, fernando.morales@lacity.org
Date: Tue Feb 07 2023 20:38:17 GMT-0800 (PST)
Subject: Re: Life Ark

10 am this Friday is fine by me

Sent from my iPhone

On Feb 7, 2023, at 7:23 PM, Matthew Tenchavez <matthew.tenchavez@lacity.org> wrote:

Hello Scott,

Pleasure to e-meet you. I am open to meet virtually this coming Friday.

Interested in learning more about Life Ark and how this company can potentially assist us in housing.

I have availability this Friday at 10am, let me know if that works for you.

Thanks.

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Sat Feb 11- Noon

Friday Feb 17-Noon

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Thursday Mar 2- Noon

See if any of those dates work because meeting Charles and Paul the Founders and Architect of Life Ark while touching the project in person, will blow you away.

Also, if you want to give us some dates, we will make it work for the Councilwoman and whomever else.

Scott

From: Zachary Warma <zachary.warma@lacity.org>

Date: Tuesday, February 7, 2023 at 10:48 AM

To: BJC Retirement <scottsale28@gmail.com>

Cc: "Matthew.Tenchavez@lacity.org" <Matthew.Tenchavez@lacity.org>, "fernando.morales@lacity.org" <fernando.morales@lacity.org>

Subject: Re: Life Ark

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Founder Safe Parking LA

310-780-2266

Sent from my iPhone



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



Matthew Tenchavez

Director - Homelessness Strategies
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
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From: Matthew Tenchavez <matthew.tenchavez@lacity.org>
To: Scott Sale <scottsale28@gmail.com>
Bcc: fernando.morales@lacity.org
Date: Wed Feb 08 2023 08:00:39 GMT-0800 (PST)
Subject: Re: Life Ark

Great. Send you an invite for 10am for this Friday.

Best,

Matt

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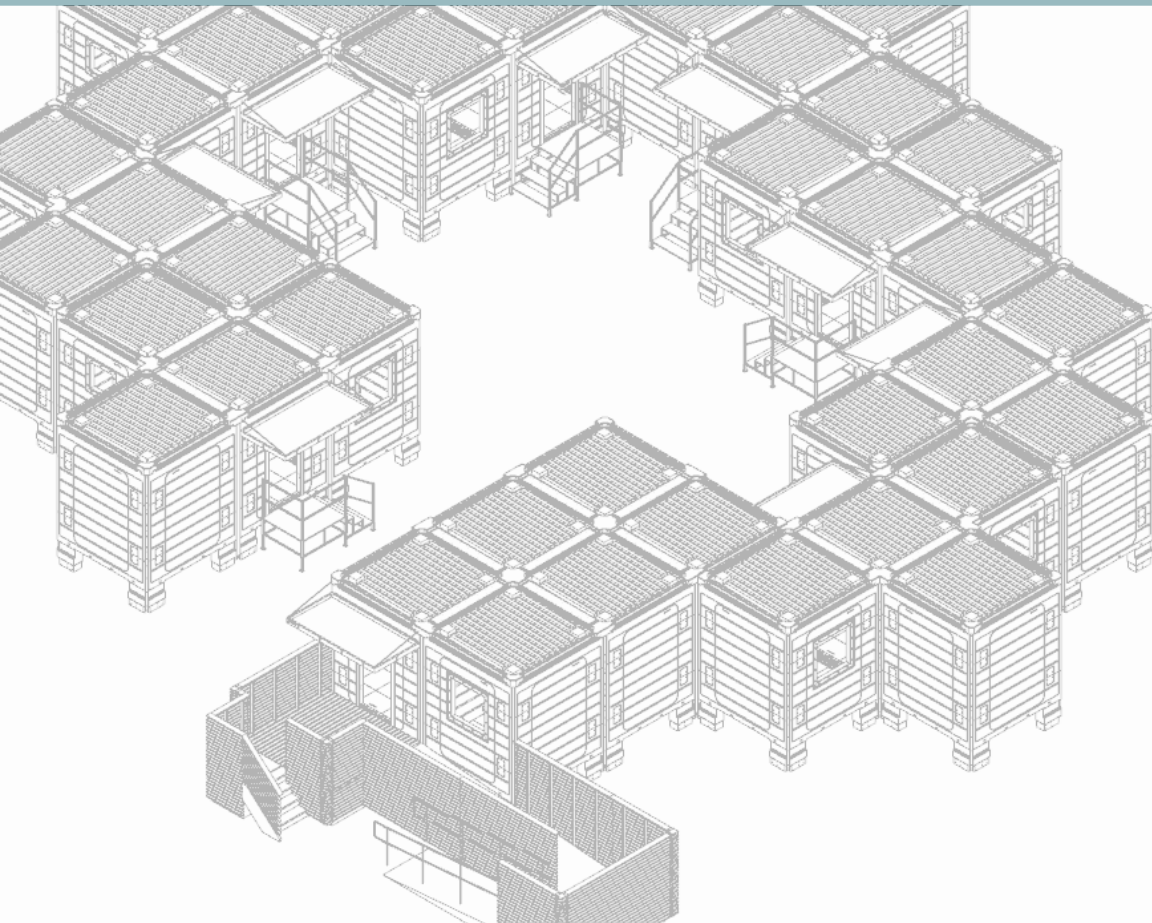
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--

Matthew Tenchavez Director of Homelessness Strategies



INTERIM HOUSING DEVELOPMENT PROPOSAL

2377 Midvale

Submitted to Council District 5

Mar 2023

Lifeark Interim Supportive Housing for CD-5

Lifeark is pleased to submit this preliminary proposal for permanent supportive housing for homeless and at-risk population in Los Angeles Council District 5 using our innovative LifeArk modular system. Lifeark is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction.

Presented in this proposal for 2377 Midvale using Lifeark Ensuite 100 and 134 Models. LifeArk can provide complete factory assembled units that can be placed on site foundation and fully completed within 6 months.

Lifeark is the first fully certified structural load bearing plastic building product on the market. It is tested and approved for safety and quality as a new building material through IAPMO-UES, a national codes and standards approval agency, and compliant with 2022 international and California building and residential codes. Lifeark is certified by the California department of housing and community development (HCD) factory-built housing and commercial modular program.

Please let us know if you have any questions. We are excited for the opportunity to share Lifeark's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,
Charles Wee



Site Option 1

Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Located at the corner of W. Pico and Midvale split by an alley



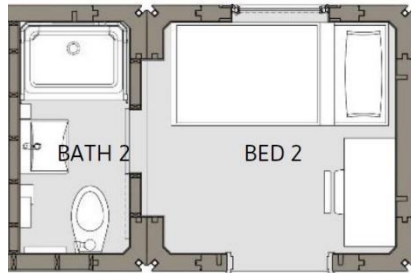
Site Option 2

Site Area: 18,305 SF

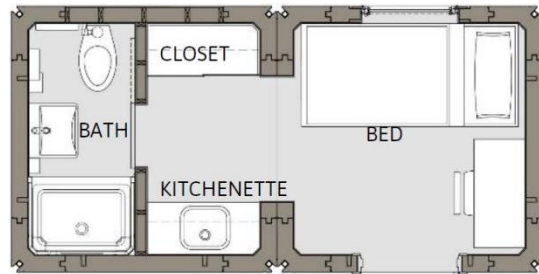
- Parking lot A & B combined



Lifeark Plans



100 SF Ensuite Unit (Double Unit shown)



134 SF Ensuite Unit



400 SF Admin/ Flex Unit



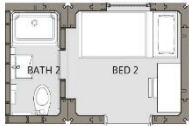

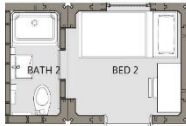

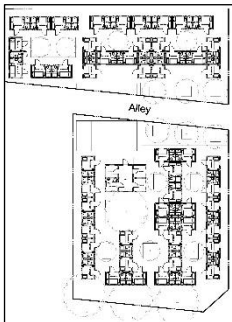
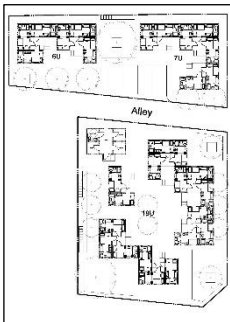
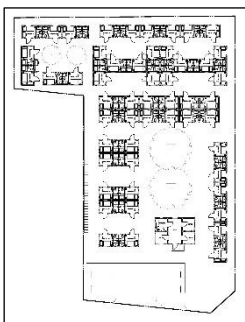
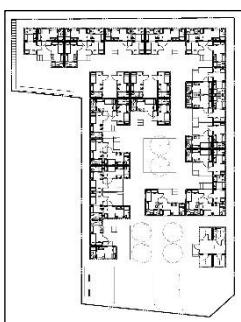
Lifeark Single Module



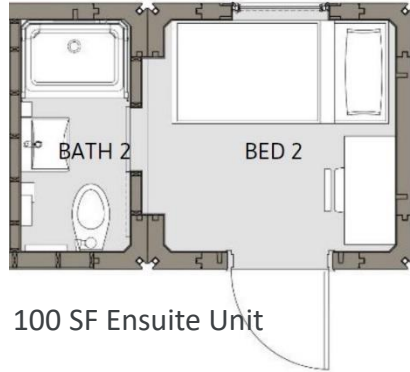
Ensuite Unit Interior



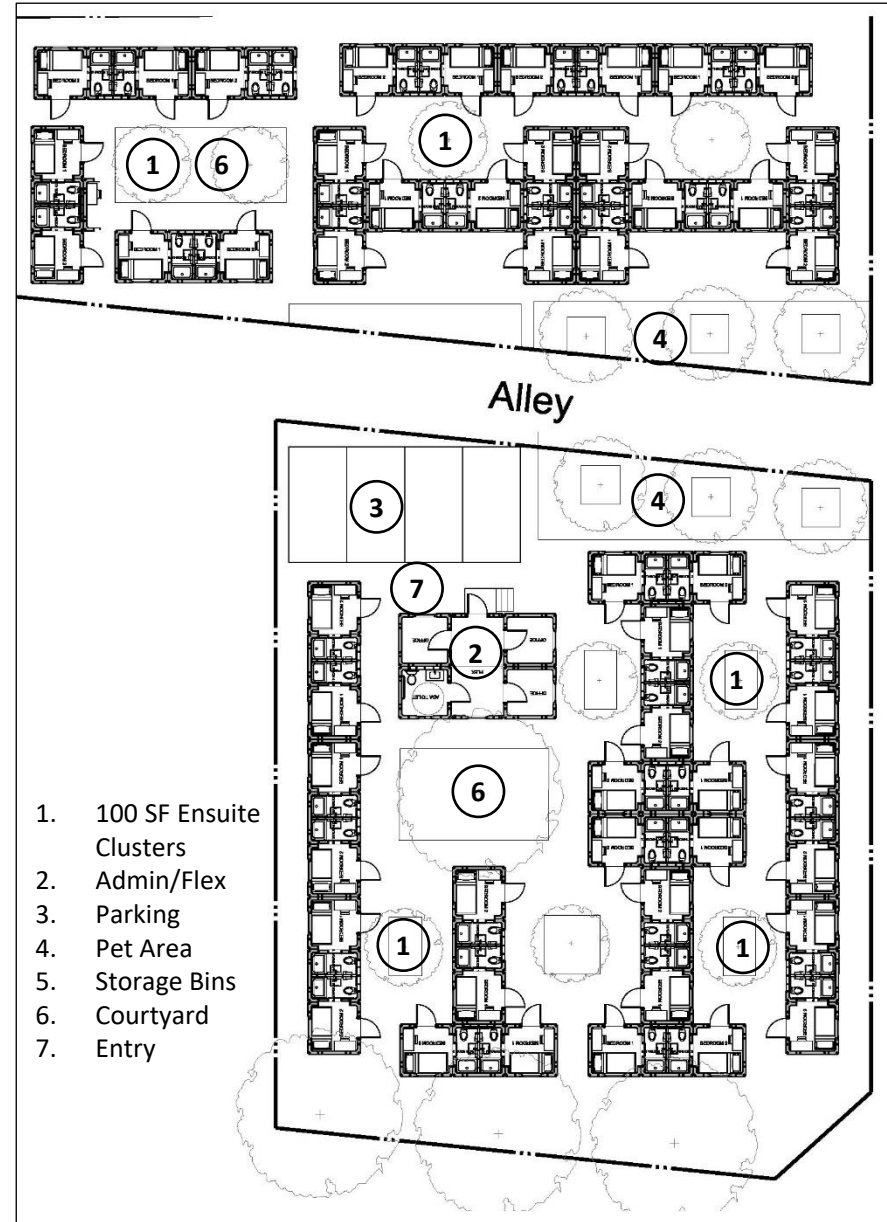
Ensuite Unit Exterior Example

Options	Alley 1	Alley 2	Combined 1	Combined 2
Unit Type				
Site Layout				
# of Units Total SF Cost Per Bed Project Cost	50 Units 5,400 SF \$34,000 \$1.7 Million	31 Units 4,430 SF \$55,000 \$1.7 Million	54 Units 5,800 SF \$35,000 \$1.9 Million	43 Units 5,990 SF \$53,000 \$2.3 Million

2377 Midvale Alley Option 1- Ensuite 100



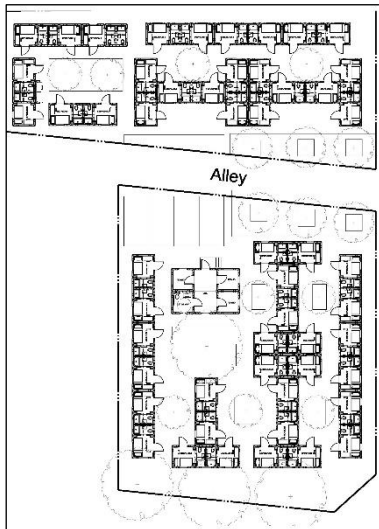
Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	50	5,000
Admin/Flex	3x2	400	1	400
Beds			50	5,400



2377 Midvale Alley Option 1- Budget Costing

2377 Midvale Alley Option 1 - Budget Costing

Site Area		Acre	SF	Costing as of 3/24/2023								
		0.38	16,340									
Housing Type	Mods		Area SF/Unit	All Lifeark								
	Mods	Total		# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options	Options Total	Total + Options
1.5 x1 Ensuite Unit	1.5	75	100	50	1	50	5,000	\$ 29,000	\$ 1,450,000	\$ -	\$ -	\$1,450,000
1x1 Deck	0	0	-	25	0	0	-	\$ 3,000	\$ 75,000	\$ -	\$ -	\$75,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		81				50	5,400		\$ 1,696,000		\$ -	\$1,696,000
Unit Cost	\$20,938					\$33,920	\$ 314					
Unit Cost Inc Options	\$20,938					\$33,920	\$ 314					



Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	50	5,000
Admin/Flex	3x2	400	1	400
Beds			50	5,400

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

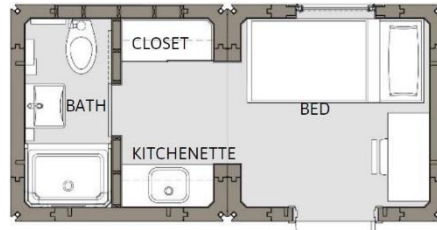
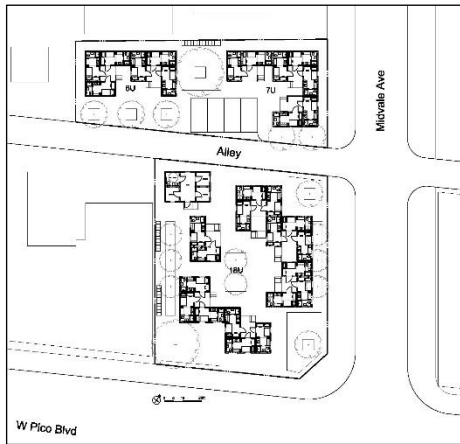
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

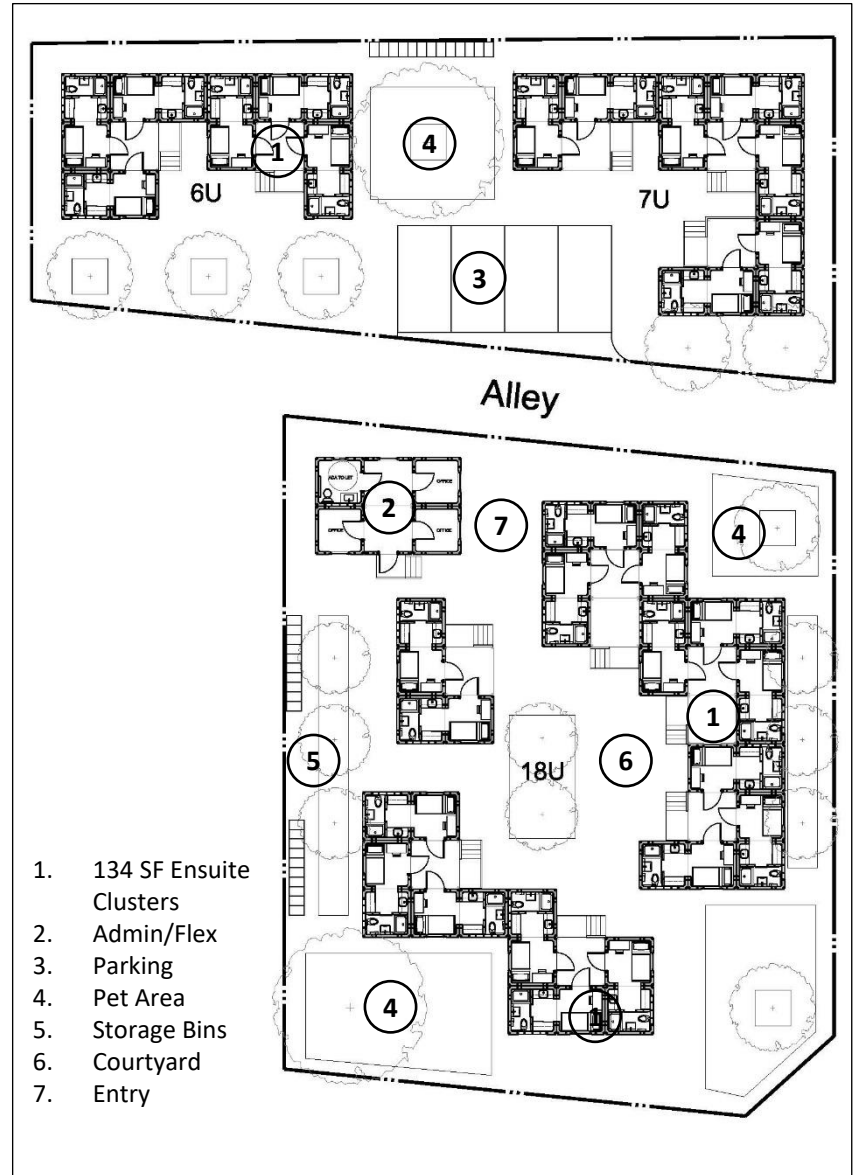
2377 Midvale Alley Option 2- Ensuite 134



134 SF Ensuite Unit



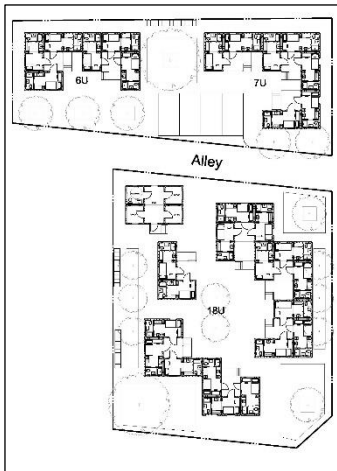
Midvale Opt 1	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	134	31	4,030
Admin/Flex	3x2	400	1	400
Beds			31	4,430



2377 Midvale Alley Option 2- Budget Costing

2377 Midvale Option 1- Budget Costing

Site Area		Acre	SF	Costing as of 3/24/2023								
		0.38	16,340									
Housing Type	Mods		Area	All Lifeark								
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
2x1 Ensuite Unit	2	62	130	31	1	31	4,030	\$ 48,000	\$ 1,488,000	\$ -	\$ -	\$1,488,000
1x1 Deck	0	0	-	13	0	0	-	\$ 3,000	\$ 39,000	\$ -	\$ -	\$39,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		68				31	4,430		\$ 1,698,000		\$ -	\$1,698,000
Unit Cost	\$24,971					\$54,774	\$ 383					
Unit Cost Inc Options	\$24,971					\$54,774	\$ 383					



Midvale Opt 1	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	31	4,030
Admin/Flex	3x2	400	1	400
Beds			31	4,430

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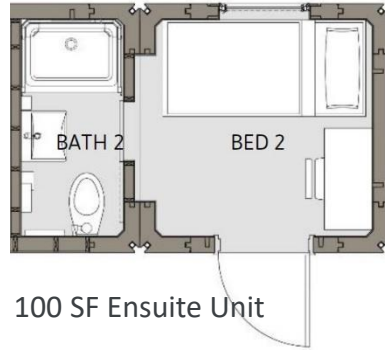
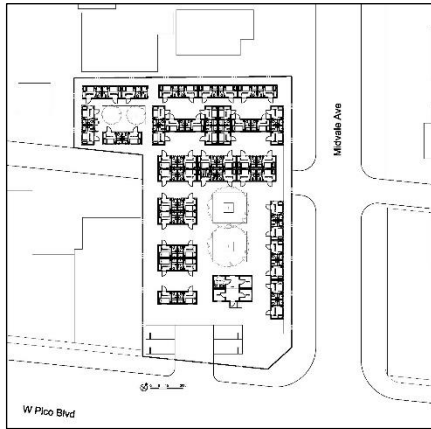
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

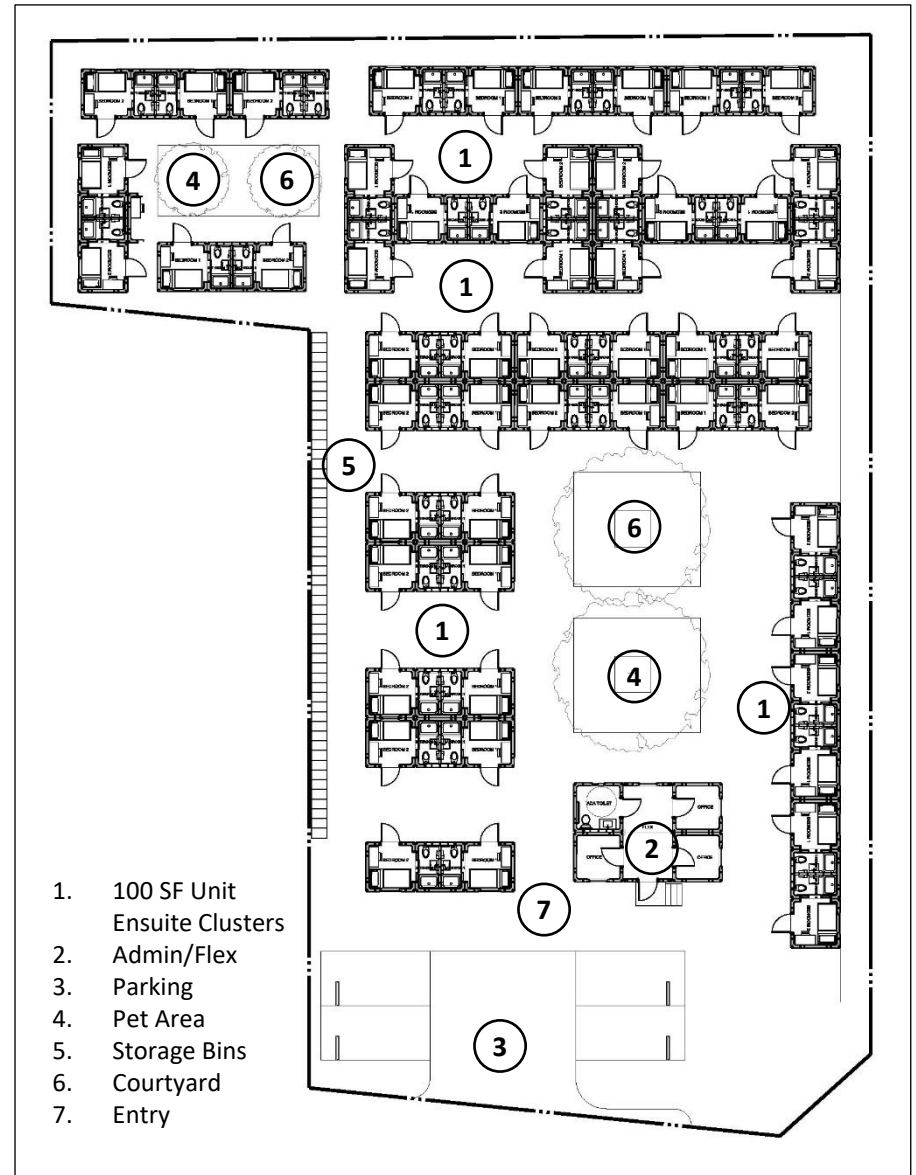
2377 Midvale Combined Option 1- Ensuite 100



100 SF Ensuite Unit



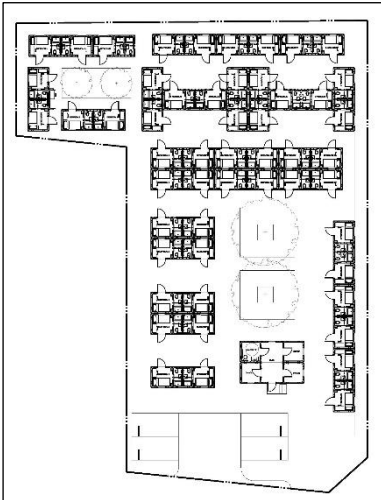
Midvale Opt	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	54	5,400
Admin/Flex	3x2	400	1	400
Beds			54	5,900



2377 Midvale Combined Option 1- Ensuite 100

2377 Midvale Combined Option 1- Budget Costing

Site Area		Acre		SF		Costing as of 3/24/2023						
		0.38		16,340								
	Mods		Area	All Lifeark								
Housing Type	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options	Options Total	Total + Options
2x1 Ensuite Unit	1.5	81	100	54	1	54	5,400	\$ 29,957	\$ 1,617,702	\$ -	\$ -	\$1,617,702
1x1 Deck	0	0	-	27	0	0	-	\$ 3,000	\$ 81,000	\$ -	\$ -	\$81,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		87				54	5,800		\$ 1,869,702		\$ -	\$1,869,702
Unit Cost	\$21,491					\$34,624	\$ 322					
Unit Cost Inc Options	\$21,491					\$34,624	\$ 322					



Midvale Opt	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	54	5,400
Admin/Flex	3x2	400	1	400
Beds			54	5,900

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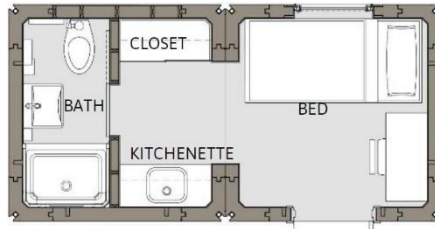
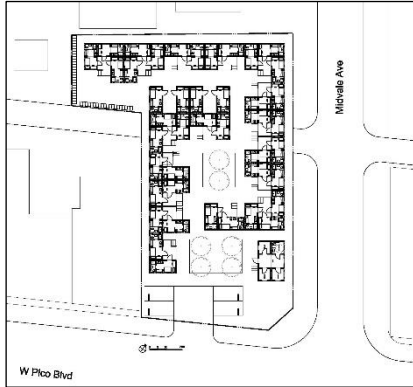
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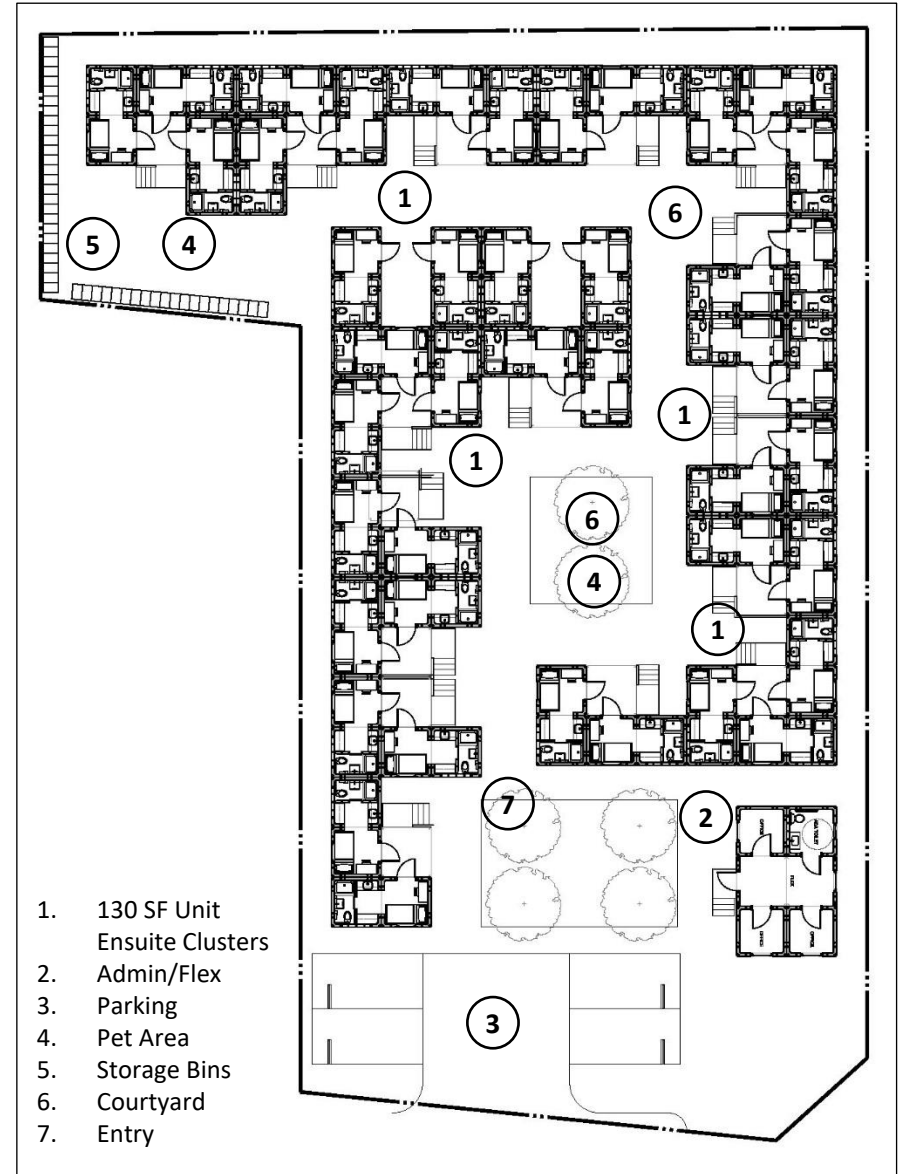
2377 Midvale Combined Option- Ensuite 134



134 SF Ensuite Unit

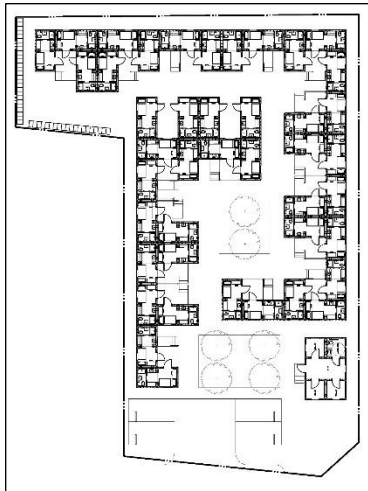


Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	134	43	5,762
Admin/Flex	3x2	400	1	400
Beds			43	6,162



2377 Midvale Combined Option 2- Budget Costing

Site Area		Acre		SF		Costing as of 3/24/2023						
		0.38		16,340								
		Mods		Area		All Lifeark						
Housing Type	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
2x1 Ensuite Unit	2	86	134	43	1	43	5,762	\$ 48,000	\$ 2,064,000	\$ -	\$ -	\$2,064,000
1x1 Deck	0	0	-	14	0	0	-	\$ 3,000	\$ 42,000	\$ -	\$ -	\$42,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		92				43	6,162		\$ 2,277,000		\$ -	\$2,277,000
Unit Cost	\$24,750					\$52,953	\$ 370					
Unit Cost Inc Options	\$24,750					\$52,953	\$ 370					



Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	43	5,590
Admin/Flex	3x2	400	1	400
Beds			43	5,990

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



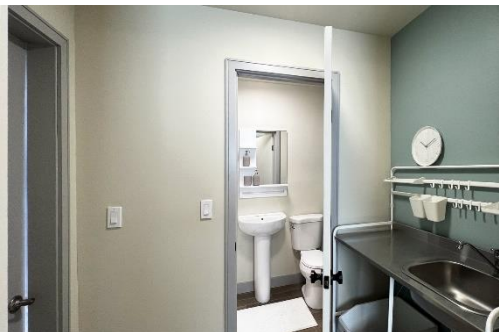
* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Lifeark Modulares

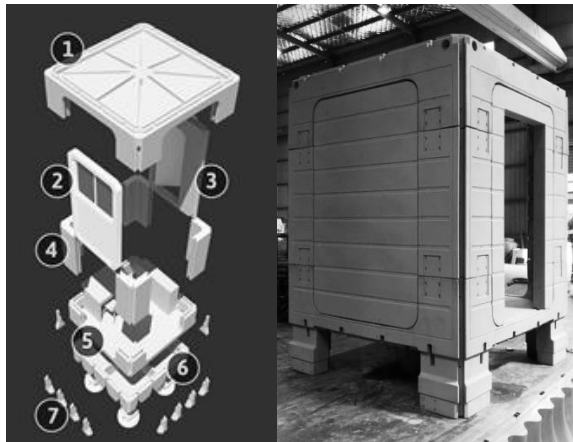
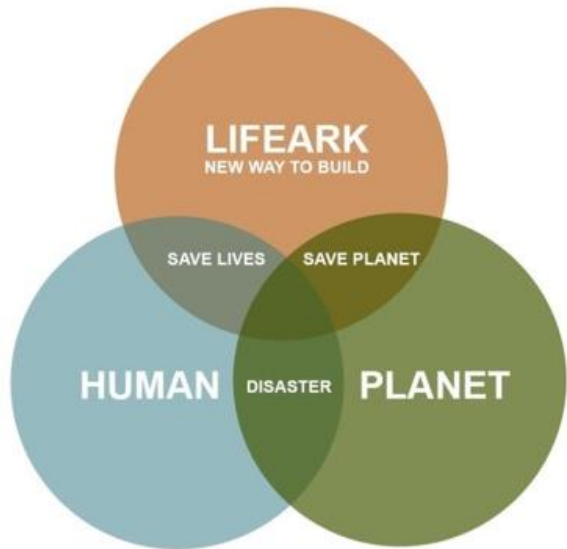


* Lifeark project photos for illustration only. Not for this project.

Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.



INNOVATING HOUSING TECHNOLOGY THAT SAVES LIVES AND THE PLANET

- LifeArk SPC was established as a California Social Purpose Corporation (SPC) with a mission to create safe, sustainable and affordable homes and shelter
- LifeArk modular system is designed to save the lives of people experiencing displacement or substandard shelter as a result of human or climate disasters
 - Shelter/interim housing for the homeless
 - Emergency relief housing
- Efficiently mass-produced, but incredibly customizable and scalable due to its kit-of-parts system
- Able to be withstand extreme disasters, such as earthquakes and flooding
- Pioneering use of plastic as load-bearing material in building housing – using plastic as a long-lived, durable product that can be used over decades rather than as a single-use disposable material that pollutes our environment
- Can use recycled plastic as raw material and gives off no harmful fumes into the environment

Lifeark Community Making By Design



From a single shelter module to community cluster then can be grown to become a larger village with communal spaces for everyone

Lifeark Emergency Shelter Deployment Process



Rotomolding



Transport



Stockpile



Factory Assembly



Site Deployment



Site Assembly



Completion

Lifeark's Essential Cost and Time Saving System



Simple foundation system which can be anchored to any surface including compacted soil, asphalt or concrete



High under module chase space allows for all utilities to run under the crawl space to omit any expensive trenching



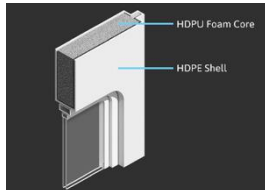
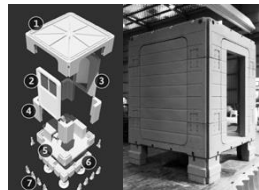
Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections

LA County Housing Innovation Challenge award-winning project

- 18 units for homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 22" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse

NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows lifeark to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% of post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills

NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolder around the world
- Most common plastic processing process but never been used in the housing construction industry

FACTORY ASSEMBLY & TRANSPORT

- Certified under ca HCD (CA Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of the building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site

SITE ASSEMBLY

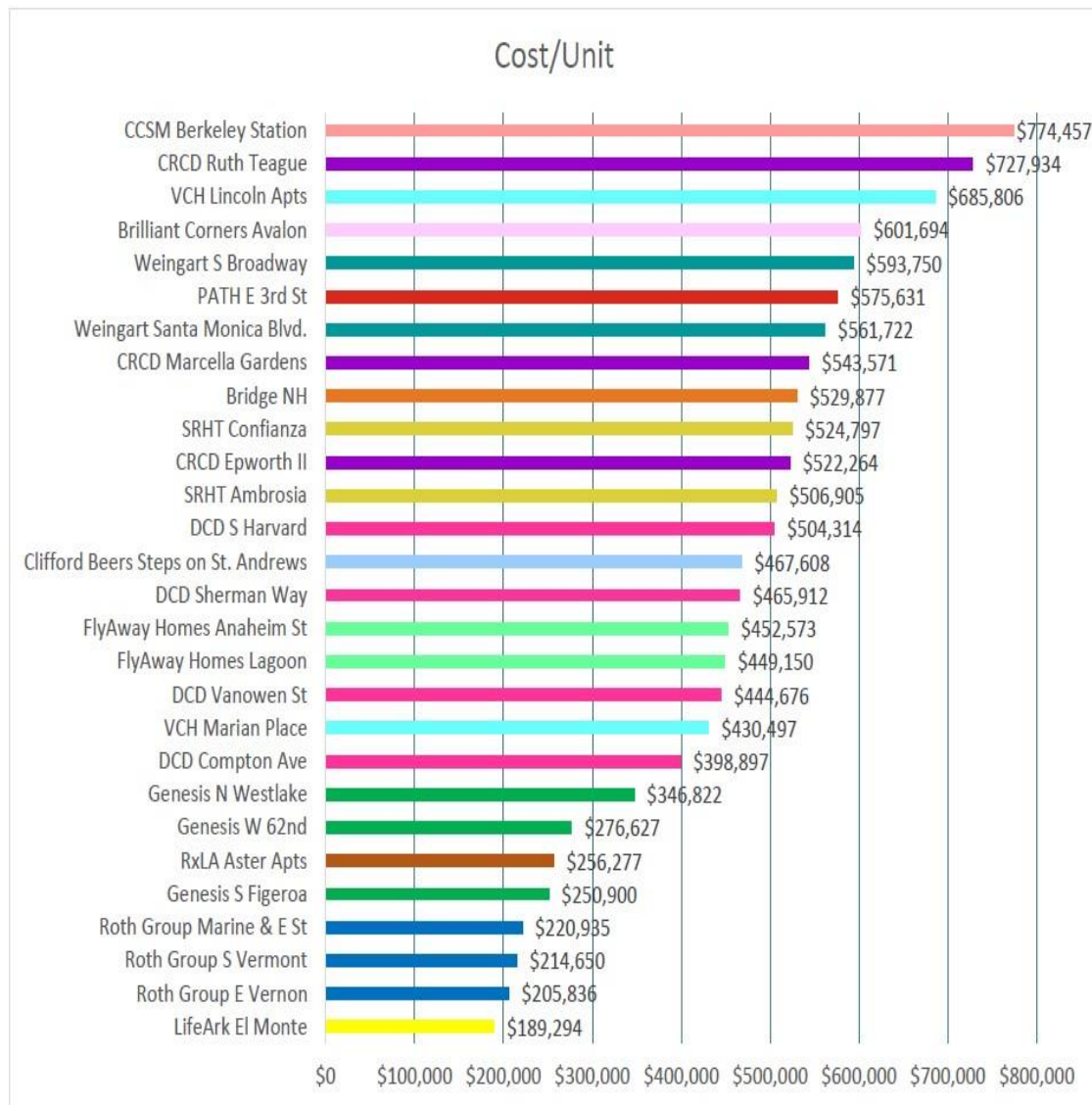
- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

PROOF OF CONCEPT PROJECT

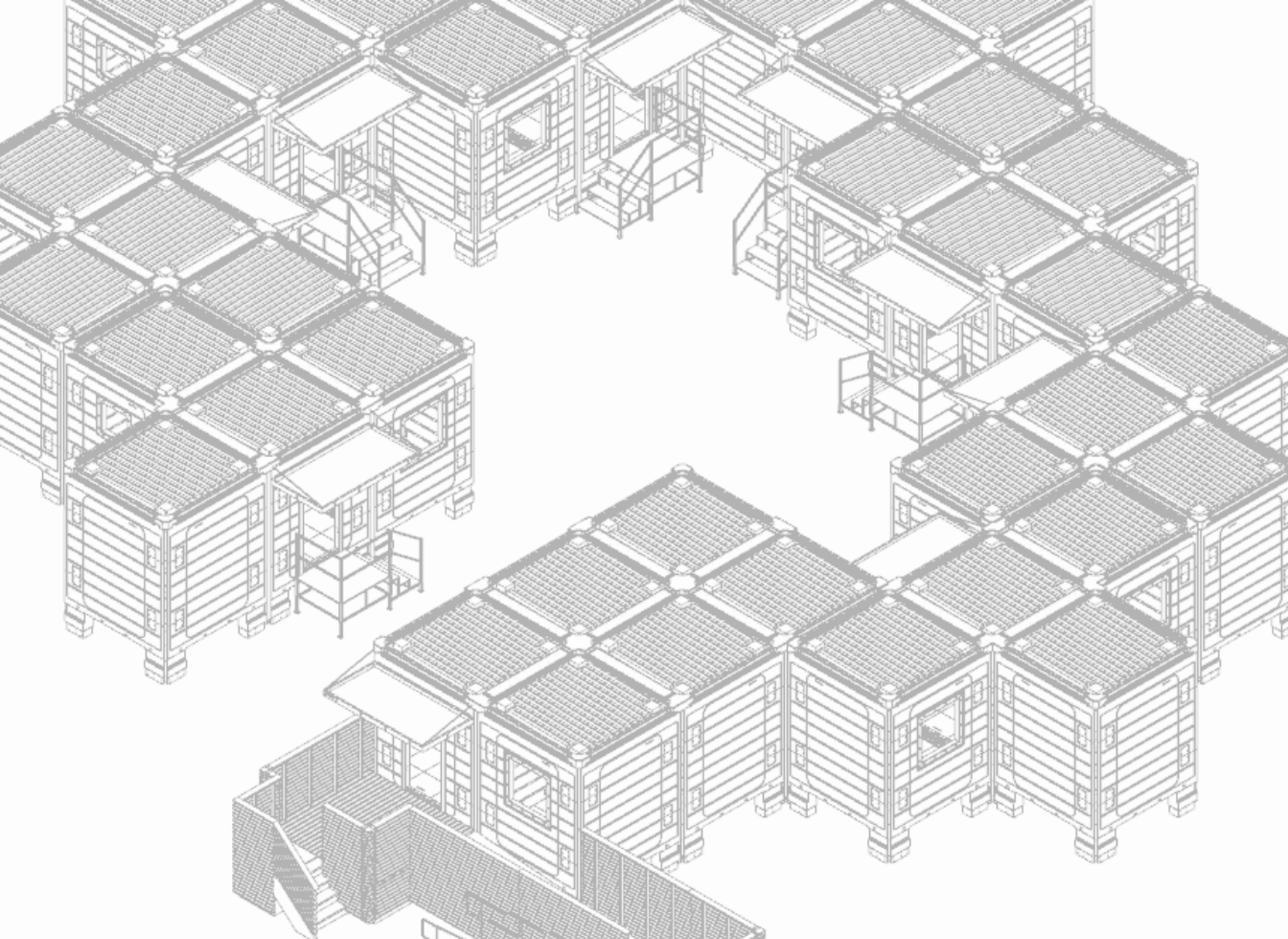
- LifeArk Tyler in the City of El Monte is LifeArk's first pilot project providing permanent supportive housing and ongoing intensive case management (ICMS) services to for 18 individuals previously experiencing homeless.
- LifeArk was a winner of the Los Angeles County Homeless Initiative's Housing Innovation Challenge
- HCD models approved by the Housing and Community Development (HCD)'s Factory-Built Housing Program
- Construction was completed in early 2022 and the very first resident moved in April 2022
- Total all-in unit cost \$190,000 per unit

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 permanent supportive housing projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit



N=28



LifeArk™

HOUSING REIMAGINED

www.lifeark.net

PRA01-000245

8/23/23



Dylan Sittig <dylan.sittig@lacity.org>

List of Sites in CD 5 from June 2022

11 messages

Dylan Sittig <dylan.sittig@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>

Thu, Jan 5, 2023 at 11:00 AM

Hi,

Please see attached for a list of sites in CD 5 from June 2022.

Best,
Dylan

--

**Dylan Sittig***Pronouns: he, him, his*

Senior Planning Deputy

Councilwoman Katy Yaroslavsky, Fifth District

200 North Spring Street, Room 440, Los Angeles, CA 90012

(213) 473-7005 Los Angeles City Hall Office

Email: dylan.sittig@lacity.org

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.



06.28.22 List of Sites in CD 5.pdf
1634K

Zachary Warma <zachary.warma@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Fri, Jan 6, 2023 at 5:06 PM

D:

This is so incredibly clutch. Now, do you think it's worth us taking some time next week and reviewing this list together?

I defer to your expertise, but want your thoughts on whether it's useful to give this another hard look, particularly around the religious institutions / parking lots that could utilize AB 2011, SB 4 (if it passes), or other recent legislation.

Have a great weekend!

- Warma

[Quoted text hidden]

--

**Zachary Warma**

Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring Street, Room 440](#)[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

PRA01-000246

Email: zachary.warma@lacity.org

Dylan Sittig <dylan.sittig@lacity.org>
To: Justin Orenstein <justin.orenstein@lacity.org>

Tue, Jan 10, 2023 at 10:25 AM

Hi Justin,

Hope you are well!

Do you recall who in CAO helped prepare this list of sites? Zach would like to get in touch with them for follow up.

Thank you!

Dylan

[Quoted text hidden]

 **06.28.22 List of Sites in CD 5.pdf**
1634K

Justin Orenstein <justin.orenstein@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Thu, Jan 12, 2023 at 3:35 PM

Hey there -- I'm not sure who is where any longer given ongoing movement in the Mayor's office, but I would suggest reaching out to Brian Buchner. He should be able to point you in the right direction if nothing else.

[Quoted text hidden]

--



Justin Orenstein
Service Coordinator | External Relations
Department of Public Works
Bureau of Street Services



INNOVATION, INTEGRATION, AND INCLUSION

Dylan Sittig <dylan.sittig@lacity.org>
To: Justin Orenstein <justin.orenstein@lacity.org>

Thu, Jan 12, 2023 at 4:04 PM

Thank you!

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>

Thu, Jan 12, 2023 at 4:05 PM

Hi,
I'm told Brian Buchner would be a good point of contact for the background on this list. Not sure if you are in touch with this person already?
I know Alex provided some additional insight as well.

Best,
Dylan

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>
To: Julia Heidelberg <julia.heidelberg@lacity.org>

Thu, Jan 19, 2023 at 9:24 AM

PRA01-000247

Hi, can you send this to me as a word doc? THANK YOU!

[Quoted text hidden]



06.28.22 List of Sites in CD 5.pdf
1634K

Julia Heidelberg <julia.heidelberg@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Thu, Jan 19, 2023 at 9:40 AM

here ya go!

[Quoted text hidden]

--



LOS ANGELES
CITY PLANNING

Julia Heidelberg

She / Her / Hers

City Planner

Los Angeles City Planning

6262 Van Nuys Blvd., Room 351

Los Angeles, CA 91401

T: (818) 374-5045 | Planning4LA.org



06.28.22 List of Sites in CD 5.docx
658K

Dylan Sittig <dylan.sittig@lacity.org>
To: Julia Heidelberg <julia.heidelberg@lacity.org>

Thu, Jan 19, 2023 at 9:55 AM

Thank you so much!

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>
To: coro.haleymartinez@gmail.com

Thu, Jan 19, 2023 at 9:56 AM

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06.28.22 List of Sites in CD 5.docx
658K

Julia Heidelberg <julia.heidelberg@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Thu, Jan 19, 2023 at 2:51 PM

np!

[Quoted text hidden]



Dylan Sittig <dylan.sittig@lacity.org>

Meeting Request to Discuss Past CD5 List of Potential Properties for Acquisition/Development

6 messages

Zachary Warma <zachary.warma@lacity.org>

Tue, Feb 7, 2023 at 10:26 AM

To: Edwin Gipson <edwin.gipson@lacity.org>, Brian Buchner <brian.buchner@lacity.org>, Rachel Fox <rachel.fox@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>

Ed, Brian, and Rachel:

I hope you're all doing as well as possible. I apologize for this somewhat harried message, but can you let us know if you have some time to meet with the CD5 team in the next week or so?

With recent events exacerbating the long-standing issue of our district's lack of interim housing, the Councilwoman has made it clear she wishes us to revisit with your office the list our predecessors had assembled ([google link here](#); 6/28/22 letter attached) of properties with owners who were interested in selling to the city or of city-owned parcels located in CD5.

I have also put in a request with GSD's Real Estate Services for a list of all city-owned office properties in the district, and will be looking to secure a list of all LADOT-owned surface parking lots as well.

Having reviewed the report outlining the parameters utilized to determine feasibility of parcels for Roadmap interventions, it seems BOE played a role in the consideration and rejection of properties in the past. If you think it's useful for them to be included in this discussion, I very much defer to all of you.

Thank you so much for your consideration of this request, and we look forward to connecting soon.

Regards,

Zack Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



06.28.22 List of Sites in CD 5.pdf
1634K

Brian Buchner <brian.buchner@lacity.org>

Tue, Feb 7, 2023 at 8:05 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Rachel Fox <rachel.fox@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

PRA01-000249

Thanks for your email. We're happy to meet but it will have to be next week. We're completely slammed this week and don't have the time to prepare appropriately for a meeting like this. Please let us know a few days and times later in the week when you and your office are available to meet and we'll get a critical mass together from the CAO's team.

Thanks for understanding.

Brian

Brian Buchner
City Homelessness Coordinator
Office of the City Administrative Officer
e brian.buchner@lacity.org
p 213-978-1681

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Wed, Feb 8, 2023 at 10:58 AM

To: Brian Buchner <brian.buchner@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Rachel Fox <rachel.fox@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Gary Gero <gary.gero@lacity.org>

Brian:

Absolutely understood. And so appreciate your willingness to have a robust conversation with us. Do any of the following slots work for you and your team:

- **Wednesday 2/15:** 4-5pm
- **Thursday 2/16:** 3:30pm - 5pm
- **Friday 2/17:** 9-10am; 4pm-5pm

If none of these work, I can furnish times for the week of the 20th.

Looking forward to chatting soon!

- Zack

[Quoted text hidden]

Brian Buchner <brian.buchner@lacity.org>

Mon, Feb 13, 2023 at 2:16 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Rachel Fox <rachel.fox@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

Any chance you're able to meet with us next week? Realize it's a short week because of the President's Day holiday, but my team will have more time then.

Thanks,
Brian

Brian Buchner
City Homelessness Coordinator
Office of the City Administrative Officer
e brian.buchner@lacity.org
p 213-978-1681

PRA01-000250

On Feb 8, 2023, at 10:58 AM, Zachary Warma <zachary.warma@lacity.org> wrote:

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, Feb 13, 2023 at 5:23 PM

To: Brian Buchner <brian.buchner@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Rachel Fox <rachel.fox@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Gary Gero <gary.gero@lacity.org>

Brian:

Please advise if you and your team have availability in any of the following slots:

- **Tuesday 2/21:** 4:30pm
- **Thursday 2/23:** 4pm-onward
- **Friday 2/24:** 12-2pm; 4-5pm

- Zack

[Quoted text hidden]

Brian Buchner <brian.buchner@lacity.org>

Mon, Feb 13, 2023 at 8:24 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Rachel Fox <rachel.fox@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Gary Gero <gary.gero@lacity.org>

Let's do Tuesday, 4/21 at 4:30pm. Do you want me to send a calendar appointment?

Thanks,
Brian

Brian Buchner
City Homelessness Coordinator
Office of the City Administrative Officer
e brian.buchner@lacity.org
p 213-978-1681

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TABLE OF CONTENTS

TO BE RELEASED ON MONDAY, JULY 24

[199 Letter/Email](#)

[Press Release](#)

[SMS Text](#)

[Website Copy](#)

TO BE RELEASED AFTER OUTREACH MEETING

[FAQ](#)

SMS Text

Hey it's Katy Yaroslavsky, the Councilwoman for your neighborhood. My team and I just announced a new interim housing project for our unhoused participants living on the Westside. To learn more about the project, and RSVP to an information session, go to: [LINK]

Website Copy

Interim Housing On Midvale

Taking bold action to fight Los Angeles' homelessness crisis is the most pressing challenge of our time. In the Fifth Council District, we have seen a dramatic increase in the number of people living on the streets in recent years. According to the Los Angeles Homeless Count, there are as many as 1,300 people living in the district without a home.

Taking bold action to fight the homelessness crisis is the most pressing challenge in Los Angeles. In the Fifth Council District, we have seen a dramatic increase in the number of people living on the streets in recent years. According to the Los Angeles Homeless Count, there are as many as 1,300 people living in the district without a home.

Unfortunately, due largely to the cost of housing on the Westside, there simply are not enough beds to bring people off the streets. In fact, there is only 1 interim housing unit for every 8 unsheltered Angeleno living in Council District 5. If we are to make meaningful progress on homelessness, we need to bring more beds online quickly.

That's why we are proud to announce a new interim housing project for Council District 5. Located on an underutilized city-owned parking lot at the intersection of Pico Blvd. and Midvale Ave, this project will add desperately needed interim beds to the Fifth Council District's homeless housing supply.

An Innovative Interim Housing Solution on L.A.'s West Side

The project will be constructed by [LifeArk](#), a Los Angeles-based company that creates innovative, high-quality modular structures. The unique design of its prefabricated structures allows the project to be built extremely quickly, with construction estimated to take just a few months.

Once opened, operations will be led by [LA Family Housing](#), a national leader in helping people transition out of homelessness and poverty. In its dual role as a homeless service provider and affordable housing developer, LA Family Housing delivers well-managed housing enriched with a suite of supportive services that enable people to transition out of homelessness and regain personal stability long-term.

The goal of the project is to act as a link between street homelessness and permanent housing, with a team of mental health and substance use disorder specialists, permanent housing navigation support, and employment assistance to aid people in re-establishing stable lives. Participants will be provided with ensuite bathrooms, storage and laundry facilities, and three meals per day. The project is designed to serve adults currently residing in nearby neighborhoods surrounding the facility.

We understand that neighbors may have questions and/or concerns. To see the designs for the project, and learn about the safety protocols being implemented, building management and rules for participants, the construction schedule, and more, we invite you to join an information session in the coming days:

To answer any questions on the project, we will be hosting two information sessions in the coming days:

In-Person Information Session
5:30-7:00 pm
Thursday, August 3, 2023
Temple Isaiah Community Room
10345 W Pico Blvd
[RSVP BUTTON]

Virtual Information Session
10:00-11:00 am
Sunday, August 6, 2023
[RSVP BUTTON]

Stay up to date on project updates!
[CONTACT FIELD]

FAQ (TO BE RELEASED AFTER OUTREACH MEETING)

About the Project

Councilwoman Yaroslavsky is proposing to open approximately 30 units of interim housing on a parking lot at 2377 Midvale. The site will be extensively renovated, house people, link participants to permanent housing, and provide employment assistance, mental health and substance use treatment services to help people re-establish stable lives.

Why was 2377 Midvale Ave selected for interim housing?

Councilwoman Yaroslavsky's staff are currently reviewing many sites in the Fifth Council District (CD5) as prospective sites for interim and permanent housing. There are 1300 homeless people including children living in Fifth Council District, and they cannot be rehoused because there are no available housing options for them. Adjacent LA City Council Districts face the same

challenge. No beds. So we must open interim and permanent housing in order to solve our humanitarian homeless crisis and rehouse people currently living on our streets.

When selecting locations, we use several key criteria, including whether the property is city-owned (which reduces costs) and proximity to public transportation. Because this site is a city-owned parking lot, we also considered parking utilization rates, and determined that the lot was underutilized and that additional, convenient nearby parking is available.

Who is going to live in the new housing?

This facility is designed to serve unhoused people who reside in the neighborhoods surrounding the project. Each participant will be evaluated to determine whether or not they meet the criteria for this housing.

Will this project bring homeless people into my neighborhood?

No. This project will move homeless people off of our streets and into housing. Additional sanitation and enforcement services will guarantee the surrounding area remains clean and secure, and camping within 500 feet of the building is prohibited under city code.

What will the housing look like?

The project will be constructed by [LifeArk](#), a Los Angeles-based company that creates innovative, high-quality modular structures. The unique design of its prefabricated structures allows the project to be built extremely quickly, with construction estimated to take just a few months to complete.

What kind of services will be available to help participants stabilize their lives?

Every participant will be assigned a dedicated case manager, in addition to receiving comprehensive assistance to address mental health or substance use issues, as well as link people to permanent housing. The project will have round-the-clock on-site security personnel to ensure safety. Participants will also have access to three daily meals, storage facilities, and restrooms located in their units.

Will our neighborhood be less safe?

The project will have 24-hour security on site, as well as security cameras. There will also be increased LAPD patrol of the surrounding neighborhood. This project will create a safe environment for participants as well as the surrounding community. In addition, CD5 has asked LA Sanitation to implement a bi-weekly cleaning schedule for the immediate vicinity, and will monitor and adjust that schedule as needed.

When will the housing open?

We hope that the project will break ground before the end of the year, and open by spring 2024.

What should I do if there is a problem near the building?

As part of LA Family Housing's contract, they will identify a community point person who can serve as liaison to members of the community should there be a problem. Once that point

person is identified, neighbors in the surrounding community will be given their contact information for any issues that may arise.

What are the hours of operation for this housing?

The project will be operated 24 hours a day; 7 days a week, however nighttime activity will be limited. There will be staff and security on-site at all times. In order to allow for individuals with jobs outside of regular business hours, there will not be a strict curfew in place.

Will guests be able to visit and stay in this facility?

No. The only individuals allowed on site will be participants and staff. Participants will not be allowed to bring guests on site, and in the evening, noise levels will be limited. This is to ensure the safety and comfort of all participants, staff, as well as the surrounding community.

How will this affect parking for nearby businesses?

Based on LADOT records, less than 40% of this lot is being used during a given day. Additionally, there are two additional parking lots within a 10 minute walk of this location, and additional street parking on Pico and Westwood Boulevards that have capacity to absorb parking needs.

How long do you expect people to stay?

Our goal is to move people from temporary residences to permanent housing as quickly as possible. Every unhoused person has different needs. Building services will include mental health professionals, specialists in addiction recovery, and housing specialists to assist participants in finding permanent housing.

This site is less than a mile from several schools and daycares. How will you make sure that those spaces are safe and clear from homeless encampments?

By law, it is illegal to camp within 500 feet of any daycare facility or school, but the law can't be enforced if we can't provide unhoused men and women with housing. This new interim housing will help ensure that we have housing for individuals experiencing homelessness, so we can move people inside.

Additional FAQs for Field Staff

How will this affect foot traffic for businesses

Working with service providers and security on site, as well as LA Sanitation and LAPD, the surrounding sidewalk will be kept clear of any debris or activity. Sanitation will provide regular cleaning of the street and sidewalk, and security guards will ensure that any individual living on site does not spend significant time loitering outside of the premises.

Will this impact my property value?

At similar interim housing sites across the City, we have not seen any appreciable impact on property values.

Are participants required to be sober?

No. An individual's eligibility for housing is not conditional on sobriety. However, there will be mental health and anti-addiction specialists who will help new participants start on the path to sobriety. Regardless, anyone on site will need to follow the laws, rules, and regulations of the facility.

FAQ

About the Project

Councilwoman Yaroslavsky is proposing to open approximately 30 units of interim housing on a parking lot at 2377 Midvale. The site will be extensively renovated, house people, link participants to permanent housing, provide employment assistance, as well as mental health and substance use treatment services to help people re-establish stable lives.

Why was 2377 Midvale Ave selected for interim housing?

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This facility is designed to serve unhoused people who reside in the neighborhoods surrounding the project. Each participant will be evaluated to determine whether or not they meet the criteria for this housing.

Will this project bring homeless people into my neighborhood?

No. This project will move homeless people off of our streets and into housing. Additional sanitation and enforcement services will guarantee the surrounding area remains clean and secure, and camping within 500 feet of the building is prohibited under city code.

What will the housing look like?

The project will be constructed by [LifeArk](#), a Los Angeles-based company that creates innovative, high-quality modular structures. The unique design of its prefabricated structures allows the project to be built extremely quickly, with construction estimated to take just a few months to complete.

What kind of services will be available to help participants stabilize their lives?

Every participant will be assigned a dedicated case manager, in addition to receiving comprehensive assistance to address mental health or substance use issues, as well as link people to permanent housing. The project will have round-the-clock on-site security personnel to ensure safety. Participants will also have access to three daily meals, storage facilities, and restrooms located in their units.

Will our neighborhood be less safe?

The project will have 24-hour security on site, as well as security cameras. There will also be increased LAPD patrol of the surrounding neighborhood. This project will create a safe environment for participants as well as the surrounding community. In addition, CD5 has asked LA Sanitation to implement a bi-weekly cleaning schedule for the immediate vicinity, and will monitor and adjust that schedule as needed.

When will the housing open?

We hope that the project will break ground before the end of the year, and open by spring 2024.

What should I do if there is a problem near the building?

As part of LA Family Housing's contract, they will identify a community point person who can serve as liaison to members of the community should there be a problem. Once that point person is identified, neighbors in the surrounding community will be given their contact information for any issues that may arise.

What are the hours of operation for this housing?

The project will be operated 24 hours a day; 7 days a week, however nighttime activity will be limited. There will be staff and security on-site at all times. In order to allow for individuals with jobs outside of regular business hours, there will not be a strict curfew in place.

Will guests be able to visit and stay in this facility?

No. The only individuals allowed on site will be participants and staff. Participants will not be allowed to bring guests on site, and in the evening, noise levels will be limited. This is to ensure the safety and comfort of all participants, staff, as well as the surrounding community.

How will this affect parking for nearby businesses?

Based on LADOT records, less than 40% of this lot is being used during a given day. Additionally, there are two additional parking lots within a 10 minute walk of this location, and additional street parking on Pico and Westwood Boulevards that have capacity to absorb parking needs.

How long do you expect people to stay?

Our goal is to move people from temporary residences to permanent housing as quickly as possible. Every unhoused person has different needs. Building services will include mental health professionals, specialists in addiction recovery, and housing specialists to assist participants in finding permanent housing.

This site is less than a mile from several schools and daycares. How will you make sure that those spaces are safe and clear from homeless encampments?

By law, it is illegal to camp within 500 feet of any daycare facility or school, but the law can't be enforced if we can't provide unhoused men and women with housing. This new interim housing will help ensure that we have housing for individuals experiencing homelessness, so we can move people inside.

Additional FAQs for Field Staff

How will this affect foot traffic for businesses

Working with service providers and security on site, as well as LA Sanitation and LAPD, the surrounding sidewalk will be kept clear of any debris or activity. Sanitation will provide regular cleaning of the street and sidewalk, and security guards will ensure that any individual living on site does not spend significant time loitering outside of the premises.

Will this impact my property value?

At similar interim housing sites across the City, we have not seen any appreciable impact on property values.

Are participants required to be sober?

No. An individual's eligibility for housing is not conditional on sobriety. However, there will be mental health and anti-addiction specialists who will help new participants start on the path to sobriety. Regardless, anyone on site will need to follow the laws, rules, and regulations of the facility.

SMS Text

Hey it's Katy Yaroslavsky, the Councilwoman for your neighborhood. My team and I just announced a new interim housing project for our unhoused participants living on the Westside. To learn more about the project, and RSVP to an information session, go to: [LINK]

Deliberative: Confidential

Run-Of-Show, Midvale IH Community Meeting

8/3/2023

5:30pm-7:00pm; 4:30pm arrival for presentation partners

Participants:

- Councilwoman Yaroslavsky's Office: Gary Gero, Fernando Morales, Andrew Deblock, Leo Daube, Analiz Marmolejo, George Hakopiants, Allen Zipper, Vanessa Saldana, Matthew Tenchavez, Perla Urzua, Loren Jackson, Haley Martinez, Patricia Macias
- Mayor's Office: Azeen Khanmalek
- LAHSA: Dr. Adams-Kellum, Amanda Szydlowski, Aeia Abas, +1 IH Team Member
- LA Family Housing: Stephanie Klasky-Gamer, Kelsey Madigan
- LifeArk: Charles Wee, Paul Cho, Rebecca Wee

Project Background:

- Opportunity to learn, provide feedback, and work in partnership to create an interim housing site on the Northwest corner of Pico Blvd and Midvale Ave that will provide immediate relief by bring indoors people experiencing homelessness in the immediate neighborhood
- Service Planning Area (SPA) 5 has the lowest number of beds for single adults
- CD 5 currently has zero interim housing beds for single adults
- In the last decade, homelessness in Los Angeles has more than doubled, with more than 46,000 Angelenos lacking a stable and secure place to sleep on a given night
- Over 70% of those individuals and families are unsheltered, meaning they are sleeping in tents, parks, on sidewalks and in cars, because of the city's ongoing lack of both interim and permanent housing
- While many neighbors experiencing homelessness are connected to some services, and a vast majority are ready for housing, we do not have the units to bring folks indoors that are ready to re-establish stable lives
- The goal of the project is to act as a link between street homelessness and permanent housing, with a team of mental health and substance use disorder specialists, permanent housing navigation support, and employment assistance to aid people in re-establishing stable lives
- Participants will be provided with ensuite bathrooms, storage and laundry facilities, and three meals per day
- Facility will feature 24/7 security, additional public safety resources, and a 500 ft radius that prohibiting encampments (sensitive use site)
- Have conceptual drawings that currently project 34 beds, but purely conceptual at this point
- Project will be constructed by LifeArk, the winner of the LA County Homeless Initiative Innovation Challenge and will feature prefabricated structures that are both quickly built and very durable
- Operations will be led by LA Family Housing, a national leader in helping people transition out of homelessness and poverty.

Deliberative: Confidential

- In its dual role as a homeless service provider and affordable housing developer, LA Family Housing delivers well-managed housing enriched with a suite of supportive services that enable people to transition out of homelessness and regain personal stability long-term.
- We are at the beginning of the process and eager for community feedback

Open House

- 4:30pm- Setup and arrival of presenters
- 5:00pm-5:30pm - Participant sign-in
- 5:30pm - Event start
- 5:45-5:50pm - opening welcome by Rabbi Jaclyn followed by short joint remarks by MO Bass/CM Yaroslavsky/Dr. Adams-Kellum/LAPD
- 5:45-7:00pm - Open House continues

Parking:

- General Parking - Across the street at Rancho Park
- Elected Officials/SK-G/CWee/Participants w/disabilities - Underground parking at Temple Isaiah accessible through alley Kernwood. Directions below:
 - Pico to Kerwood Avenue
 - Turn North onto Kerwood Avenue
 - Turn right into the Alleyway behind Temple Isaiah
 - The garage entrance is a quarter of the way down the alley on the right-hand side
 - Please give the security guard your name

Table Set Up

- Welcome table/Sign In (CD 5 - Allen Zipper/Marley Powell/Analiz Marmolejo/Loren Jackson)
 - Will be provided with a map of the room (layout) and feedback card
 - Sign-up for future project updates
- Table 1: Site Selection + Community Safety (CD 5 - Fernando Morales/George Hakopiants/Vanessa Saldana/Patricia Macias - LAPD - Captain Tiano and SLOs)
 - Can help folks understand what homelessness looks like in CD 5
 - Share findings of the CD 5 Homelessness Team
 - Information on identification of site, manufacturer, and service provider
 - Why here? How will this better our community?
 - Information on how this will make the community more safe
 - Feedback re: local encampments or neighbors in need of housing
- Table 2: The Need for Interim Housing (LAHSA - Amanda Szydlowski, Aeia Abas, +1 IH Team Member)
 - Need to meet folks where they're at by building solutions in all communities
 - Efforts/commitment toward addressing homelessness
 - Community specific numbers for SPA 5 area around Pico/Midvale
 - What is interim housing?
 - What purpose does interim housing serve?

- Why is interim housing needed in SPA 5?
- Table 3: Site Operations (LAFH - Stephanie Glasky-Gamer, Kelsey Madigan)
 - Helpful for people to understand how interim housing is operated
 - Feel free to include information on what “low barrier” means and what specific services are provided
 - Information about security/safety
 - Information on LAFH’s track record of communicating/working with nearby housed communities
 - Interim Housing Standards/Expectations - Good Neighbor Guidelines
 - Common question- how long do people stay in interim housing/how long are people **allowed** to stay in interim housing?
- Table 4: Site Design and Construction – LifeArk (Charles Wee, Paul Cho)
 - Design
 - Renderings/layout information
 - Fire safety



Hannah Pechet <hannah.pechet@lacity.org>

Midvale Project

1 message

Hannah Pechet <hannah.pechet@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>

Tue, May 30, 2023 at 2:56 PM

Hi Zach,

Leo said you had a few slide decks or materials about the Midvale Project that you might be able to share with me. I'm working on the FAQ and just familiarizing myself with info about it right now so if you could share those that'd be really helpful!

Thank you,
Hannah

PRA01-000264



SCHEME A

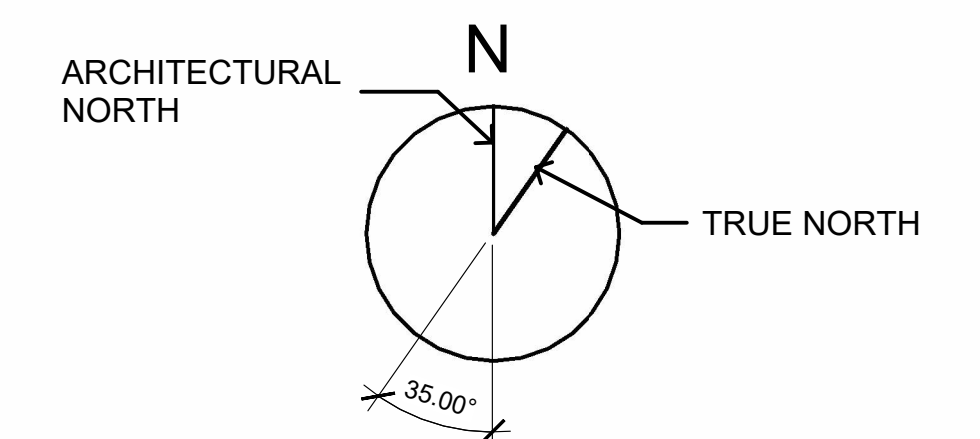
- AMENITIES DISTRIBUTED BETWEEN NORTH AND SOUTH CAMPUS
- 31 TOTAL SLEEPING UNITS, INCLUDING 4 ADA

NORTH CAMPUS (RESIDENTIAL ZONING):

- SLEEPING UNITS
- COMMUNITY BUILDING
- OFFICES
- STORAGE BUILDING

SOUTH CAMPUS (SPECIAL OVERLAY DISTRICT/COMMERCIAL):

- SLEEPING UNITS
- LAUNDRY
- SHADED OUTDOOR AREA
- DOG RUN
- PARKING (3 STANDARD + 1 ADA)





SCHEME E

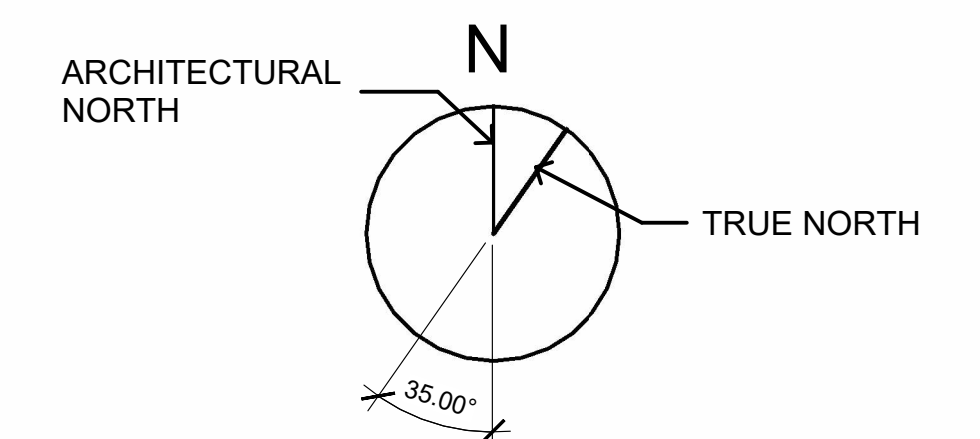
- AMENITIES CENTRALIZED IN SOUTH CAMPUS
- 31 TOTAL SLEEPING UNITS, INCLUDING 4 ADA

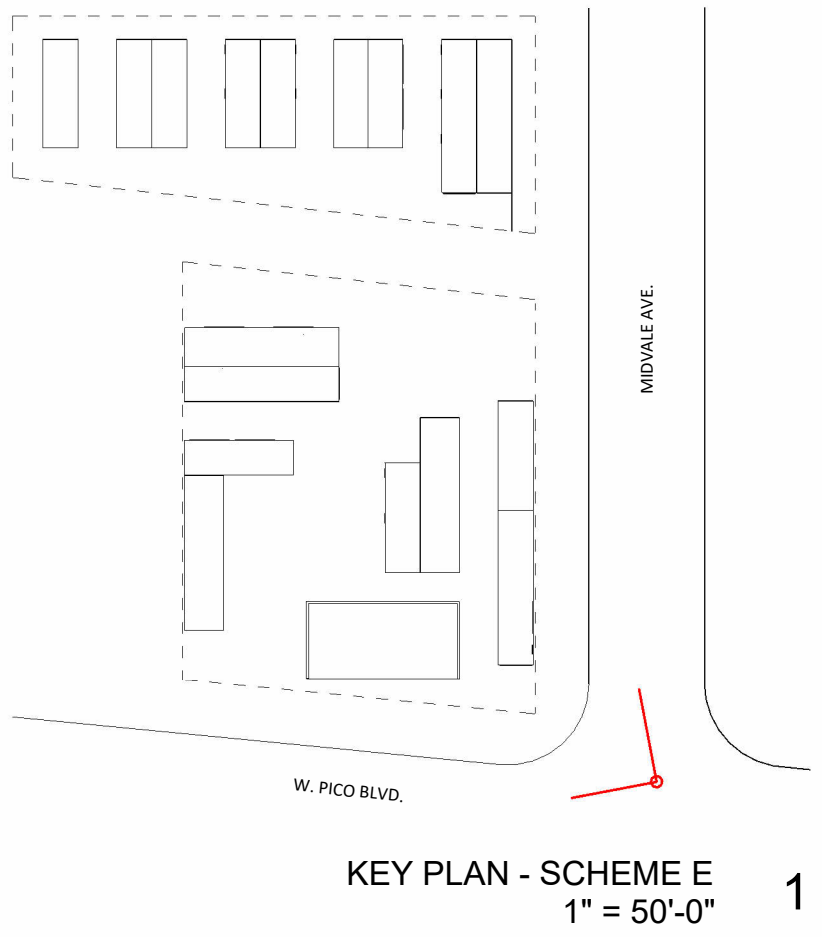
NORTH CAMPUS (RESIDENTIAL ZONING):

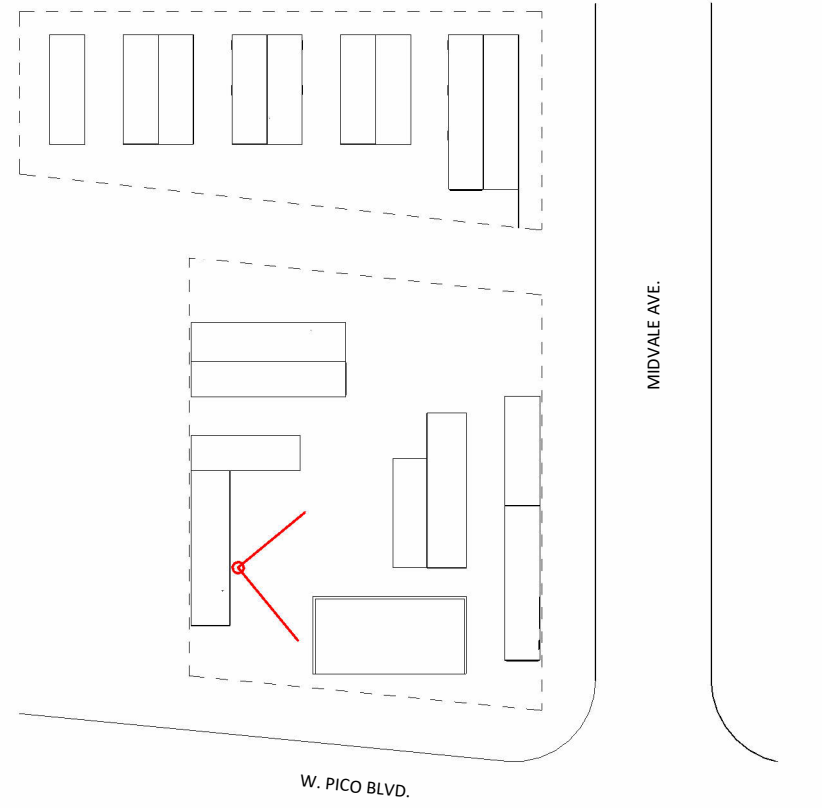
- SLEEPING UNITS

SOUTH CAMPUS (SPECIAL OVERLAY DISTRICT/COMMERCIAL):

- SLEEPING UNITS
- COMMUNITY BUILDING
- STORAGE BUILDING
- LAUNDRY FACILITY
- OFFICES
- SHADED OUTDOOR AREA
- DOG RUN
- PARKING (3 STANDARD + 1 ADA)





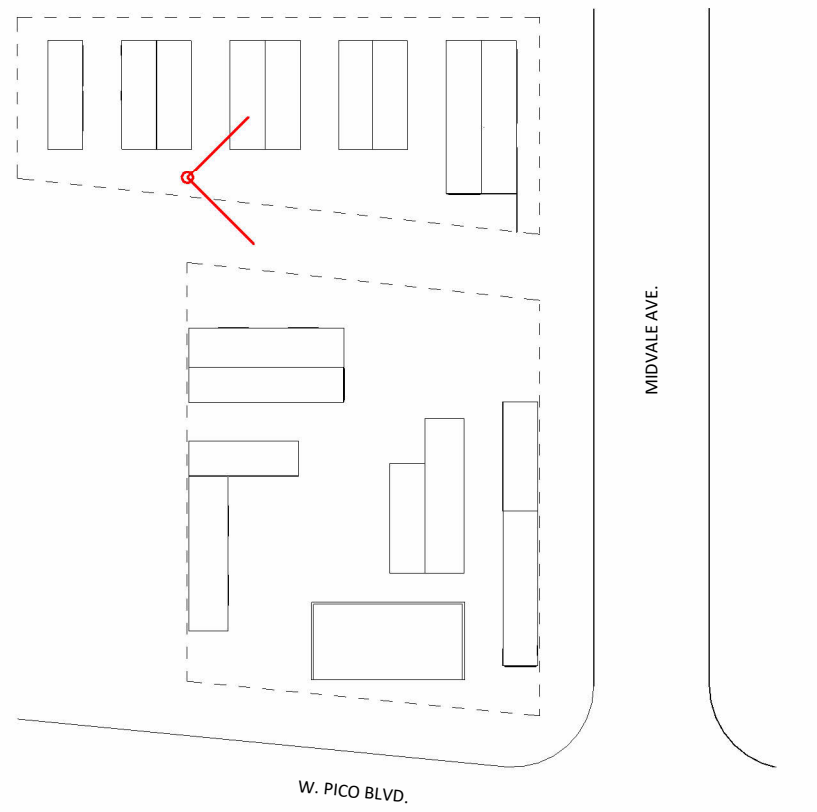


KEY PLAN - SCHEME E
1" = 50'-0"

1



KEY PLAN - SCHEME E
1" = 50'-0"



KEY PLAN - SCHEME E
1" = 50'-0"



LEFT: SHELTER INTERIOR. IMAGES ABOVE: ILLUSTRATE POTENTIAL LOOK AND FEEL OF THE SHELTER.



HOMEKEY MOUNTAIN VIEW SHELTER PROJECT

- LOCATED IN MOUNTAIN VIEW, CA
- PROJECT COMPLETED 2021

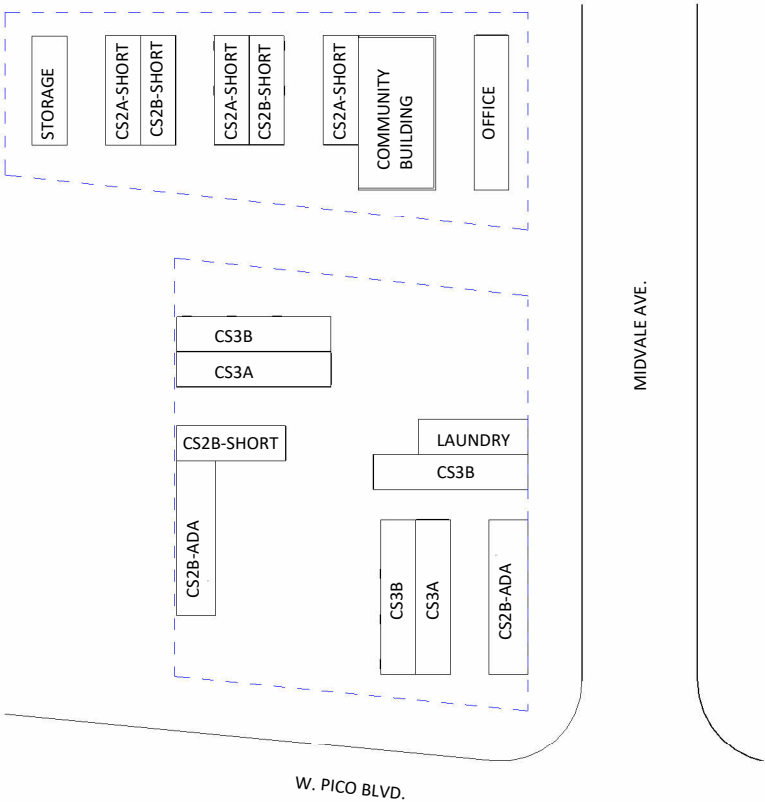
LEFT: COMMUNITY BUILDING. TOP RIGHT: INTERIOR OF COMMUNITY BUILDING. BOTTOM RIGHT: SHELTER UNITS.



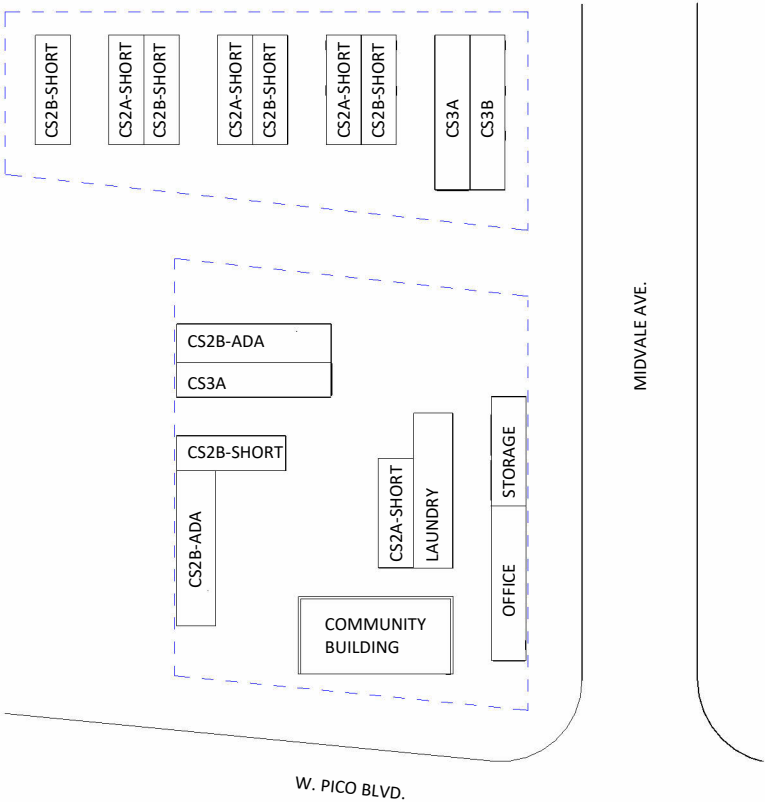
APPENDIX -
BUDGET KEYPLAN / MOD DISTRIBUTION DIAGRAM



SCHEME A



SCHEME E



CONNECT SHELTER PRELIMINARY PRICING ESTIMATE

DATE:

6/02/2023

LOCATION: LOS ANGELES, CA

CONFIGURATION: [SCHEME A](#)

CONNECT
HOMES 

Models	Size	SF	Modules	Beds	Baths/RR
CS2-B-ADA	10'-3" x 40'-3"	413	2	4	4
CS3-A	9'-1" x 40'-2"	365	2	6	6
CS3-B	9'-1" x 40'-2"	365	3	9	9
CB - COMMUNITY SPACE	20'-1" x 40'-4"	810	1		
CS4 - OFF & CONFERENCE	8'-1" x 40'-4"	326	1		1 (Public Accessible RR)
CS2-A Short	9'-0" x 28'-6"	257	3	6	6
CS2-B Short	9'-0" x 28'-6"	257	3	6	6
SHELL + 3 LAUNDRY W/D	9'-0" x 28'-6"	257	1		
SHELL ONLY (STORAGE)	9'-0" x 28'-6"	257	1		
			17	31	32
			Total Units		

DESIGN

Item	Notes	Subtotals	Total
DESIGN FEE	Coordination with AOR on layout, code compliance MEP, Fire sprinkler, Title 24, Structural Engineering consultants (shelter models only) State Approvals for all shelter model types Design development for all shelter model types Custom fabrication drawings for all shelter model types Up to 10 hours of meetings	\$ 210,000	\$ 210,000
REIMBURSABLES	Travel expenses, copies of drawings, postage, other expenses	tbd	

PRODUCTION

Models	Module Cost	Module Quantity	Unit Cost	Unit Quantity	Subtotals	Total
CS2-B-ADA	\$ 160,700	2	\$ 80,350	4	\$ 321,400	
CS3-A	\$ 155,200	2	\$ 51,733	6	\$ 310,400	
CS3-B	\$ 155,200	3	\$ 51,733	9	\$ 465,600	
CB - COMMUNITY SPACE	\$ 274,600	1			\$ 274,600	
CS4 - OFF & CONFERENCE	\$ 118,000	1			\$ 118,000	
CS2-A Short	\$ 107,500	3	\$ 53,750	6	\$ 322,500	
CS2-B Short	\$ 107,500	3	\$ 53,750	6	\$ 322,500	
SHELL + 3 LAUNDRY W/D	\$ 93,200	1			\$ 93,200	
SHELL ONLY (STORAGE)	\$ 82,600	1			\$ 82,600	
FIT-OUT/OPTIONAL UPGRADES						
Fire sprinklers (R2 occupancy) - allowance	\$ 4,500	17			\$ 76,500	

DELIVERY/SETTING/INSTALLATION

Item	Per Unit	Quantity	Subtotals	Total
TRUCKING	\$ 2,500	18	\$ 45,000	\$ 45,000 <1>
SETTING EQUIPMENT				
Crane set	tbd			
SETTING				
Shelters (set on foundation, rack, level, bolt & weld)	tbd			
INSTALLATION				
Shelters (seaming, cross over connections)	tbd			
MEP connections (to site, between stories)	tbd			
Additional structures	By Others/ NIC			

Sales Tax on Production costs \$ 75,826

ESTIMATED PRELIMINARY PRICE \$ 2,718,126

PRE-DELIVERY ON-SITE WORK

Item	Total
Preparation of site for the installation of Shelters is not included and shall be performed by a local contractor	NIC <3>
Foundations	NIC
Utility hook ups	NIC
Ramps	NIC
Stairs	NIC

NOTES ON PRICING

<1> Production costs are subject to change up until the Purchase Order is signed, at which time these costs are fixed for the Project
 <2> Installation costs will be included in the Purchase Order as actual costs plus a 15% fixed fee and are provided as an estimate only
 <3> Every site is different and will have varying levels of preparation required for the installation of the Shelter units. This estimate will fluctuate depending on site specific conditions and local labor rates

PRA01-000274
8/23/23

CONNECT SHELTER PRELIMINARY PRICING ESTIMATE

DATE: 6/2/2023

LOCATION: LOS ANGELES, CA
CONFIGURATION: [SCHEME E](#)



Models	Size	SF	Modules	Beds	Baths/RR	
CS2-B-ADA	10'-3" x 40'-3"	413	2	4	4	
CS3-A	9'-1" x 40'-2"	365	2	6	6	
CS3-B	9'-1" x 40'-2"	365	1	3	3	
COMMUNITY SPACE	20'-1 x 40'-4"	810	1			
CS1 - LAUNDRY	10'-3" x 40'-3"	413	1			
CS4 - OFF & CONFERENCE	8'-1" x 40'-4"	326	1		1	(Public Accessible RR)
CS2-A Short	9' x 28'-6"	257	4	8	8	
CS2-B Short	9' x 28'-6"	257	5	10	10	
SHELL ONLY (STORAGE)	9' x 28'-6"	258	1			
			18	31	32	Total Units

Item	Notes	Subtotals	Total
DESIGN FEE	Coordination with AOR on layout, code compliance MEP, Fire sprinkler, Title 24, Structural Engineering consultants (shelter models only) State Approvals for all shelter model types Design development for all shelter model types Custom fabrication drawings for all shelter model types Up to 10 hours of meetings	\$ 225,000	\$ 225,000
REIMBURSABLES	Travel expenses, copies of drawings, postage, other expenses	tbd	

Models	Module Cost	Module Quantity	Unit Cost	Unit Quantity	Subtotals	Total
CS2-B-ADA	\$ 160,700	2	\$ 80,350	4	\$ 321,400	
CS3-A	\$ 155,200	2	\$ 51,733	6	\$ 310,400	
CS3-B	\$ 155,200	1	\$ 51,733	3	\$ 155,200	
COMMUNITY SPACE	\$ 274,600	1			\$ 274,600	
CS1 - LAUNDRY	\$ 146,400	1			\$ 146,400	
CS4 - OFF & CONFERENCE	\$ 118,000	1			\$ 118,000	
CS2-A Short	\$ 107,500	4	\$ 53,750	8	\$ 430,000	
CS2-B Short	\$ 107,500	5	\$ 53,750	10	\$ 537,500	
SHELL ONLY (STORAGE)	\$ 82,600	1			\$ 82,600	
FIT-OUT/OPTIONAL UPGRADES						
Fire sprinklers (R2 occupancy) - allowance	\$ 4,500	18			\$ 81,000	

Item	Per Unit	Quantity	Subtotals	Total
TRUCKING	\$ 2,500	19	\$ 47,500	\$ 47,500
SETTING EQUIPMENT				
Crane set	tbd			
SETTING				
Shelters (set on foundation, rack, level, bolt & weld)	tbd			
INSTALLATION				
Shelters (seaming, cross over connections)	tbd			
MEP connections (to site, between stories)	tbd			
Additional structures	By Others/ NIC			

Sales Tax on Production costs \$ 77,791

ESTIMATED PRELIMINARY PRICE \$ 2,807,391

Item	Total
PRE-DELIVERY ON-SITE WORK	NIC
Preparation of site for the installation of Shelters is not included and shall be performed by a local contractor	
Foundations	NIC
Utility hook ups	NIC
Ramps	NIC
Stairs	NIC

NOTES ON PRICING
<1> Production costs are subject to change up until the Purchase Order is signed, at which time these costs are fixed for the Project
<2> Installation costs will be included in the Purchase Order as actual costs plus a 15% fixed fee and are provided as an estimate only
<3> Every site is different and will have varying levels of preparation required for the installation of the Shelter units. This estimate will fluctuate depending on site specific conditions and local labor rates

HOPE

PAVILION

2377 MIDVALE AVE.



COUNCILWOMAN

KATY YAROSLAVSKY

LOS ANGELES COUNCIL DISTRICT 5

PRA01-000276

8/23/23

The Need

There are 1,300 Unhoused Men and Women in Council District 5

Based on the 2022 LAHSA Point-in-time count, we know that street homelessness in Council District 5 has only risen in recent years. We expect the results of this year's count to show an even higher number. In order to meaningfully address this growing problem, we need to bring more housing online quickly.

The Need

There is 1 Shelter Bed for every 8 Unsheltered People in CD 5

This is in large part because in Council District 5, we have very few, if any, available beds for people experiencing homelessness. Without these beds, clearing encampments becomes incredibly difficult because there is simply no place for people to go.

The Proposal

Councilwoman Yaroslavsky is proposing to open 30 units of interim housing on a parking lot at 2377 Midvale. The site will be extensively renovated, house both men and women, will link people to permanent housing, and provide job training, mental health and substance use treatment services to help people re-establish stable lives.

PRA01-000279
8/23/23



Services Provided On-Site

SAFETY

- 24-hour security
- Increased LAPD patrol
- Security cameras
- No-camping rules
- Enhanced sanitation

PRA01-000280
8/23/23

SERVICES

- Mental health and addiction specialists
- Permanent housing navigation
- 3 meals per day
- Storage, shower, and laundry facilities
- In-suite restrooms

Vendors

LifeArk

- Capacity for 33 individuals
- 8' x 8' modular housing
- Units are clad with horizontal slats with growing green vines
- LA County Housing Innovation Challenge Award winner

Connect Homes

- Capacity for 31 individuals
- 40'-3" x 9' modular housing
- Units are designed in a sleek, modern design with landscaping
- Vendor also builds high-end single family residences

LifeArk



LifeArk
PRJ-001-000283
8/23/23



LifeA PRA01-000284
8/23/23









Connect Homes



Connect Homes

724.401.0662x9
8/23/23



ConnHomes

PRA01-006290
8/23/23







Connect Homes

PR/01-006293
8/23/23

F.A.Q

PRA01-000294
8/23/23



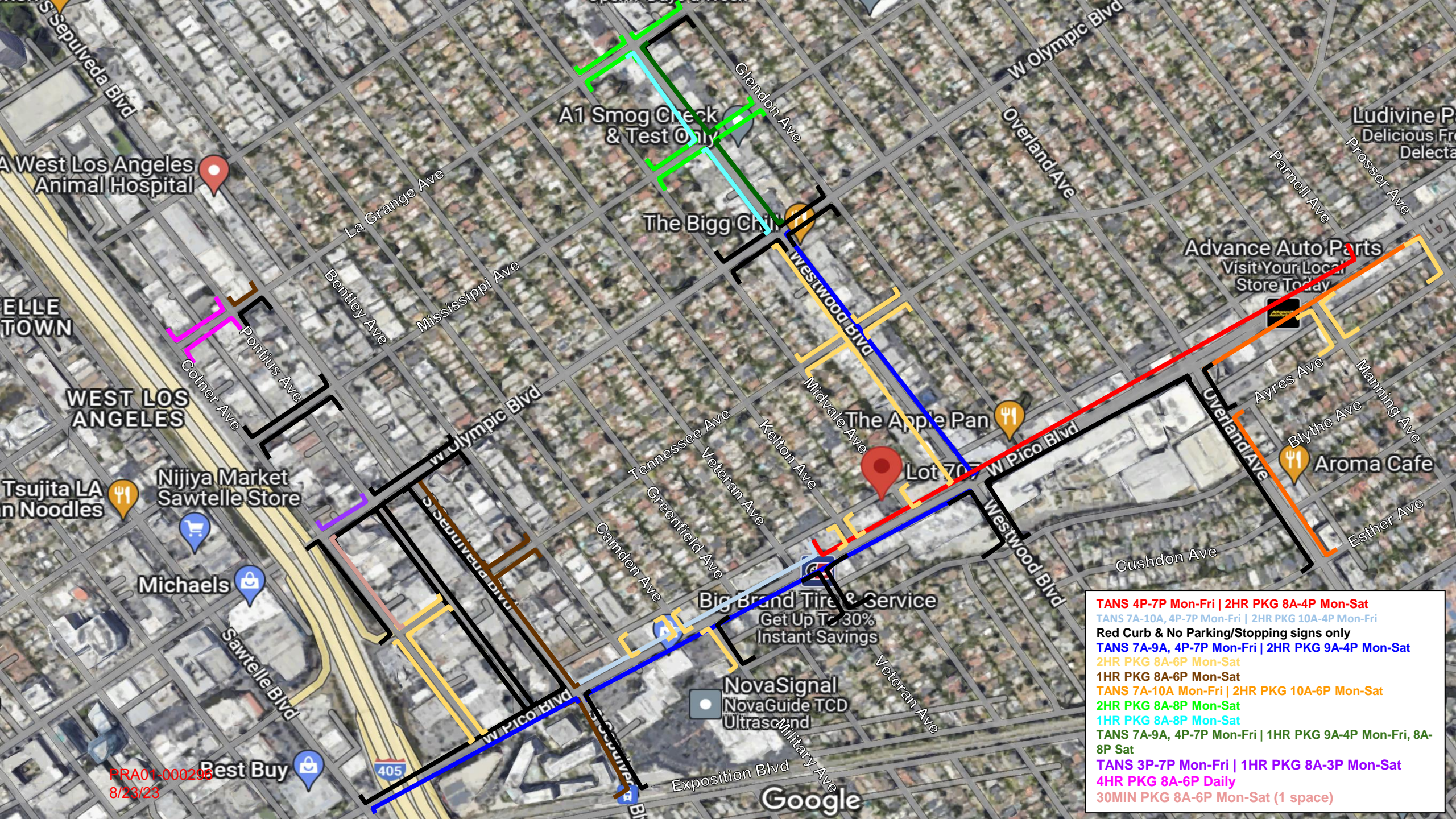
COUNCILWOMAN

KATY YAROSLAVSKY

LOS ANGELES COUNCIL DISTRICT 5

Will this project bring homeless people into my neighborhood?

No. This project will move homeless men and women off of our streets and into housing. Additional sanitation and enforcement services will guarantee the surrounding area remains clean and secure, and camping within 500 feet of the building is prohibited under city code 41.18.



A1 Smog Check
& Test Only

The Bigg Chill

Westwood Blvd

The Apple Pan

Lot 707

Big Brand Tire & Service
Get Up To 30%
Instant Savings

NovaSignal
NovaGuide TCD
Ultrasound

Advance Auto Parts
Visit Your Local
Store Today

Aroma Cafe

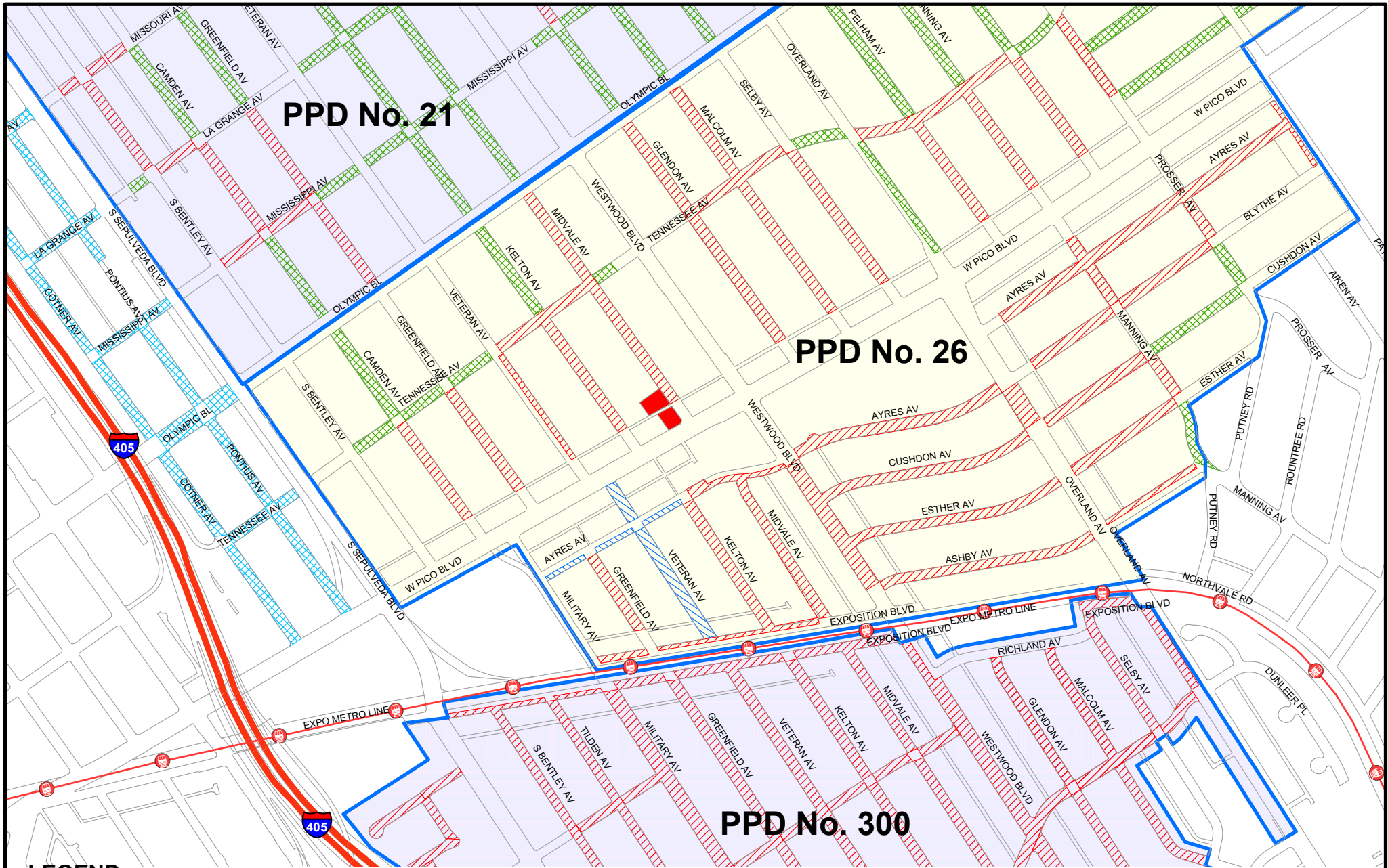
TANS 4P-7P Mon-Fri | 2HR PKG 8A-4P Mon-Sat
TANS 7A-10A, 4P-7P Mon-Fri | 2HR PKG 10A-4P Mon-Fri
Red Curb & No Parking/Stopping signs only
TANS 7A-9A, 4P-7P Mon-Fri | 2HR PKG 9A-4P Mon-Sat
2HR PKG 8A-6P Mon-Sat
1HR PKG 8A-6P Mon-Sat
TANS 7A-10A Mon-Fri | 2HR PKG 10A-6P Mon-Sat
2HR PKG 8A-8P Mon-Sat
1HR PKG 8A-8P Mon-Sat
TANS 7A-9A, 4P-7P Mon-Fri | 1HR PKG 9A-4P Mon-Fri, 8A-8P Sat
TANS 3P-7P Mon-Fri | 1HR PKG 8A-3P Mon-Sat
4HR PKG 8A-6P Daily
30MIN PKG 8A-6P Mon-Sat (1 space)

PRA01-000295
8/23/23

Parking Restrictions	Comments
TANS 4P-7P Mon-Fri 2HR PKG 8A-4P Mon-Sat	
N/S Pico Blvd btwn Midvale Ave & Kelton Ave	PW210-211 - PLO
N/S Pico Blvd btwn Midvale Ave & Westwood Blvd	
*N/S Pico Blvd btwn Kelton Ave & Veteran Ave	#PW224 and W223 have parking signs TANS 7A-10A, 4P-7P Mon-Fri 2HR PKG 10A-4P Mon-Fri. IPS and ArcGIS match
N/S Pico Blvd btwn Prosser Ave & Patricia Ave	3 15-minute meters
N/S Pico Blvd btwn Parnell Ave & Prosser Ave	
N/S Pico Blvd btwn Manning Ave & Parnell Ave	
N/S Pico Blvd btwn Pelham Ave & Manning Ave	
N/S Pico Blvd btwn Overland Ave & Pelham Ave	
N/S Pico Blvd btwn Selby Ave & Overland Ave	
N/S Pico Blvd btwn Malcolm Ave & Selby Ave	
N/S Pico Blvd btwn Glendon Ave & Malcolm Ave	
N/S Pico Blvd btwn Westwood Blvd & Glendon Ave	2 TANSAT signs
TANS 7A-10A, 4P-7P Mon-Fri 2HR PKG 10A-4P Mon-Fri	
*N/S Pico Blvd btwn Kelton Ave & Veteran Ave	Signs for #PW224 and W223 only. IPS and ArcGIS do not match with signs
*N/S Pico Blvd btwn Veteran Ave & Greenfield Ave	#PW226-231. IPS and ArcGIS do not match with signs
*N/S Pico Blvd btwn Greenfield Ave & Camden Ave	#PW233. IPS and ArcGIS do not match with signs
*N/S Pico Blvd btwn Camden Ave & Bentley Ave	#PW345-353. IPS and ArcGIS do not match with signs
*N/S Pico Blvd btwn Bentley Ave & Sepulveda Blvd	#PW359-360. IPS and ArcGIS do not match with signs
Red Curb & TANS signs only	
N/S Pico Blvd btwn Sepulveda Blvd & Pontius Ave	
N/S Pico Blvd btwn Pontius Ave & Cotner Ave	
N/S Pico Blvd btwn Cotner Ave & Sawtelle Blvd	
S/S Pico Blvd btwn Westwood Blvd & Overland Ave	Mix of TANSAT signs and TANS 7A-10A, 4P-7P. Illegal green curbs? + 2 Taxi zones
B/S Westwood Blvd btwn Pico Blvd & Ayres Ave	
B/S Overland Ave btwn Pico Blvd & Ayres Ave	
W/S Overland Ave btwn Cushdon Ave & Esther Ave	Street Cleaning Mon 10A-12P; TANS 7A-7P Daily, no meters
W/S Overland Ave btwn Ayres Ave & Cushdon Ave	Street Cleaning Mon 10A-12P; TANS 7A-7P Daily, no meters
W/S Sepulveda Blvd btwn Pico Blvd & Tennessee Ave	TANSAT
W/S Sepulveda Blvd btwn Tennessee Ave & Olympic Blvd	
S/S Olympic Blvd btwn Sepulveda Blvd & Pontius Ave	
S/S Olympic Blvd btwn Pontius Ave & Cotner Ave	TANS 7A-7P Mon-Sat
N/S Olympic Blvd btwn Sepulveda Blvd & Pontius Ave	TANS 3P-7P Mon-Fri
W/S Cotner Ave btwn Tennessee Ave & Olympic Blvd	No parking 2A-6A Vehicles or 7' high or 22' long
B/S Pontius Ave btwn Olympic Blvd and Pico Blvd	No parking 2A-6A Vehicles or 7' high or 22' long; 5 Y/C on N/S
S/S Olympic Blvd btwn Sepulveda Blvd & Bentley Ave	TANS 7A-7P
N/S Olympic Blvd btwn Sepulveda Blvd & Bentley Ave	TANS 3P-7P Mon-Fri
E/S Sepulveda Blvd btwn Pico Blvd & Exposition Blvd	TANSAT
E/S Military Ave btwn Pico Blvd & Ayres Ave	TANSAT
B/S Veteran Ave btwn Pico Blvd & Ayres Ave	
S/S Olympic Blvd btwn Midvale Ave & Westwood Blvd	TANS 7A-7P Mon-Fri
N/S Olympic Blvd btwn Midvale Ave & Westwood Blvd	TANS 3P-7P Mon-Fri
S/S Olympic Blvd btwn Westwood Blvd & Glendon Ave	TANS 7A-7P Mon-Fri
N/S Olympic Blvd btwn Westwood Blvd & Glendon Ave	TANS 3P-7P Mon-Fri
B/S Mississippi Ave btwn Cotner Ave & Sepulveda Blvd	No parking 2A-6A Vehicles or 7' high or 22' long. N/S has 1 Y/C

S/S La Grange Ave btwn Pontius Ave & Sepulveda Blvd	No parking 2A-6A Vehicles or 7' high or 22' long	
S/S La Grange Ave btwn Westwood Blvd & Glendon Ave		
TANS 7A-9A, 4P-7P Mon-Fri 2HR PKG 9A-4P Mon-Sat		
S/S Pico Blvd btwn Westwood Blvd & Veteran Ave		
S/S Pico Blvd btwn Veteran Ave & Military Ave	#PW242-241 - PLO	
S/S Pico Blvd btwn Military Ave & Sepulveda Blvd		
E/S Westwood Blvd btwn Tennessee Ave & Olympic Blvd		
E/S Westwood Blvd btwn Pico Blvd & Tennessee Ave	2 green meters (15 min)	
S/S Pico Blvd btwn Sepulveda Blvd & Sawtelle Blvd		
2HR PKG 8A-6P Mon-Sat		
E/S Midvale Ave btwn Pico Blvd & Alley	Street cleaning 8A-11A Thu	
W/S Westwood Blvd btwn Pico Blvd & Tennessee Ave		
W/S Westwood Blvd btwn Tennessee Ave & Olympic Blvd		
W/S Manning Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Tue Street Cleaning 10A-12P	
E/S Manning Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Mon Street Cleaning 10A-12P	
W/S Prosser Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Mon Street Cleaning 10A-12P	
W/S Patricia Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Tue Street Cleaning 10A-12P	
E/S Patricia Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Mon Street Cleaning 10A-12P	
B/S Cotner Ave btwn Pico Blvd & Tennessee Ave	2 hr pkg, 1 CLZ on S/S	
E/S Bentley Ave btwn Pico Blvd and alley	2 hr pkg, Street Cleaning 8A-11A Fri	
B/S Camden Ave btwn Pico Blvd & alley	2 hr pkg, Street Cleaning 8A-11A Fri	
B/S Kelton Ave btwn Pico Blvd & alley	2 hr pkg, Street Cleaning 8A-11A Fri	
W/S Military Ave btwn Pico Blvd & Ayres Ave	2 hr pkg; Street Cleaning 10A-12P Tue	
B/S Tennessee Ave btwn Westwood Blvd & Midvale Ave	N/S Street Cleaning 8A-11A Thu; S/S is Fri	
B/S Tennessee Ave btwn Westwood Blvd & Glendon Ave	N/S Street Cleaning 8A-11A Thu; S/S is Fri and 1 Y/C	
B/S Tennessee Ave btwn Cotner Ave & Pontius Ave	2 hr pkg	
1HR PKG 8A-6P Mon-Sat		
E/S Sepulveda Blvd btwn Pico Blvd & Tennessee Ave	1 CLZ Y/C	
E/S Sepulveda Blvd btwn Tennessee Ave & Olympic Blvd		
W/S Sepulveda Blvd btwn Pico Blvd & Exposition Blvd		
B/S Tennessee Ave btwn Sepulveda Blvd & Bentley Ave	1 hr pkg; Street Cleaning 8A-11A Fri	
N/S La Grange Ave btwn Pontius Ave & Sepulveda Blvd	1 Y/C	
TANS 7A-10A Mon-Fri 2HR PKG 10A-6P Mon-Sat		
S/S Pico Blvd btwn Overland Ave & Manning Ave		
S/S Pico Blvd btwn Manning Ave & Prosser Ave	1 PLO	
S/S Pico Blvd btwn Prosser Ave & Patricia Ave		
E/S Overland Ave bwn Ayres Ave & Blythe Ave	2 hr pkg	
*E/S Overland Ave btwn Blythe Ave & Cushdon Ave	no signage and IPS has different parking hrs from arcgis. Street cleaning Tue 10A-12P	
E/S Overland Ave btwn Cushdon Ave & Esther Ave	2 hr pkg	
2HR PKG 8A-8P Mon-Sat		
B/S Mississippi Ave btwn Westwood Blvd & Midvale Ave	2hr pkg; S/S Street cleaning Thu 10A-1P and N/S is Fri	
B/S Mississippi Ave btwn Westwood Blvd & Glendon Ave	2hr pkg; S/S Street cleaning Thu 10A-1P and N/S is Fri	
B/S La Grange Ave btwn Westwood Blvd & Midvale Ave	2 hr pkg; S/S Street Cleaning Fri 10A-1P & 1 CLZ ptm sign; N/S Thu	
N/S La Grange Ave btwn Westwood Blvd & Glendon Ave	2hr pkg; N/S Street cleaning Thu 10A-1P	
1HR PKG 8A-8P Mon-Sat		
W/S Westwod Blvd btwn Olympic Blvd & Mississippi Ave		

W/S Westwood Blvd btwn Mississippi Ave & La Grange Ave		
TANS 7A-9A, 4P-7P Mon-Fri 1HR PKG 9A-4P Mon-Fri, 8A-8P Sat		
E/S Westwood Blvd btwn Olympic Blvd & Mississippi Ave	1 hr parking	
E/S Westwood Blvd btwn Mississippi Ave & La Grange Ave	1 hr pkg	
TANS 3P-7P Mon-Fri 1HR PKG 8A-3P Mon-Sat		
N/S Olympic Blvd btwn Pontius Ave & Cotner Ave	1 hr pkg	
4HR PKG 8A-6P Daily		
B/S La Grange Ave btwn Cotner Ave & Pontius Ave	No parking 2A-6A Vehicles or 7' high or 22' long.	
30MIN PKG 8A-6P Mon-Sat		
E/S Cotner Ave btwn Tennessee Ave & Olympic Blvd	1 30-min parking space Mon-Fri; 2 Y/C, No parking 2A-6A Vehicles or 7' high or 22' long.	



PPD No. 21

PPD No. 26

PPD No. 300

LEGEND:

- PPD Boundary
- Lot 707 (2377 Midvale Av.)
- EXPO METRO LINE
- No Parking Any Time Except 2 Hr. Parking 8AM-6PM Mon-Fri; Vehicles with District Permits Exempt
- No Parking Any Time Except 1 Hr. Parking 8AM-6PM Mon-Fri; Vehicles with District Permits Exempt
- 2 Hr. Parking 8AM-6PM; Vehicles with District Permits Exempt
- T.A.N.P. 2AM-6M Vehicles Over 7' High or 22' Long; Except by Permit



PPA81-000380
8/23/23



Andrew Deblock <andrew.deblock@lacity.org>

Parking Assessment Request - Council District 5

5 messages

Zachary Warma <zachary.warma@lacity.org>

Thu, Jun 1, 2023 at 4:52 PM

To: Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fernando:

Thanks so much for taking the time to chat with me this afternoon.

Per our conversation, the Fifth Council District formally requests an assessment from LADOT's parking management and district operations teams of the current parking restrictions, parking districts, or parking zones in place within a half-mile radius of LADOT lot #707 located at [2377 Midvale Avenue](#).

The Councilwoman would deeply appreciate having this information by 6/16, if possible.

Thank you so much to you and the entire LADOT team for your consideration of this request.

Regards,

Zachary Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Fernando Navarrete <fernando.navarrete@lacity.org>

Thu, Jun 1, 2023 at 4:55 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

It was a pleasure hosting your team today!

Thanks for sending this over, I'll work on this and get it over to you asap!

[Quoted text hidden]

--

Fernando Navarrete, MPA

Council Liaison
Government Affairs

Los Angeles Department of Transportation

213.972.5096

PRA01-000301

Fernando Navarrete <fernando.navarrete@lacity.org>

Fri, Jun 9, 2023 at 5:51 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zachary,

Thank you for your patience while we gathered this information for you.

The first attachment of the GIS map is of the PPD restrictions in the area. The second attachment also has a list of the non-residential street parking restrictions.

Let us know if you have any questions or need further information from us.

Enjoy your weekend!

On Thu, Jun 1, 2023 at 4:52 PM Zachary Warma <zachary.warma@lacity.org> wrote:

[Quoted text hidden]

[Quoted text hidden]

2 attachments**Lot 707 PPDs.pdf**
588K**Lot 707 Major Streets Parking Restrictions.pdf**
1219K

Zachary Warma <zachary.warma@lacity.org>

Mon, Jun 12, 2023 at 9:39 AM

To: Fernando Navarrete <fernando.navarrete@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fernando and Makenzi:

Thank you so much for this incredibly valuable information. Please convey our deep appreciation to the DOT team.

Have a great week!

- Zack Warma

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>

Wed, Jun 14, 2023 at 10:56 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Makenzi Rasey <makenzi.rasey@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Our pleasure!

Let us know if you need anything else.

[Quoted text hidden]



Midvale Next Steps - Review Final Q&A/Set Meetings

Created by: Fernando Morales · Your response: ✓ Yes, I'm going

Time

3pm - 3:40pm (Pacific Time - Los Angeles)

Date

Mon Jun 5, 2023

My Notes

Guests

- ✓ Allen Zipper
- ✓ Andrew Deblock
- ✓ Fernando Morales
- ✓ George Hakopiants
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ✓ Gary Gero
- ⊗ Zachary Warma
- Analiz Marmolejo
- Leo Daube



Midvale Team Meeting (In Person - District Office)

Created by: Fernando Morales · Your response: ✓Yes, I'm going

Time

11am - 11:40am (Pacific Time - Los Angeles)

Date

Thu Jun 8, 2023

My Notes

Guests

- ✓ Allen Zipper
- ✓ Andrew Deblock
- ✓ barbaraatl@large@gmail.com
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ George Hakopiants
- ✓ Jarrett Thompson
- ✓ Katy Yaroslavsky
- ✓ Matthew Tenchavez
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ⊗ Zachary Warma
- Leo Daube



Virtual Meeting re: Midvale

Created by: Jenelle Henderson · Your response: ✓ Yes, I'm going

Time

3pm - 3:30pm (Pacific Time - Los Angeles)

Date

Thu Jun 29, 2023

My Notes

Guests

- ✓ Andrew Deblock
- ✓ Fernando Morales
- ✓ Gary Gero
- ✓ George Hakopiants
- ✓ Katy Yaroslavsky
- ✓ Matthew Tenchavez
- ✓ Patricia Macias
- ✓ Vanessa Saldana
- ⊗ Zachary Warma
- Leo Daube



HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL- VOLUME 1

PICO & MIDVALE WLA SITE

Submitted to Council District 5

June 2023

Gary Gero- Chief of Staff
Zachary Warma- Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
Los Angeles, CA 90012

Dear Gary and Zach,

In response to CD-5's RFP for the design concept of 2377 Midvale Ave Interim Housing Project, LifeArk is pleased to submit the following concept proposal for the interim supportive housing for homeless and at-risk population in Los Angeles Council District 5 using the LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction. LifeArk is all-in with mission to help solve the homeless crisis in our community but believe it's time to graduate from a short-term band-aid solutions. Design proposed in this submission utilizes a longer term "permanent interim housing" model which we strongly believe is a win-win solution for the CD-5 providing a much more dignified housing for the residents and a design which is much better visually for the neighborhood.

Please note that this proposal is based on the separate parcels with the diagonal easement through the south parcel. Although this existing site easement limits the number of units, we believe the proposed design uses the site well to provide a first of it's kind, long term interim housing project in Los Angeles area. The LifeArk ensuite interim plans provide each residents with a dignified housing they deserve.

Included in this proposal package is the following 3 documents:

1. Volume 1- PDF report slides focused on concept design of the project geared for your internal design review and for the community engagement programs and virtual townhall.
 - Slides are formatted to be used as a presentation slides. If needed, you can print each slides as a large presentation panels. If necessary, we will be happy to arrange for a professional printing and board mounting.
 - LifeArk team will be available to make any zoom or in-person presentation to the CD5 team and or to the public.
2. Volume 2- PDF budget report for your internal use covering the budget with inclusions and exclusions.
3. Volume 3- PDF report compiled for preliminary submission to the City for review and meeting.
 - Site plan sheet covering the CD-5 project description and key architectural summary for the city team to understand the scope of the project.
 - Preliminary HCD cover sheet with project description and all applicable compliance with code and HCD Factory Built Housing program. This will be an important information for the city team to assess the code compliance issues relating to the project.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,



Charles Wee
CEO – LifeArk SPC

Site Information

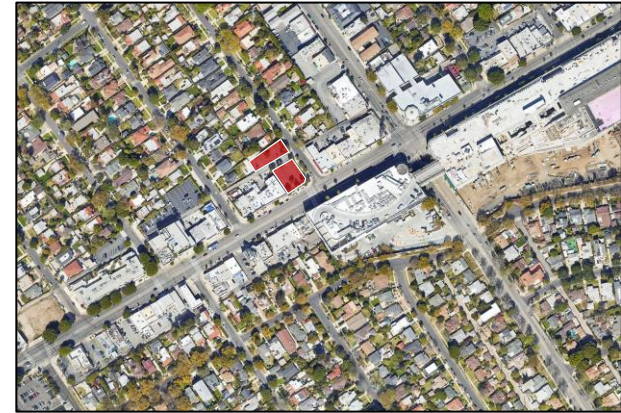
Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Existing City Parking Lot
- Located at the corner of W. Pico and Midvale split by an alley



Illustrative Context Site Plan



Project Context Map



Site

Design Concept

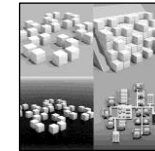
1. Lifeark's smaller 8' x 8' module footprint allows for a much more flexible massing articulation on a tight and difficult site compared to a larger, longer modular units.
2. Articulated sawtooth mirrored massing split by a diagonal easement provides an opportunity to create a dynamic, human-scale green pedestrian promenade connecting the project from North to South.
3. Lifeark modules are elevated at 28" above grade to provide an essential utility chase space, saving substantial sitework costs. At the same time, the elevated ensuite residential units connected by an upper deck provides privacy to the residents with easy access to the public community courtyard at ground level.
4. Lifeark modules are clad with horizontal slats with growing green vines to provide a lush landscaped courtyard and pedestrian promenade.
5. Continuous pedestrian circulation pathway connects staff and handicap parking to the ramp to the ADA ensuite units with the admin/office building to the south community through the green promenade all the way to the entry gate at the Pico Blvd.
6. Covered central courtyard with tables, chairs surrounded by a green walls will provide an eating and gathering space for the residents.
7. Enclosed large pet park is located at the NE corner of the promenade.
8. Storage bins for each residents are located at the SW corner of the site as well as a storage module at the NE corner behind the ADA units for the property manager and the service staff.
9. Four laundry modules (blue) are evenly distributed at each neighborhood for easy access and use.
10. Handicap and staff parking space as well as a trash enclosure are provided with access from the alley.
11. Both parcels are enclosed by a security fence with two entry and exit points. (Design of the fence for the rendering shows an open fence to illustrate the transparency of the spaces inside but more secure vertical fence can be designed.)
12. Each Ensuite unit is provided with a full private bathroom and a closet. All units are equipped with full MEP fixtures and fire sprinklers including a mini-split air conditioning and heating as well as high quality finishes at the level of permanent housing. (See unit specifications)



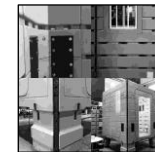
Kit-of-parts



Figure ground showing articulated massing



Massing variations



Modular parts



Utility chase



Site Plan



Courtyard



Green Promenade



View from Alley



Pico Entrance



Dog Park

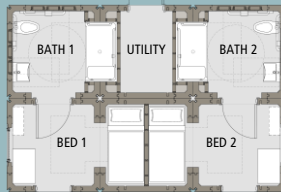


Bird's Eye View

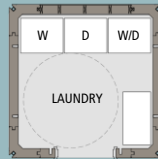
Module Plan



Ensuite Unit (134 SF)
2 modules



ADA Ensuite Unit
(200 SF) 3 modules
(Illustration shows double unit)



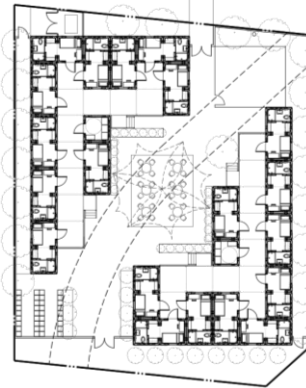
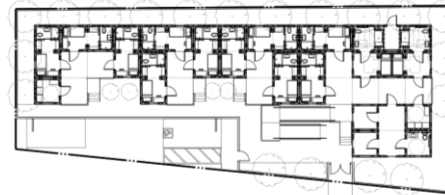
Laundry Unit (67SF)
1 module



Admin/ Office (400 SF)
6 modules

Lifemark Module Plan Concept

1. Lifemark models used in the Hope Pavilion project has been approved by HCD under a Factory Built Housing program as a permanent housing.
2. For the Hope Pavilion project, Lifemark will submit the entire project as a single R2 congregant housing project.
3. Lifemark will work with the city for other necessary permits required.
4. Each of the model plans shown above will be completely built-out with finishes and fixtures to a permanent housing specifications including a fire sprinkler system.
5. Modules will be manufactured, factory assembled under HCD program then transported to the site for final assembly and completion.
6. Lifemark has a documented lifespan of over 50 years and an appraised lifespan of 35 years by the bank.
7. Each ensuite unit is equipped with full MEP fit-out including split system A/C-heating and a fire sprinkler system.
8. Each unit interior is finished with high quality material and fixtures.



* Optional solar panel can be installed



Lifemark Single Module



Ensuite Unit Interior



Ensuite Unit Exterior Example

Site Plan



Bird's Eye View

Project Summary

Site Area				Acre		SF	
				0.38		16,340	
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF
Ensuite Unit	2	62	134	31	1	31	4,154
Ensuite ADA Unit	3	6	200	2	1	2	400
Deck				32			
Laundry	1	3	67	3			201
Admin/ Office	6	6	400	1			400
Total		77				33	5,155



PRA01-000312
8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK









Central Courtyard
PRA01-000316
8/23/23
HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Green-Wall Community Space

PR-01-000317

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Dog Park

PRA01-000318

8/23/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye Context View



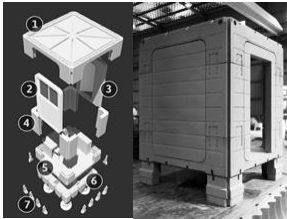
View of Hope Pavilion from the Alley

View of Hope Pavilion Entry from Pico Blvd



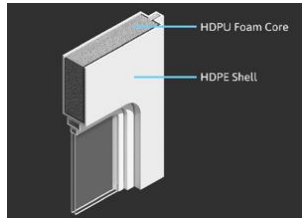
PRA01-000319
8/23/23

WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 28" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse



NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows LifeArk to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills



NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolders around the world
- Most common plastic processing process but never been used in the housing construction industry



FACTORY ASSEMBLY & TRANSPORT

- Certified under CA HCD (Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site



SITE ASSEMBLY

- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

LifeArk Community Making By Design



From a single shelter module to community cluster, LifeArk can grow to become a larger village with communal spaces for all

LifeArk Emergency Shelter Deployment Process



Rotomolding



Transport



Stockpile



Factory Assembly



Site Deployment



Site Assembly



Completion

LifeArk's Essential Cost and Time Saving System



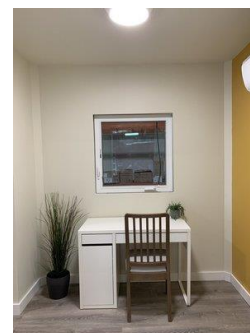
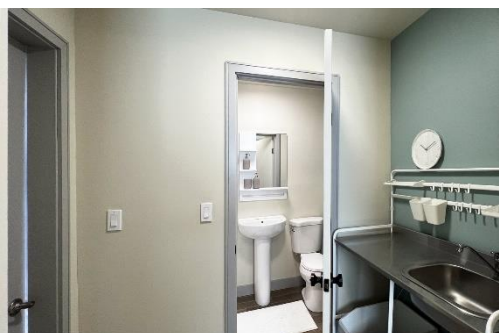
Simple foundation system that can be anchored to any surface including compacted soil, asphalt, or concrete



High under module chase space allows for all utilities to run under the crawl space and omit any expensive trenching



Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections



* Lifeark project photos for illustration only. Not for this project.

LA County Housing Innovation Challenge award-winning project

- 19-unit permanent supportive housing in El Monte, CA utilizing project-based vouchers
- 18 units for previously homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



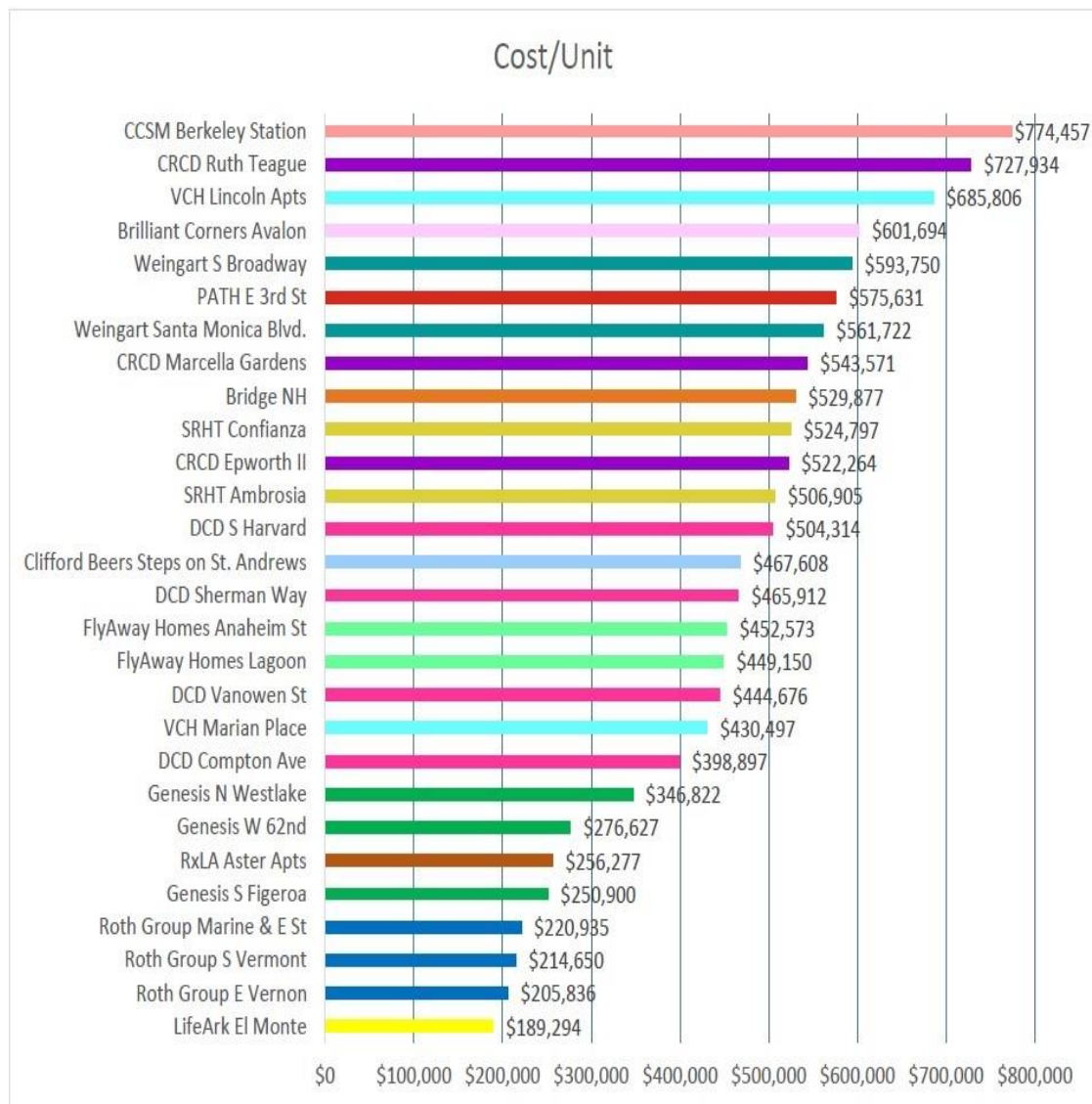
Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 **permanent supportive housing** projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit





HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL VOLUME 2- BUDGET
PICO & MIDVALE WLA SITE

Submitted to Council District 5
June 2023

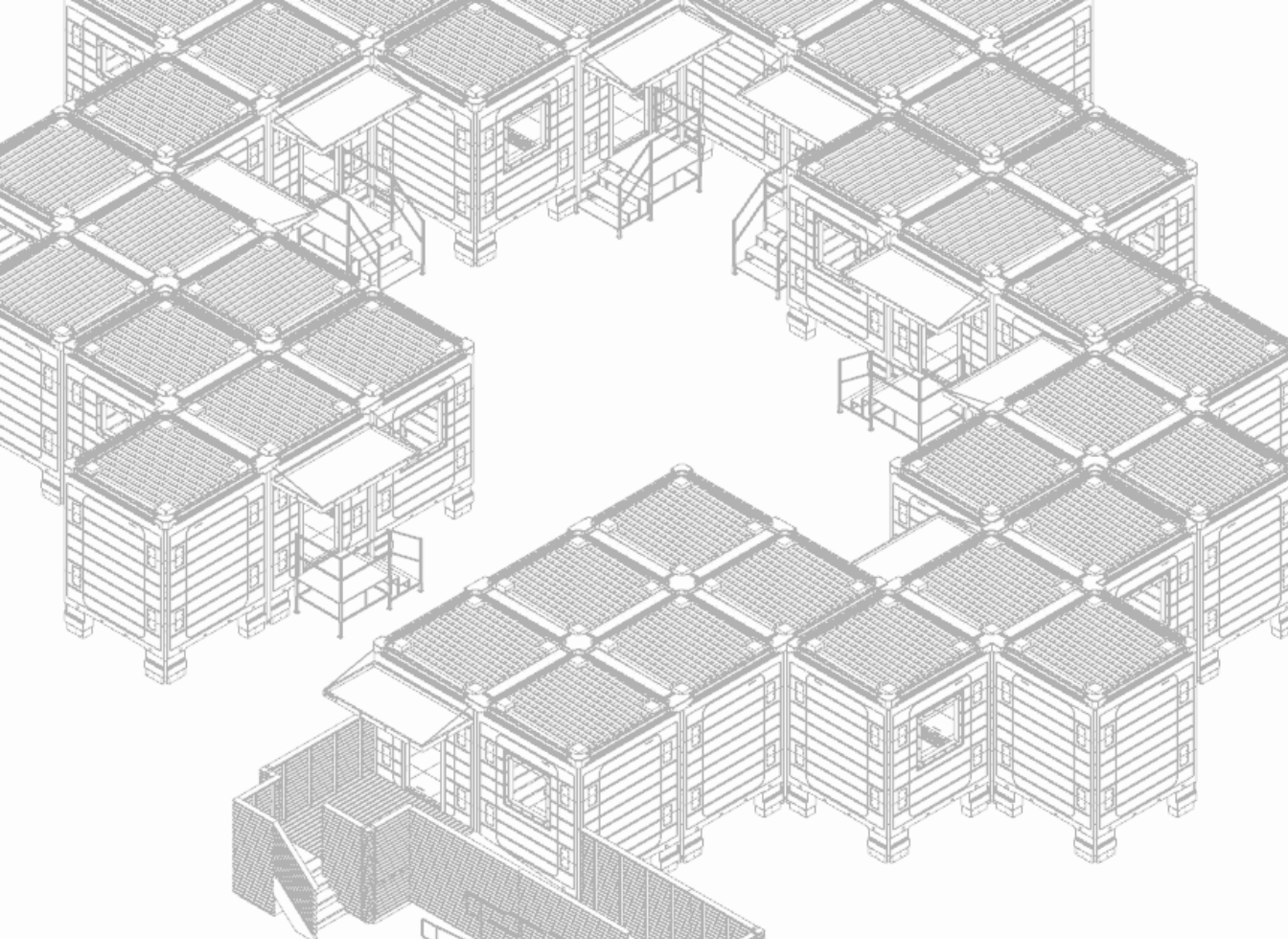
Lifemark Model	SF/ Unit	Units	Total SF	Cost/ Unit	Total
Ensuite Unit	134	31	4,154	\$ 47,000	\$ 1,457,000
ADA Ensuite Unit	200	2	400	\$ 62,000	\$ 124,000
Deck	0	33	0	\$ 4,000	\$ 132,000
Laundry Unit	67	4	200	\$ 25,000	\$ 100,000
Admin/ Office Unit	400	1	400	\$ 150,000	\$ 150,000
Total		33	5,155		* \$ 1,963,000
Cost Per Bed		\$59,485			

*** All-In Lifemark Costs including:**

1. Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)
2. Fully fitted out admin/office unit.
3. Laundry unit ready to hook up to a washer and a dryer.
4. Decks and railings (stair and ramps not included)
5. Off-The-Shelf (OTS) modular units are 90% completed when they arrive to the site. Units come with the insides finished with paint, flooring, MEP finishes, doors, and hardware. The last 10% includes connecting the units, anchoring to foundation, utilities hookup to mods & main site, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.
6. Units include mechanical HVAC mini-splits.
7. Module staging and on and off loading at the site is included.
8. Module assembly on-site and final testing.
9. A/E for all Lifemark HCD models.
10. HCD certification, permit and inspection fees

Exclusions:

1. Site work including grading, paving, gates and fences. We expect site costs to be minimized since utility connections from each unit will run above ground in the crawl space.
2. Landscaping, hardscaping, irrigation and common area amenities.
3. Stairs and ramps
4. Any demolition, repairs and/or improvements to the existing structures.
5. All city utilities including sewer, power, gas and storm drain work.
6. All trenching and repairs to the sidewalks.
7. Utility connections on site to module stub down points of connections
8. Final testing of all systems
9. Cost of land, construction financing, taxes, city fees.
10. All Permit costs including any costs for Street use, SFFD, excludes SMP and SWPPP plans.
11. A/E for the city related work.
12. The costs of testing and inspection including costs for trade permits and inspection.
13. Utility Fees, Account Setup, Power Poles, Transformers, Conductors, Etc. By Owner.
14. The handling and removal of any hazardous material is excluded.
15. The removal of any underground obstacles not shown is excluded.
16. All main power connection costs to connect to the switchgear are excluded (Paid by Owner).
17. Low Voltage Tele/Data, WiFi.
18. All Owner provided FF&E.
19. Costs for storing, double-handling or trucking owner supplied materials.
20. Appliances and furniture/
21. Central fire alarm system, PV system, emergency generator, site lighting.
22. Fire truck access.
23. Fire hydrants or other fire department improvements.
24. Owner's GL Property Insurance



LifeArk™

HOUSING REIMAGINED

www.lifeark.net

PRA01-000328

8/23/23

CONNECT SHELTER PRELIMINARY PRICING ESTIMATE

DATE:

6/02/2023

LOCATION: LOS ANGELES, CA

CONFIGURATION: [SCHEME A](#)

CONNECT
HOMES 

Models	Size	SF	Modules	Beds	Baths/RR	
CS2-B-ADA	10'-3" x 40'-3"	413	2	4	4	
CS3-A	9'-1" x 40'-2"	365	2	6	6	
CS3-B	9'-1" x 40'-2"	365	3	9	9	
CB - COMMUNITY SPACE	20'-1 x 40'-4"	810	1			
CS4 - OFF & CONFERENCE	8'-1" x 40'-4"	326	1		1	(Public Accessible RR)
CS2-A Short	9'-0" x 28'-6"	257	3	6	6	
CS2-B Short	9'-0" x 28'-6"	257	3	6	6	
SHELL + 3 LAUNDRY W/D	9'-0" x 28'-6"	257	1			
SHELL ONLY (STORAGE)	9'-0" x 28'-6"	257	1			
			17	31	32	Total Units

DESIGN	Item	Notes	Subtotals	Total
	DESIGN FEE	Coordination with AOR on layout, code compliance MEP, Fire sprinkler, Title 24, Structural Engineering consultants (shelter models only) State Approvals for all shelter model types Design development for all shelter model types Custom fabrication drawings for all shelter model types Up to 10 hours of meetings	\$ 210,000	\$ 210,000
	REIMBURSABLES	Travel expenses, copies of drawings, postage, other expenses	tbd	

PRODUCTION	Models	Module Cost	Module Quantity	Unit Cost	Unit Quantity	Subtotals	Total
	CS2-B-ADA	\$ 160,700	2	\$ 80,350	4	\$ 321,400	
	CS3-A	\$ 155,200	2	\$ 51,733	6	\$ 310,400	
	CS3-B	\$ 155,200	3	\$ 51,733	9	\$ 465,600	
	CB - COMMUNITY SPACE	\$ 274,600	1			\$ 274,600	
	CS4 - OFF & CONFERENCE	\$ 118,000	1			\$ 118,000	
	CS2-A Short	\$ 107,500	3	\$ 53,750	6	\$ 322,500	
	CS2-B Short	\$ 107,500	3	\$ 53,750	6	\$ 322,500	
	SHELL + 3 LAUNDRY W/D	\$ 93,200	1			\$ 93,200	
	SHELL ONLY (STORAGE)	\$ 82,600	1			\$ 82,600	
	FIT-OUT/OPTIONAL UPGRADES						
	Fire sprinklers (R2 occupancy) - allowance	\$ 4,500	17			\$ 76,500	

DELIVERY/SETTING/INSTALLATION	Item	Per Unit	Quantity	Subtotals	Total
	TRUCKING	\$ 2,500	18	\$ 45,000	\$ 45,000 <1>
	SETTING EQUIPMENT				
	Crane set	tbd			
	SETTING				
	Shelters (set on foundation, rack, level, bolt & weld)	tbd			
	INSTALLATION				
	Shelters (seaming, cross over connections)	tbd			
	MEP connections (to site, between stories)	tbd			
	Additional structures	By Others/ NIC			

Sales Tax on Production costs	\$ 75,826
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ESTIMATED PRELIMINARY PRICE	\$ 2,718,126
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PRE-DELIVERY ON-SITE WORK	Item	Total
	Preparation of site for the installation of Shelters is not included and shall be performed by a local contractor	NIC <3>
	Foundations	NIC
	Utility hook ups	NIC
	Ramps	NIC
	Stairs	NIC

NOTES ON PRICING

- <1> Production costs are subject to change up until the Purchase Order is signed, at which time these costs are fixed for the Project
 <2> Installation costs will be included in the Purchase Order as actual costs plus a 15% fixed fee and are provided as an estimate only
 <3> Every site is different and will have varying levels of preparation required for the installation of the Shelter units. This estimate will fluctuate depending on site specific conditions and local labor rates

PRA01-000329
8/23/23

CONNECT SHELTER PRELIMINARY PRICING ESTIMATE

DATE: 6/2/2023

LOCATION: LOS ANGELES, CA
CONFIGURATION: [SCHEME E](#)



Models	Size	SF	Modules	Beds	Baths/RR	
CS2-B-ADA	10'-3" x 40'-3"	413	2	4	4	
CS3-A	9'-1" x 40'-2"	365	2	6	6	
CS3-B	9'-1" x 40'-2"	365	1	3	3	
COMMUNITY SPACE	20'-1 x 40'-4"	810	1			
CS1 - LAUNDRY	10'-3" x 40'-3"	413	1			
CS4 - OFF & CONFERENCE	8'-1" x 40'-4"	326	1		1	(Public Accessible RR)
CS2-A Short	9' x 28'-6"	257	4	8	8	
CS2-B Short	9' x 28'-6"	257	5	10	10	
SHELL ONLY (STORAGE)	9' x 28'-6"	258	1			
			18	31	32	Total Units

Item	Notes	Subtotals	Total
DESIGN FEE	Coordination with AOR on layout, code compliance MEP, Fire sprinkler, Title 24, Structural Engineering consultants (shelter models only) State Approvals for all shelter model types Design development for all shelter model types Custom fabrication drawings for all shelter model types Up to 10 hours of meetings	\$ 225,000	\$ 225,000
REIMBURSABLES	Travel expenses, copies of drawings, postage, other expenses	tbd	

Models	Module Cost	Module Quantity	Unit Cost	Unit Quantity	Subtotals	Total
CS2-B-ADA	\$ 160,700	2	\$ 80,350	4	\$ 321,400	
CS3-A	\$ 155,200	2	\$ 51,733	6	\$ 310,400	
CS3-B	\$ 155,200	1	\$ 51,733	3	\$ 155,200	
COMMUNITY SPACE	\$ 274,600	1			\$ 274,600	
CS1 - LAUNDRY	\$ 146,400	1			\$ 146,400	
CS4 - OFF & CONFERENCE	\$ 118,000	1			\$ 118,000	
CS2-A Short	\$ 107,500	4	\$ 53,750	8	\$ 430,000	
CS2-B Short	\$ 107,500	5	\$ 53,750	10	\$ 537,500	
SHELL ONLY (STORAGE)	\$ 82,600	1			\$ 82,600	
FIT-OUT/OPTIONAL UPGRADES						
Fire sprinklers (R2 occupancy) - allowance	\$ 4,500	18			\$ 81,000	

Item	Per Unit	Quantity	Subtotals	Total
TRUCKING	\$ 2,500	19	\$ 47,500	\$ 47,500
SETTING EQUIPMENT				
Crane set	tbd			
SETTING				
Shelters (set on foundation, rack, level, bolt & weld)	tbd			
INSTALLATION				
Shelters (seaming, cross over connections)	tbd			
MEP connections (to site, between stories)	tbd			
Additional structures	By Others/ NIC			

Sales Tax on Production costs \$ 77,791

ESTIMATED PRELIMINARY PRICE \$ 2,807,391

Item	Total
PRE-DELIVERY ON-SITE WORK	NIC
Preparation of site for the installation of Shelters is not included and shall be performed by a local contractor	
Foundations	NIC
Utility hook ups	NIC
Ramps	NIC
Stairs	NIC

NOTES ON PRICING
<1> Production costs are subject to change up until the Purchase Order is signed, at which time these costs are fixed for the Project
<2> Installation costs will be included in the Purchase Order as actual costs plus a 15% fixed fee and are provided as an estimate only
<3> Every site is different and will have varying levels of preparation required for the installation of the Shelter units. This estimate will fluctuate depending on site specific conditions and local labor rates



Andrew Deblock <andrew.deblock@lacity.org>

Potential CD5 Interim Housing project - status, proposed next steps

3 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, Jun 5, 2023 at 12:33 PM

To: Mercedes Marquez <mercedes.marquez@lacity.org>, Jenna Hornstock <jenna.hornstock@lacity.org>, Azeen Khanmalek <azeen.khanmalek@lacity.org>

Cc: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Leo Daube <leo.daube@lacity.org>, Michelle Tiliano <michelle.tiliano@lacity.org>

Mercedes, Jenna, and Azeen:

I hope this message finds you all well.

On behalf of Councilwoman Yaroslavsky, I am reaching out to update you on our office's efforts to deliver a best-in-class interim housing facility to the 5th Council District.

As has been previously discussed, our office has targeted repurposing the LADOT parking lot #707 located at [2377 Midvale Avenue](#) ([map](#)) for interim housing. Having engaged a half dozen different vendors, the Councilwoman requested additional renderings and layouts from two modular vendors - LifeArk, and Connect Homes, which proposed projects of 33 and 31 units, respectively. You can find the two proposals attached herein (and the Connect package linked below).

 [Connect Midvale Shelter Package_20230602.pdf](#)

After meetings are held between the City Family (CAO, BOE, LADBS, LAFD) and the vendors next week, the current proposed plan is to host a few weeks of community input and engagement, consisting of a website, virtual town hall, and an in person forum, before a final vendor is selected. We are also targeting a vote from the Transportation Commission during their July 13th meeting.

Prior to any public announcement, however, it's our hope to more substantively engage your team on the exacts of this effort and to explore any avenue for potential partnership. I will also note that the Councilwoman is planning to call the Mayor, so that she is aware of the work underway.

Thank you all so much!

- Zachary Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

3 attachments



CD5-Hope Pavilion Proposal - LifeArk.pdf
6852K



Connect Midvale Shelters Budget_SchemeE_ 20230602.pdf
473K



Connect Midvale Shelters Budget_SchemeA_ 20230602.pdf
529K

PRA01-000331

Mercedes Marquez <mercedes.marquez@lacity.org>

Mon, Jun 5, 2023 at 12:44 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Jenna Hornstock <jenna.hornstock@lacity.org>, Azeen Khanmalek <azeen.khanmalek@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Leo Daube <leo.daube@lacity.org>, Michelle Tiliano <michelle.tiliano@lacity.org>, Solomon Rivera <solomon.rivera@lacity.org>

Good Afternoon:

Thanks for the update. This promising project lies within Jenna's portfolio and I know that she will reach out to you.
Jenna, please keep Leigh Hoffman-Kipp in the loop.

Thanks very much

Mercedes

[Quoted text hidden]

--

**Mercedes Márquez**

Chief of Housing and Homelessness Solutions

Office of Mayor Karen Bass

[Sign up for updates from the Mayor here](#)**Jenna Hornstock** <jenna.hornstock@lacity.org>

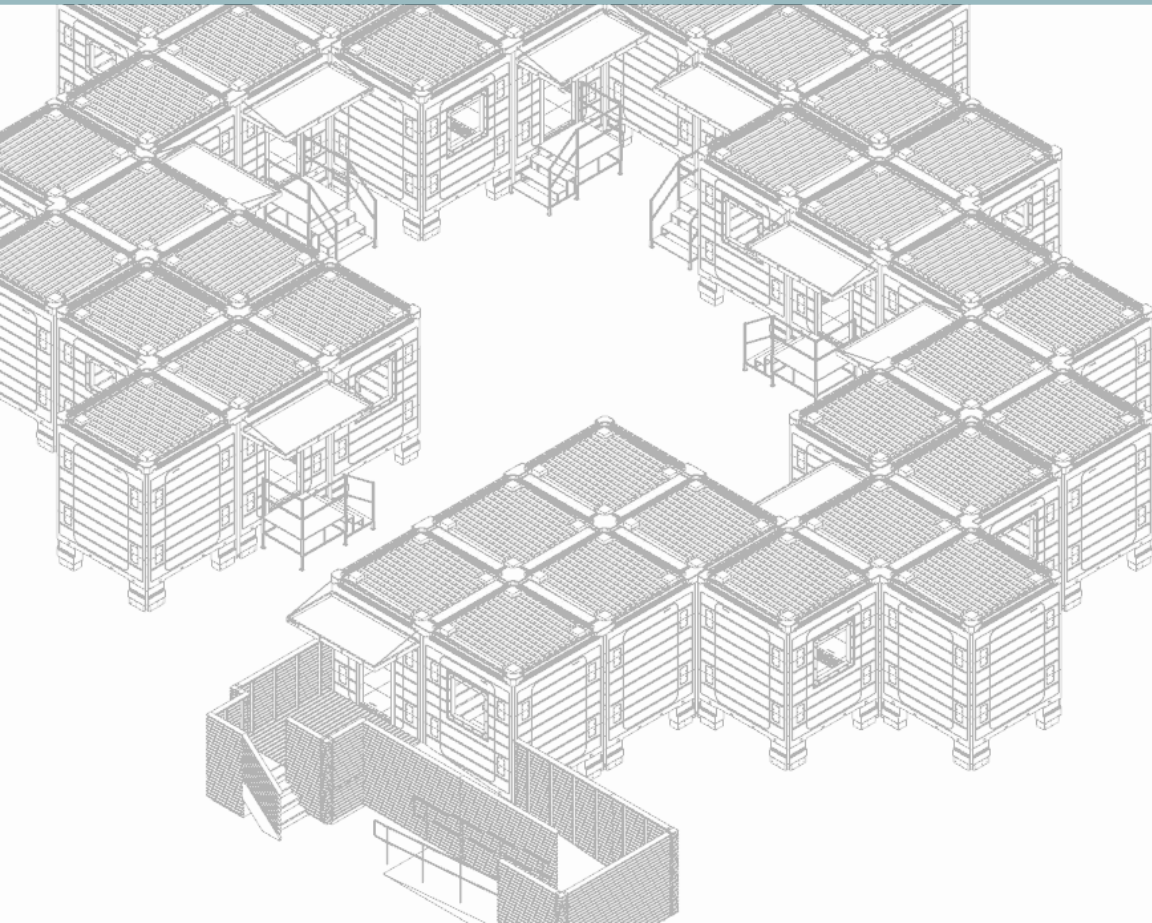
Mon, Jun 5, 2023 at 9:09 PM

To: Mercedes Marquez <mercedes.marquez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Azeen Khanmalek <azeen.khanmalek@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Gary Gero <gary.gero@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Leo Daube <leo.daube@lacity.org>, Michelle Tiliano <michelle.tiliano@lacity.org>, Solomon Rivera <solomon.rivera@lacity.org>

Will do - we are aware of this proposed use and have talked about it with respect to the State emergency sleeping cabins as well, in case those come to fruition earlier. But either way, we are supportive.

[Quoted text hidden]



INTERIM HOUSING DEVELOPMENT PROPOSAL

Submitted to Council District 5

Mar 2023

LifeArk Interim Supportive Housing for CD-5

LifeArk is pleased to submit this preliminary proposal for permanent supportive housing for homeless and at-risk population in Los Angeles Council District 5 using our innovative LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction.

Presented in this proposal for both 2377 Midvale and 9415 Venice are layouts using LifeArk ensuite studio units. For this size site and project, LifeArk is able to provide complete factory assembled units that can be placed on site foundation and fully completed within 6 months all-in. In addition, from LifeArk's other project experiences similar to Midvale and Venice, substantial sitework cost savings result due to all unit utilities running in the crawl space with only a single point-of-connection requiring no underground utilities and trenching and minimal sit work.

LifeArk is the first fully certified structural load bearing plastic building product on the market. It is tested and approved for safety and quality as a new building material through IAPMO-UES, a national codes and standards approval agency, and compliant with 2022 international and California building and residential codes. LifeArk is certified by the California department of housing and community development (HCD) factory-built housing and commercial modular program.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer term housing needs of homeless and at-risk population in your district.

Thank you,
Charles Wee


CEO, LifeArk, LLC



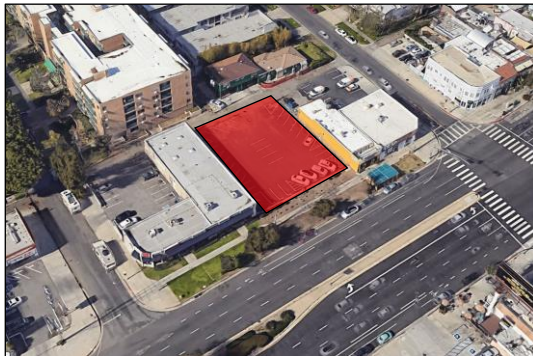
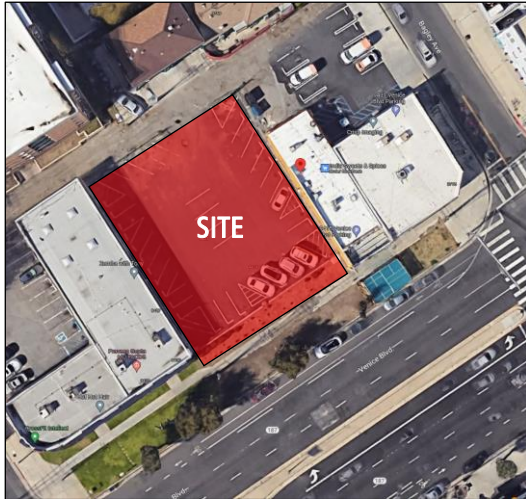
Proposed Interim Housing Sites for Council District 5

Site 1

Address: 9415 Venice Blvd., Culver City, CA 90232

Site Area: 12,500 SF

- Located along Venice Blvd between Bagley and Cardiff Ave in Culver City CA.



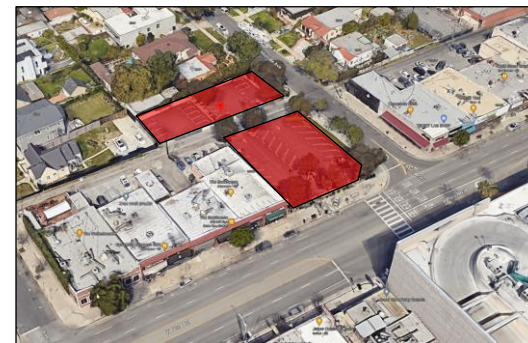
Aerial view from SW

Site 2

Address: 2377 Midvale Ave LA CA 90064

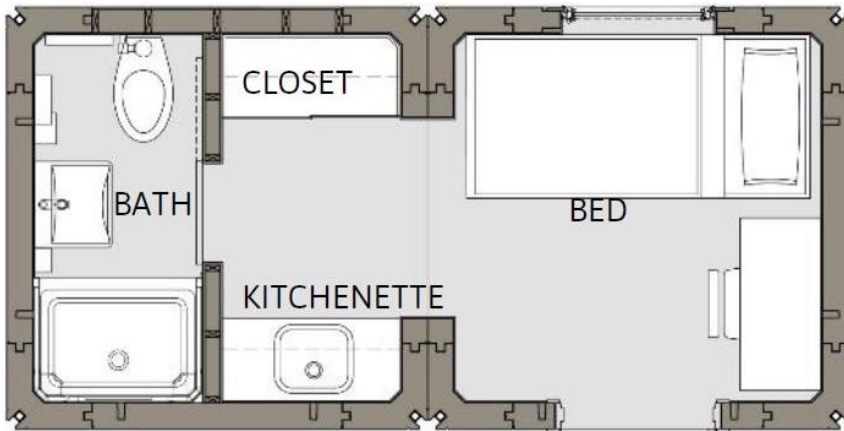
Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Parking lot located at the corner of W. Pico and Midvale split by an alley



Aerial view from SW

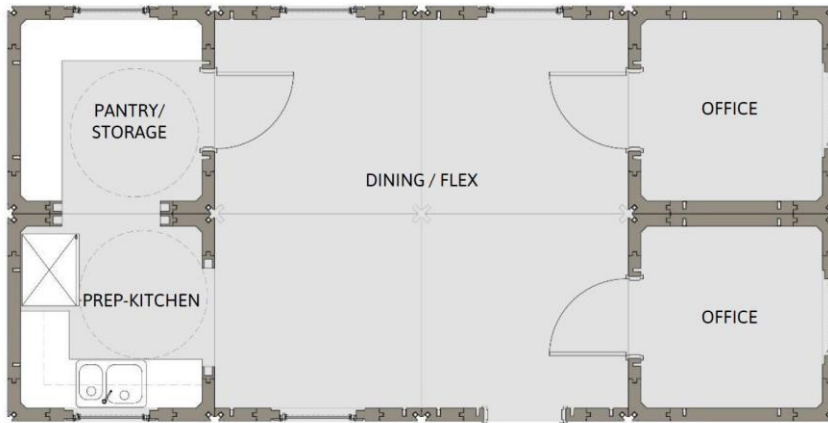
Unit Plan



130 SF Ensuite Unit



Ensuite Unit Interior

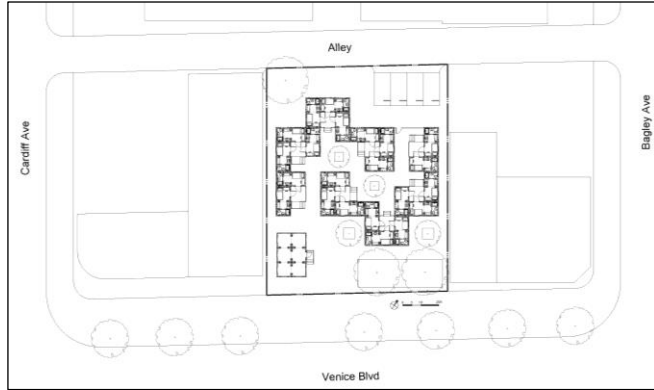


400 SF Admin/ Flex Unit



Ensuite Unit Exterior Example

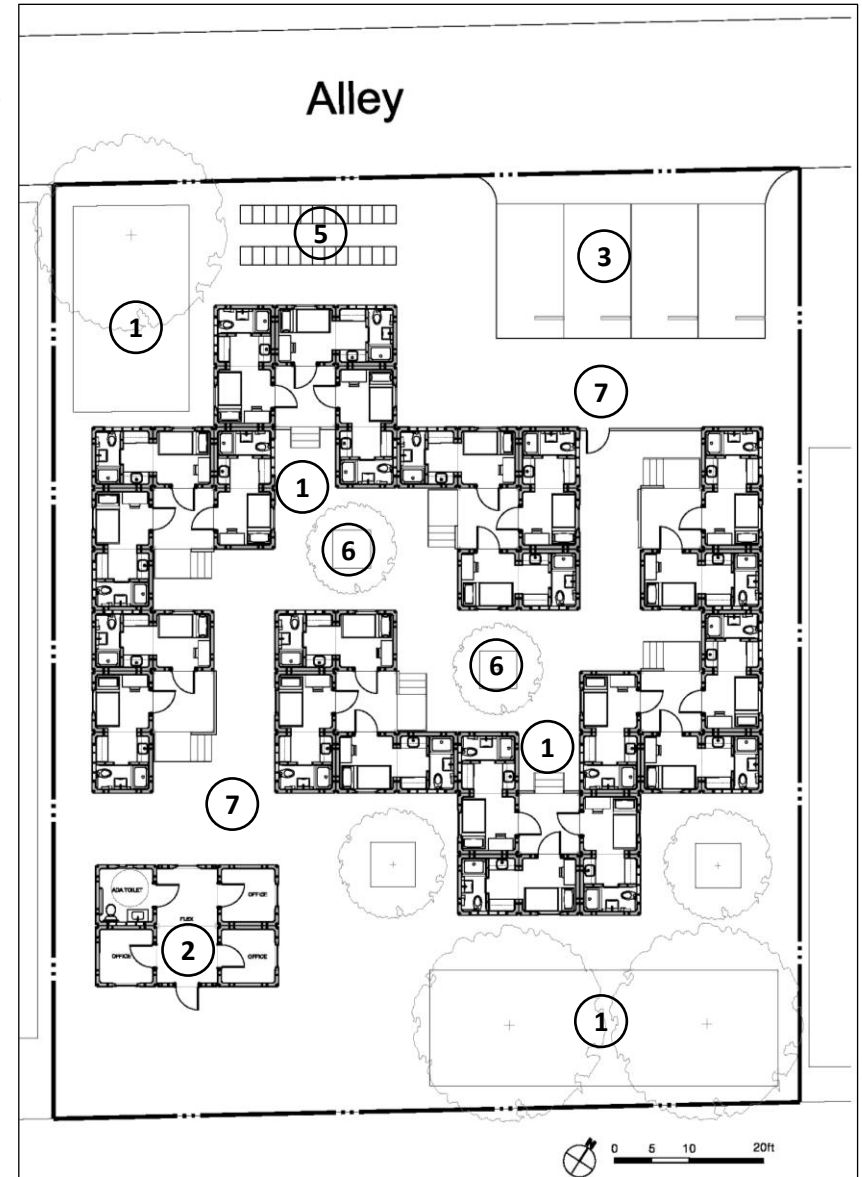
9415 Venice Site Plan



1. 2x1 Ensuite Clusters
2. Admin/Flex
3. Parking
4. Pet Area
5. Storage Bins
6. Courtyard
7. Entry



	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	22	2,860
Admin/Flex	3x2	400	1	400
Beds			22	3,260

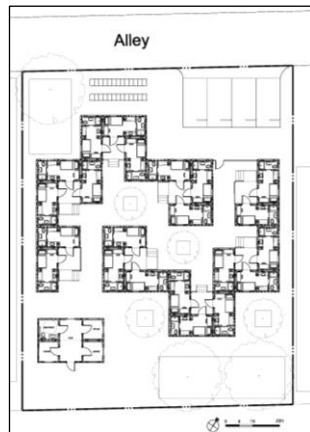


9415 Venice Budget Costing

9415 Venice Budget Costing

Costing as of 3/24/2023

Site Area		Acre		SF		Costing as of 3/24/2023								
		0.29		12,500										
		Mods		Area		All Lifeark								
Housing Type		Mods	Total	SF/Unit		# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
2x1 Ensuite Unit		2	44	200		22	1	22	4,400	\$ 48,000	\$ 1,056,000	\$ -	\$ -	\$1,056,000
1x1 Deck		0	0	-		0	0	0	-	\$ 3,000	\$ -	\$ -	\$ -	\$0
3x2 flex		6	6	1,334		1	0	0	1,334	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total			50			23		22	5,734		\$ 1,227,000		\$ -	\$1,227,000
Unit Cost		\$24,540						\$55,773	\$ 214					
Unit Cost Inc Options		\$24,540						\$55,773	\$ 214					



	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	22	2,860
Admin/Flex	3x2	400	1	400
Beds			22	3,260

Exclusions

- 1 Land
- 2 Sitework
- 3 Soft Costs
- 4 Prevailing wage site work
- 5 ADA Provisions

Options

- 1 Radiant Heating & Cooling
- 2 Off-Grid System
- 3 FF&E

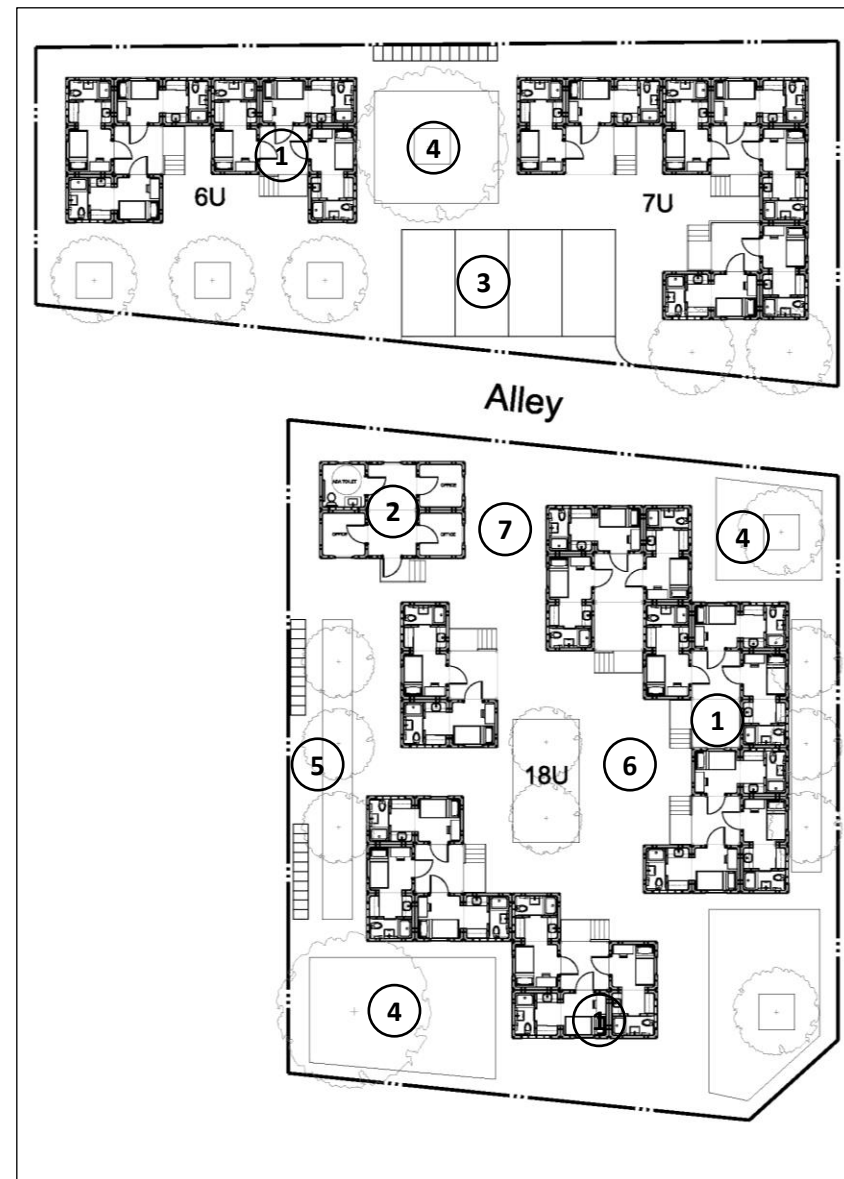
2377 Midvale Site Plan



1. 2x1 Ensuite Clusters
2. Admin/Flex
3. Parking
4. Pet Area
5. Storage Bins
6. Courtyard
7. Entry



	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	31	2,860
Admin/Flex	3x2	400	1	400
Beds			31	3,260



2377 Midvale Budget Costing

2377 Midvale- Budget Costing

Site Area		Acre		SF		Costing as of 3/24/2023							
		0.38		16,340									
	Mods		Area		All Lifemark								
Housing Type	Mods	Total	SF/Unit		# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
2x1 Ensuite Unit	2	62	200		31	1	31	6,200	\$ 48,000	\$ 1,488,000	\$ -	\$ -	\$1,488,000
1x1 Deck	0	0	-		12	0	0	-	\$ 3,000	\$ 36,000	\$ -	\$ -	\$36,000
3x2 Flex	1	1	1,334		1	0	0	1,334	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		63					31	7,534		\$ 1,695,000		\$ -	\$1,695,000
Unit Cost	\$26,905						\$54,677	\$ 225					
Unit Cost Inc Options	\$26,905						\$54,677	\$ 225					



	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	31	2,860
Admin/Flex	3x2	400	1	400
Beds			31	3,260

Exclusions

- 1 Land
- 2 Sitework
- 3 Soft Costs
- 4 Prevailing wage site work
- 5 ADA Provisions

Options

- 1 Radiant Heating & Cooling
- 2 Off-Grid System
- 3 FF&E

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



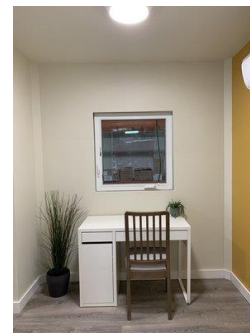
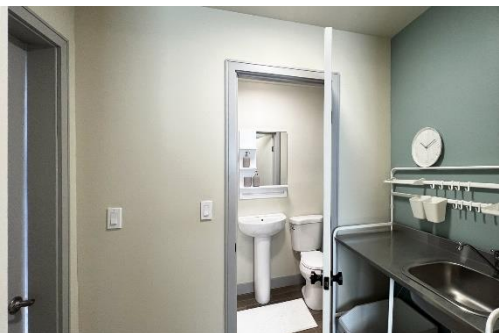
* Renderings are from LifeArk's other projects. For illustrating architectural character only

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Lifeark Modulares

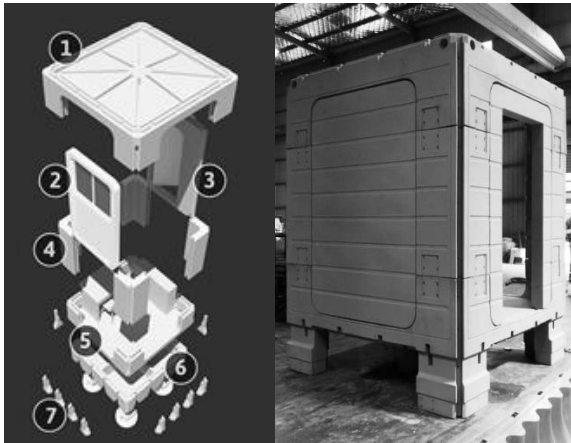
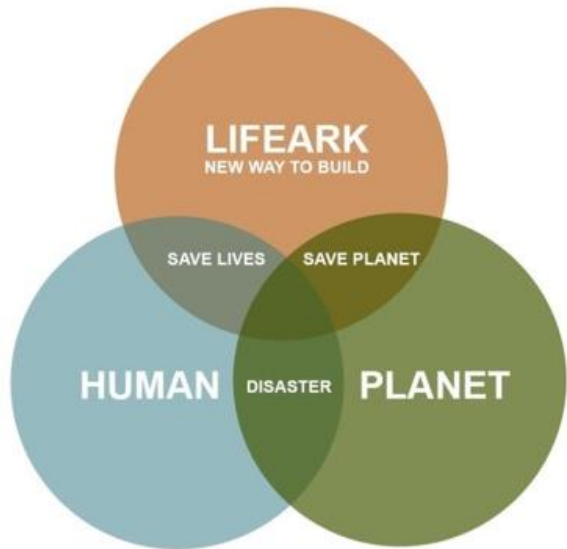


* Lifeark project photos for illustration only. Not for this project.

Lifeark Tyler El Monte PSH Project



* Lifeark project photos for illustration only. Not for this project.



INNOVATING HOUSING TECHNOLOGY THAT SAVES LIVES AND THE PLANET

- LifeArk SPC was established as a California Social Purpose Corporation (SPC) with a mission to create safe, sustainable and affordable homes and shelter
- LifeArk modular system is designed to save the lives of people experiencing displacement or substandard shelter as a result of human or climate disasters
 - Shelter/interim housing for the homeless
 - Emergency relief housing
- Efficiently mass-produced, but incredibly customizable and scalable due to its kit-of-parts system
- Able to be withstand extreme disasters, such as earthquakes and flooding
- Pioneering use of plastic as load-bearing material in building housing – using plastic as a long-lived, durable product that can be used over decades rather than as a single-use disposable material that pollutes our environment
- Can use recycled plastic as raw material and gives off no harmful fumes into the environment

LifeArk Community Making By Design



From a single shelter module to community cluster then can be grown to become a larger village with communal spaces for everyone

LifeArk Emergency Shelter Deployment Process



Rotomolding

Transport

Stockpile

Factory Assembly

Site Deployment

Site Assembly

Completion

LifeArk's Essential Cost and Time Saving System



Simple foundation system which can be anchored to any surface including compacted soil, asphalt or concrete

High under module chase space allows for all utilities to run under the crawl space to omit any expensive trenching

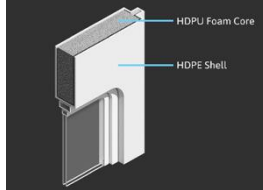
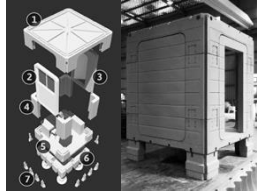
Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections

LA County Housing Innovation Challenge award-winning project

- 18 units for homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 22" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse

NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows lifeark to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% of post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills

NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolder around the world
- Most common plastic processing process but never been used in the housing construction industry

FACTORY ASSEMBLY & TRANSPORT

- Certified under ca HCD (CA Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of the building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site

SITE ASSEMBLY

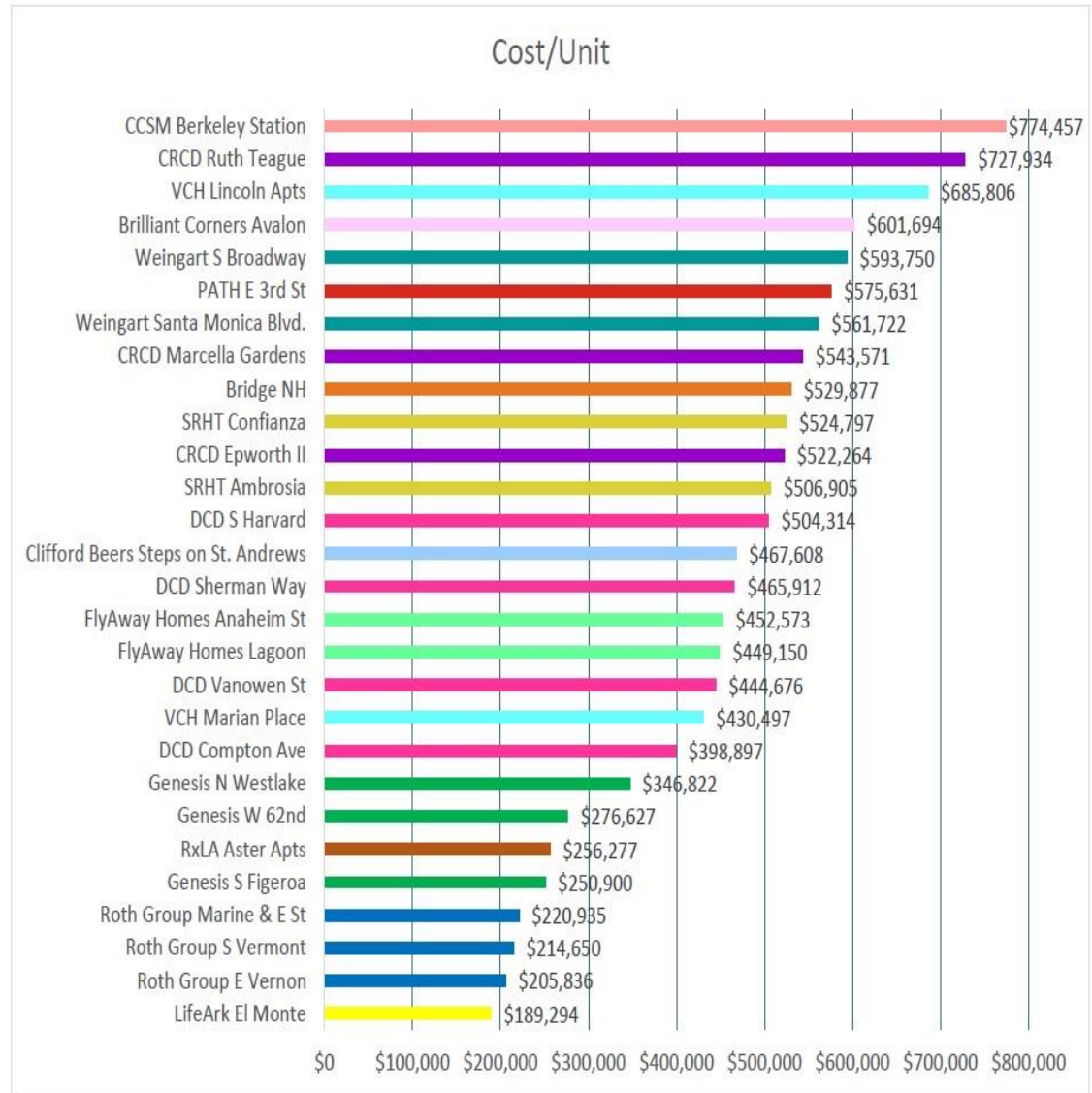
- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

PROOF OF CONCEPT PROJECT

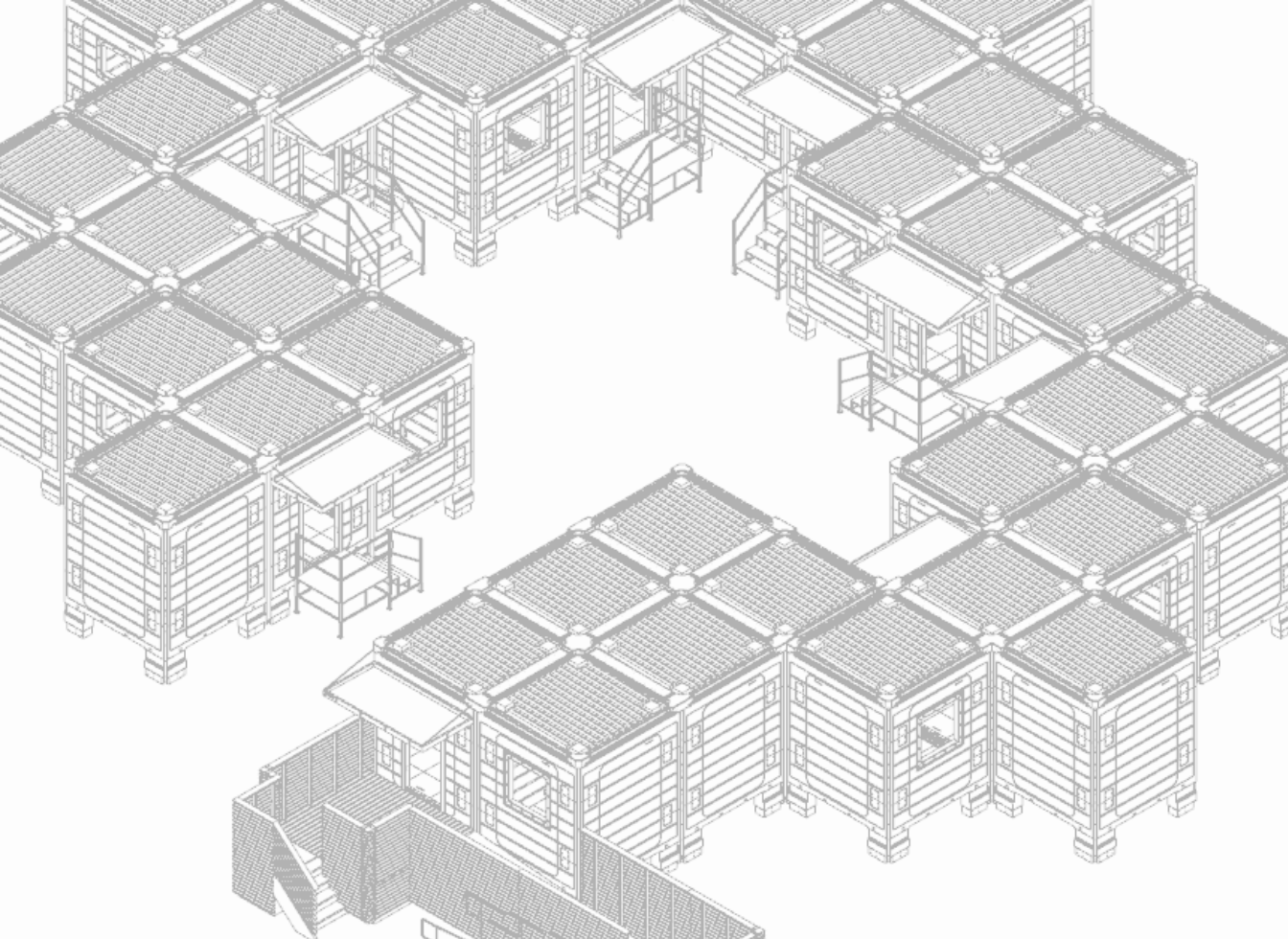
- LifeArk Tyler in the City of El Monte is LifeArk's first pilot project providing permanent supportive housing and ongoing intensive case management (ICMS) services to for 18 individuals previously experiencing homeless.
- LifeArk was a winner of the Los Angeles County Homeless Initiative's Housing Innovation Challenge
- HCD models approved by the Housing and Community Development (HCD)'s Factory-Built Housing Program
- Construction was completed in early 2022 and the very first resident moved in April 2022
- Total all-in unit cost \$190,000 per unit

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 permanent supportive housing projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit



N=28



LifeArk™

HOUSING REIMAGINED

www.lifeark.net

PRA01-000351

8/23/23

From: Mia Jackson <mia.jackson@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Fernando Morales <fernando.morales@lacity.org>
Date: Mon Jul 10 2023 11:51:54 GMT-0700 (PDT)
Subject: Public Appearance Request

Good morning CD 5 Team

It was great meeting with you all and learning so much about your district. I am attaching a copy of the Scheduling Request form for the Mayor. These are pitched on Tuesday mornings. If you can, please send an email to hector.diazmartinez@lacity.org, with the tentative date, a little background on the event and why this is such a great opportunity for the mayor to support the project, he can pitch it tomorrow. Once the date is confirmed as available, he will ask for a completed form.

--



Mia Jackson
Sr. Director, Interim Housing Solutions
(213) 271-7009
Office of Mayor Karen Bass
[Sign up for updates from the Mayor here](#)

Attachments:

- Copy of 2023 SR Form.docx
-

From: Zachary Warma <zachary.warma@lacity.org>
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Matthew Tenchavez <matthew.tenchavez@lacity.org>
Date: Mon Jul 10 2023 16:30:38 GMT-0700 (PDT)
Subject: Re: Public Appearance Request

Fernando:

Here's the draft I started for yah. If you want to edit / revise, please hack away accordingly.

- ZW

On Mon, Jul 10, 2023 at 11:52AM Mia Jackson <mia.jackson@lacity.org> wrote:

Good morning CD 5 Team

It was great meeting with you all and learning so much about your district. I am attaching a copy of the Scheduling Request form for the Mayor. These are pitched on Tuesday mornings. If you can, please send an email to hector.diazmartinez@lacity.org, with the tentative date, a little background on the event and why this is such a great opportunity for the mayor to support the project, he can pitch it tomorrow. Once the date is confirmed as available, he will ask for a completed form.

--



Mia Jackson
Sr. Director, Interim Housing Solutions
(213) 271-7009
Office of Mayor Karen Bass
[Sign up for updates from the Mayor here](#)



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Attachments:

- 2023 SR Form - CD5 Community Forum.docx

From: Fernando Morales <fernando.morales@lacity.org>
To: Mia Jackson <mia.jackson@lacity.org>
Date: Mon Jul 10 2023 21:57:22 GMT-0700 (PDT)
Subject: Re: Public Appearance Request

Thank you so much, Mia!

Fernando



Fernando Morales

Deputy Chief of Staff
Housing/Homelessness, Operations, and Special Projects
City Hall: (213) 473-7005
District: (323) 866-1828
Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012



cd5.lacity.gov

On Mon, Jul 10, 2023 at 11:52AM Mia Jackson <mia.jackson@lacity.org> wrote:

Good morning CD 5 Team

It was great meeting with you all and learning so much about your district. I am attaching a copy of the Scheduling Request form for the Mayor. These are pitched on Tuesday mornings. If you can, please send an email to hector.diazmartinez@lacity.org, with the tentative date, a little background on the event and why this is such a great opportunity for the mayor to support the project, he can pitch it tomorrow. Once the date is confirmed as available, he will ask for a completed form.



Mia Jackson
Sr. Director, Interim Housing Solutions
(213) 271-7009
Office of Mayor Karen Bass
[Sign up for updates from the Mayor here](#)

From: John Maceri <jmaceri@thepeopleconcern.org>
To: Zachary Warma <zachary.warma@lacity.org>, Kristen Aster
<KAster@thepeopleconcern.org>, Brooke Slusser <BSlusser@thepeopleconcern.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Date: Thu Jul 06 2023 11:22:39 GMT-0700 (PDT)
Subject: RE: Potential CD5 IH Service Provision discussion follow up

Hi Zack,

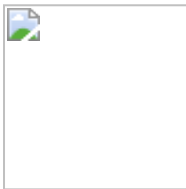
Thanks so much for making time to discuss this project with us. We really appreciate the thought of the design and intentionality around the operations. It's important to have a quality project all

Unfortunately, we can't commit to being the operator. We have a lot of obligations on PSH build leasing up and don't want to make new agreements we can't keep. CD 5 needs and deserves a who can take this on with their complete focus. I did connect with Jennifer at PATH, and she said we were preparing an operating budget for you, so you'll have a good estimate of what it'll cost to provide quality services. That's great and you're in good hands there.

If you have questions or want any feedback on things you're considering as you move through the process, we're happy to assist in any way we can. Please don't hesitate to reach out.

Best of luck on bringing this project together.

John



John Maceri

Pronouns: he/him/his

Chief Executive Officer

THE PEOPLE CONCERN | OPCC & LAMP COMMUNITY UNITED

p: (323) 334-9000 x 462

a: 2116 Arlington Ave. Ste. 100, Los Angeles, CA 90018

www.thepeopleconcern.org

From: Zachary Warma <zachary.warma@lacity.org>

Sent: Wednesday, June 28, 2023 4:50 PM

To: Kristen Aster <KAster@thepeopleconcern.org>; John Maceri <jmaceri@thepeopleconcern.org>; Brooke Slusser <BSlusser@thepeopleconcern.org>

Cc: Fernando Morales <fernando.morales@lacity.org>

Subject: Potential CD5 IH Service Provision discussion follow up

CAUTION: This email originated from outside of the organization. Do not click links or open attachments you recognize the sender and know the content is safe.

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

John, Brooke, and Kristen:

On behalf of Councilwoman Yaroslavsky and our entire office, I want to extend our deep thanks for meeting with us to discuss potential service provision at the future CD5 interim housing facility.



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Attachments:

- image001.png

From: Zachary Warma <zachary.warma@lacity.org>
To: John Maceri <jmaceri@thepeopleconcern.org>
Cc: Kristen Aster <KAster@thepeopleconcern.org>, Brooke Slusser <BSlusser@thepeopleconcern.org>, Fernando Morales <fernando.morales@lacity.org>
Date: Thu Jul 06 2023 14:19:27 GMT-0700 (PDT)
Subject: Re: Potential CD5 IH Service Provision discussion follow up

John:

Thank you so much for letting us know, engaging the Councilwoman and our team around the project, and your incredibly generous offer regarding continued dialogue.

Likewise, we hope that you and your team will see our office as an enthusiastic partner and supporter for the tremendous work TPC does every day to bring more of our neighbors indoors. Know that it's our plan to have many more opportunities for potential collaboration in the coming years.

Regards,

Zack Warma

On Thu, Jul 6, 2023 at 11:22AM John Maceri <jmaceri@thepeopleconcern.org> wrote:
Hi Zack,

Thanks so much for making time to discuss this project with us. We really appreciate the thoughtfulness of the design and intentionality around the operations. It's important to have a quality project all around.

Unfortunately, we can't commit to being the operator. We have a lot of obligations on PSH buildings leasing up and don't want to make new agreements we can't keep. CD 5 needs and deserves a provider who can take this on with their complete focus. I did connect with Jennifer at PATH, and she said they were preparing an operating budget for you, so you'll have a good estimate of what it'll cost to provide quality services. That's great and you're in good hands there.

If you have questions or want any feedback on things you're considering as you move through the process, we're happy to assist in any way we can. Please don't hesitate to reach out.

Best of luck on bringing this project together.

John



John Maceri

Pronouns: he/him/his

Chief Executive Officer

THE PEOPLE CONCERN | OPCC & LAMP COMMUNITY UNITED

p: (323) 334-9000 x 462

a: 2116 Arlington Ave. Ste. 100, Los Angeles, CA 90018

www.thepeopleconcern.org

PRA01-000357
8/23/23

From: Zachary Warma <zachary.warma@lacity.org>
Sent: Wednesday, June 28, 2023 4:50 PM
To: Kristen Aster <KAster@thepeopleconcern.org>; John Maceri <jmaceri@thepeopleconcern.org>;
Brooke Slusser <BSlusser@thepeopleconcern.org>
Cc: Fernando Morales <fernando.morales@lacity.org>
Subject: Potential CD5 IH Service Provision discussion follow up

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

John, Brooke, and Kristen:

On behalf of Councilwoman Yaroslavsky and our entire office, I want to extend our deep thanks for meeting with us to discuss potential service provision at the future CD5 interim housing facility.

Per our conversation, please find attached LifeArk's proposal. We appreciate your discretion in terms of not disseminating the file.

If there are any questions we can answer as you develop a potential proposed budget, please don't hesitate to reach out.

Regards,

Zack Warma

--



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

--



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Attachments:

- image001.png

Records Research Request Form

Visit **LADBS.ORG** for a list of the records available online

DATE: <u>7/19/2023</u>	OFFICE USE ONLY
NAME: <u>Maritza Przekop</u>	APPT ID _____
EMAIL: <u>maritza.przekop@lacity.org</u>	<input type="checkbox"/> EMAIL REQUEST
CONTACT PHONE #: <u>310 617 4114</u>	COMPANY/AGENCY: <u>City Planning</u>

REQUEST FOR BUILDING RECORDS

➤ BY EMAIL:

Email this completed form to Records.LADBS@lacity.org

➤ BY APPOINTMENT:

Office visit by appointment only <https://appointments.lacity.org/apptsys/Public/Account>

Appointments for Records Requests only available at the following LADBS offices:

Metro Office
201 N. Figueroa St., 1st Floor, Rm. 110
Los Angeles, CA 90012

Van Nuys Office
6262 Van Nuys Blvd., 2nd Floor, Rm. 251
Van Nuys, CA 91401

PROPERTY ADDRESS(ES): 2377 Midvale

or range of addresses if same lot/property - 3 addresses per request

City owned parking lot

Use of Existing Building:

Information Requested

Copies of documents are \$0.10 cents per page.

Select from the following by checking the box next to it – for further clarification of request, use comments box.

<input type="checkbox"/> BUILDING PERMITS <input type="checkbox"/> PLOT PLAN	<input type="checkbox"/> CERTIFICATES OF OCCUPANCY	<input type="checkbox"/> GRADING DOCUMENTS	Office Use Only
<input type="checkbox"/> MECHANICAL PERMITS <input type="checkbox"/> ELECTRICAL PERMITS 1985-1990 and 1997-Present	<input type="checkbox"/> VIOLATIONS	<input type="checkbox"/> MODIFICATIONS/ BOARD FILES	
<input checked="" type="checkbox"/> AFFIDAVITS/Z.I. NO. <u>64985 (5); AFF: 5593</u> <u>64985</u> <u>PK9.</u>			
<input type="checkbox"/> BLUEPRINTS May require additional time for processing. SEE OVER FOR DETAILS & REQUIREMENTS			

COMMENTS: Reason for Records Research Request:

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services, and activities.

REQUESTS FOR BLUEPRINTS

No plans available for Single Family Dwellings and Commercial buildings 3 stories and under, prior to 1978.

The LADBS Records Section will first confirm we have the plans you are requesting in our database, then verify if they are stamped by a licensed professional(s).

Per California Health & Safety Code 19851, all of the following requirements must be satisfied to obtain a copy of plans/blueprints.

1. An original release letter from the current owner.
2. A copy of the current owner's Grant Deed.
3. An original release letter from the architect and engineer whose stamp is on the plans. Letters must be on letterhead and have engineer and/or architect's stamp and signature.

See attached information sheet for further details.

Records Requests Instructions and Options

- The LADBS Records Section will only produce documents NOT available as a PDF through our Search Online Building Records System, via <https://ladbsdoc.lacity.org/>
- Records not available from the Search Online Building Records system may be requested by email to records.ladbs@lacity.org or by appointment via <https://appointments.lacity.org/apptsys/Public/Account>
- Please allow 5-7 working days for processing emailed research requests. Requests resulting in a high volume of documents may take longer to process.
- For technical questions & general LADBS information, contact 3-1-1 or (213) 473-3231.

BUILDING AND SAFETY RECORDS SECTION

What We Have

- **ADMINISTRATIVE APPROVALS** – By Building & Safety
- **AFFIDAVITS** – Building & Safety Affidavits: Lot Ties, Parking, Maintenance of Building
- **BLUEPRINTS/PLANS** – No Blueprints available for Single Family Dwellings and any building under three stories BEFORE 1978 (See reverse for requirements)
- **BOARD FILES** – Action taken by the Board of Building & Safety Commissioners
- **BUILDING PERMITS** – New, Additions, Alterations, Rehab, Demolition
- **CERTIFICATES OF OCCUPANCY** - From 1946 – Present
- **ELECTRICAL, PLUMBING, MECHANICAL PERMITS** – Only available from 1985 – 1990 and 1997 to present
- **GRADING DOCUMENTS** – Geology/Soil Reports approved by the Grading Division
- **MODIFICATIONS** – Discretionary approval granted by Building & Safety
- **PLOT PLANS** – Small size drawing on the back of a Building Permit
- **RANGE FILES** – Any Violations/Orders to Comply on a Property (issued by LADBS)

What We Do Not Have

- **BLUEPRINTS** – For Electrical and Plumbing
- **CONDITIONAL USE PERMITS**
- **ENVIRONMENTAL INFORMATION**
- **INSPECTION RECORD CARD**
- **LAND SURVEYS**
- **POLICE PERMITS/BUSINESS LICENSES**
- **PROPERTY OWNERSHIP INFORMATION/GRANT DEEDS**
- **SEPTIC TANK PERMITS/UNDERGROUND TANK PERMITS**
- **SETBACKS, SANBORNE MAPS, ZONING ADMINISTRATION, CITY PLANNING COMMISSION**
- **SEWER MAPS**
- **VIOLATIONS WITHIN THE LAST 12 MONTHS**

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services, and activities.



There are two ways to request a copy of the document image.

- 1) By fax using the request form. Click on the following link http://www.ladbs.org/permits/permit_related_forms/Research_Request_form.pdf to download the request form.
- 2) In person. Bring the following summary to one of the following Record counters.

COUNTER HOURS

MONDAY, TUESDAY, THURSDAY, FRIDAY: 7:30 AM to 4:30 PM

WEDNESDAY: 9:00 AM to 4:30 PM

Metro	Van Nuys
201, N. Figueroa St. 1st Floor, Room 110 Record Counter Los Angeles, CA 90012	6262 Van Nuys Blvd Record Counter Van Nuys, CA 91401

Document Type	Sub Type	Document Date	Document Number	Reel Batch Frame
AFFIDAVIT	MAINTENANCE OF BUILDING	3/19/1946	AFF 5593	HIST: M0543 001 0222
AFFIDAVIT	PARKING	1/29/1988	AFF 5593	HIST: M0276 001 0176
AFFIDAVIT	PARKING	1/29/1988	AFF 5593	HIST: M0276 001 0176
AFFIDAVIT	PARKING	1/29/1988	AFF 5593	HIST: M0276 001 0176
AFFIDAVIT	PARKING	1/29/1988	AFF 5593	HIST: M0276 001 0176

Immerman/Stafford Architects

(Name)

101 S. Robertson Blvd.

(Address)

Los Angeles, CA 90048

COPY of Document Recorded

on _____ as No. _____

This has been compared with original.
Original will be returned to _____
SPACE ABOVE THIS LINE FOR RECORDER'S USE

Original will be returned to _____

88-74229

**CONVENANT AND AGREEMENT
REGARDING MAINTENANCE OF OFF-SITE PARKING SPACE**

The undersigned hereby certify that we are the owners of the hereinafter legally described real property located in the City of Los Angeles, State of California:

Lot 23, in Block 29 of Tract No. 5609 in the City of Los Angeles as per Map

as recorded in Book 60, Page 34 to 36, Records of Los Angeles County.

Parking site address: 2377 Midvale Ave.
And pursuant to Section 12.26E5 of the Los Angeles Municipal Code the undersigned hereby convene and agree to and with said City that an off-site parking area containing not less than thirty (30) (number) usable and accessible automobile parking spaces which comply with Section 12.21A5 of the Los Angeles Municipal Code will be provided and maintained on the above described property to provide the required parking for the use of the building located at 10907 Pico Blvd.

in said City upon that land legally described as follows: Lots 21 and 22, in Block 29 of Tract 5609 in the City of Los Angeles as per Map

as recorded in Book 60, Page 34 to 36, Records of Los Angeles County.

This covenant and agreement shall run all of the above described land and shall be binding upon ourselves, and future owners, encumbrancers, their successors, heirs or assignees and shall continue in effect until released by the authority of the Superintendent of Building of the City of Los Angeles upon submittal of request, applicable fees and evidence that this Covenant and agreement is no longer required by law.

Dated this 14th day of January, 1988

Signature of Parking Site Owner _____ (sign)

(I) (WE) the mortgagee or trust deed beneficiary agree to the above stated conditions by affixing (my) (our) signature hereto:

Signature of Mortgagee or Trust Deed Beneficiary _____ (sign)

There is no mortgage or trust deed affecting this property. I declare under penalty of perjury that the foregoing statement is true and correct. Executed at Los Angeles, California on this _____ day of _____, 1988

Signature of Parking Site Owner _____ (sign)

(NOTARIZATION FOR INDIVIDUAL)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

on this _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said County and State, personally appeared _____

personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to this instrument and acknowledged that he (she or they) executed it.

WITNESS my hand and official seal.

(NOTARIZATION FOR CORPORATION)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

On this 14th day of January, 1988, before me, the undersigned, a Notary Public in and for said County and State, personally appeared _____

and _____, personally known to me or proved to me on the basis of satisfactory evidence to be the person who executed the within instrument as the _____

and as the _____ President and _____ Secretary on behalf of the Corporation therein named and acknowledged to me that such Corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

WITNESS my hand and official seal.

Approved By R. G. Gaudin

DISTRICT OFFICE
DISTRICT MAP

W. L. A.
126 B 157

Branch Office W. L. A.
District Map 126 B 157
B&S Att. No. Parking 5593

4 1-29-88

22222

10

AFFIDAVIT

NO 593

593



There are two ways to request a copy of the document image.

- 1) By fax using the request form. Click on the following link http://www.ladbs.org/permits/permit_related_forms/Research_Request_form.pdf to download the request form.
- 2) In person. Bring the following summary to one of the following Record counters.

COUNTER HOURS

MONDAY, TUESDAY, THURSDAY, FRIDAY: 7:30 AM to 4:30 PM

WEDNESDAY: 9:00 AM to 4:30 PM

Metro	Van Nuys
201, N. Figueroa St. 1st Floor, Room 110 Record Counter Los Angeles, CA 90012	6262 Van Nuys Blvd Record Counter Van Nuys, CA 91401

Document Type	Sub Type	Document Date	Document Number	Reel Batch Frame
AFFIDAVIT	PARKING	1/29/1988	AFF 64985	HIST: M0276 001 0175
AFFIDAVIT	PARKING	1/29/1988	AFF 64985	HIST: M0276 001 0175

Recording requested by
and mail to:

Zimmerman/Stafford

Name

101 S. Robertson Blvd.

Address

Los Angeles, CA. 90048

COPY of Document recorded

JAN 19 1988

on _____ as No. _____

Has not been compared with original
Original will be returned when
processing has been completed.

LOS ANGELES COUNTY REGISTRAR RECORDER

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COVENANT AND AGREEMENT TO PROVIDE PARKING ATTENDANT

The undersigned hereby certify that we are the owners of the hereinafter legally described real property located in the City of Los Angeles, State of California.

Lot 23, in Block 29 of Tract No. 5609 in The City of Los Angeles as per Map
(Legal Description)

as recorded in Book 60, Page 34 to 35, Records of Los Angeles County, which
property is located and known as: 2377 Midvale Ave.

street address

And, that in consideration of the issuance of a building permit by the City of Los Angeles for which the required parking is allowed to be provided in a tandem arrangement as regulated by Section 12.21-A, 5th of the Los Angeles Municipal Code, the undersigned do hereby covenant and agree with said City that the parking will be supervised by an attendant at such times as the building for which the tandem parking is being provided is in active operation.

for so long as we are Tenant of the Property

This covenant and agreement shall run all of the above described land and shall be binding upon ourselves, and future owners, encumbrancers, their successors, heirs or assignees and shall continue in effect until released by the authority of the Superintendent of Building of the City of Los Angeles upon submittal of request, applicable fees and evidence that this Covenant and agreement is no longer required by law.

With respect to our leasehold estate

**SIGNATURES
MUST BE
NOTARIZED**

Owner's Name Norbrook Hamble Inc.

(Please type or print)

Signature of owner

{ Two Officer's Signatures
Required for Corporations }

Vernon R. Boyce

(Sign)

(Sign)

Name of Corporation

Norbrook Hamble Inc.

Dated this

13th

day of

November

1987

(NOTARIZATION FOR INDIVIDUAL)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

On this _____ day of _____ in the year
_____ before me, the undersigned, a Notary Public in and for
County and State, personally appeared _____

personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to this instrument and acknowledged that he (she or they) executed it

WITNESS my hand and official seal.

(NOTARIZATION FOR CORPORATION)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

On this 13th day of November in the year
1987 before me, the undersigned, a Notary Public in and for
said County and State, personally appeared _____

Paul Brockman and _____

Vernon Boyce personally

known to me or proved to me on the basis of satisfactory evidence to be

the person who executed the within instrument as the Hamble

Inc. Ltd. Co. Vice President

and as the Health Pres. Corp. Secretary

on behalf of the Corporation therein named and acknowledged to me that such Corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

WITNESS my hand and official seal.

Notary Public
OFFICIAL SEAL

Approved By B. Quinn

Branch Office

DISTRICT MAP

176B157

Branch Office

W.L. A.

District Map

126B157

B&S Aff. No.

64985

PRA01-000369
8/23/23

7 1-29-88



Dylan Sittig <dylan.sittig@lacity.org>

Re: Council District 5 - City Property and Leases (Receivable and Non-profit)

5 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, Feb 13, 2023 at 9:46 AM

To: Chinta Cooper <chinta.cooper@lacity.org>

Cc: Mark Lopez <mark.lopez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>

Chinta:

Thank you so much for providing this incredible list (and for the killer run down of AMS last week).

Whenever you have some time this week, would you mind sending over the AMS log-ins for Dylan and myself?

Hope you have a very mellow rest of your Monday!

- Zack

On Fri, Feb 10, 2023 at 8:53 PM Chinta Cooper <chinta.cooper@lacity.org> wrote:

Hi Zachary,

Attached is a spreadsheet containing property information for Council District 5.

The first page of the spreadsheet contains definitions for some of the terms used in the property data. There is a notes column that includes additional context on some of the properties, such as disposition recommendations from the CAO for the surplus properties and information on BOE projects. We have also provided a list of the receivable leases in the District.

Please note that Recreation and Parks is currently cleansing their property data in the AMS. As such, some of the property data may be incorrect or incomplete.

Thanks and please let us know if you have any questions.

Chinta

--

CHINTA COOPER

Integrated Asset Services Division
Department of General Services

CITY OF LOS ANGELES

111 E First St | Los Angeles CA 90012

o 213.922.8540

c 213.926.5013

e chinta.cooper@lacity.org | [lacity.org](http://www.lacity.org) <<http://www.lacity.org>>

--


Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office

PRA01-000371

Email: zachary.warma@lacity.org

Zachary Warma <zachary.warma@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Mon, Feb 13, 2023 at 9:56 AM

[Quoted text hidden]



CD 05 Properties and Leases (1).xlsx
93K

Chinta Cooper <chinta.cooper@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Mark Lopez <mark.lopez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>

Mon, Feb 13, 2023 at 10:16 AM

Hi Zack,

So glad it was helpful.

I just sent you and Dylan a separate email with login information for the Asset Management System and the GSD Service Portal.

Please let me know if either of you are interested in scheduling a one-hour Intro to AMS Navigation session or if you have any questions about either system.

thanks,
Chinta

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>
To: Chinta Cooper <chinta.cooper@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Mark Lopez <mark.lopez@lacity.org>

Tue, Feb 21, 2023 at 10:15 AM

Hi Chinta,

Thank you so much again for this list! We really appreciate the information, it has given us a lot to sort through.

I think we are set for what we need at this point in time, but will reach back out again if we need any additional information regarding the AMS.

Best,
Dylan

[Quoted text hidden]

--

**Dylan Sittig***Pronouns: he, him, his*

Senior Planning Deputy

Councilwoman Katy Yaroslavsky, Fifth District

200 North Spring Street, Room 440, Los Angeles, CA 90012

(213) 473-7005 Los Angeles City Hall Office

Email: dylan.sittig@lacity.org

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.

Mark Lopez <mark.lopez@lacity.org>
To: Dylan Sittig <dylan.sittig@lacity.org>

Tue, Feb 21, 2023 at 3:27 PM

PRA01-000372

Cc: Chinta Cooper <chinta.cooper@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Thank you, Dylan,

We're here to help. Please feel free to reach out anytime.

[Quoted text hidden]

--

Mark Lopez

Director, Integrated Asset Services Division

General Services Department

Office: (213) 922-8544

Mobile: (213) 926-5672

Email: mark.lopez@lacity.org



Zachary Warma <zachary.warma@lacity.org>

Re: Discussing affidavits connected to 2377 Midvale Ave

1 message

Maritza Przekop <maritza.przekop@lacity.org>

Wed, Jul 19, 2023 at 12:22 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Jonathan Groat <jonathan.groat@lacity.org>

Hi Zachary,

Following up on your earlier request. Attached please find a copy of Affidavit 64985 and PKG-Aff 5593 obtained from LADBS records.

Hope this helps. Please let me know if you have any questions or concerns.

Effective July 1, 2023, City Planning fees will increase by 4.9% based on the Consumer Price Index for Urban Consumers (CPI-U). To view the updated Fee Schedule, see [here](#).

LOS ANGELES
CITY PLANNING

Maritza Przekop
Senior City Planner
DSC: 201 N. Figueroa Street
Los Angeles, CA 90012
Cell: (213) 317-4393



On Thu, Jun 15, 2023 at 2:24 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Maritza:

Good afternoon. My name is Zachary Warma, and I am the Housing & Homelessness Policy Director for Councilwoman Katy Yaroslavsky.

I'm reaching out to see if you might be willing to meet with myself and the CM's Chief of Staff Gary Gero in the next week or so. Jonathan Groat recommended that we reach out to you.

As you may likely be aware, our office is pursuing the development of an interim housing facility at [2377 Midvale Avenue](#), which is currently LADOT Lot # 707, and we would like to understand what the two affidavits connected to the property entail.

Thanks so much for considering this request, and we look forward to hearing from you soon.

Regards,

Zachary Warma

--


Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



SSkywalker_23071910560.pdf
450K

PRA01-000374



Zachary Warma <zachary.warma@lacity.org>

Re: Discussion re forthcoming CD5 Interim Housing Project

1 message

Fernando Morales <fernando.morales@lacity.org>

Thu, Jul 20, 2023 at 3:54 PM

To: Azeen Khanmalek <azeen.khanmalek@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Solomon Rivera <solomon.rivera@lacity.org>, David Greenman <david.greenman@lacity.org>, Mia Jackson <mia.jackson@lacity.org>, Zachary Seidl <zachary.seidl@lacity.org>, Clara Karger <clara.karger@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Leo Daube <leo.daube@lacity.org>

Hi Azeen,

Apologies for the delay - tomorrow at 10:30am will work for the team. I will send a calendar invitation shortly if that still works for you and Mia.

With sincere appreciation,

Fernando


cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

On Thu, Jul 20, 2023 at 11:49AM Azeen Khanmalek <azeen.khanmalek@lacity.org> wrote:

Hi Gary,

Sorry for the delay. Mia and I would be happy to meet. Are you available tomorrow at 10:30-11 or 4-4:30?



Azeen Khanmalek

Director of Affordable Housing Production

He/Him

Phone: (213) 448-4730

Office of Mayor Karen Bass

[Sign up for updates from the Mayor here](#)

On Thu, Jul 20, 2023 at 9:51AM Gary Gero <gary.gero@lacity.org> wrote:

Hi Folks, just wanted to follow up on this. Can we find a time to chat? Thanks! Gary

On Mon, Jul 17, 2023 at 1:52PM Gary Gero <gary.gero@lacity.org> wrote:

Good afternoon everyone and happy Monday!

On behalf of Councilwoman Yaroslavsky, I'm reaching out in the hopes that we might find a half hour this week to discuss the forthcoming interim housing project that we are set to announce on 7/24.

As many of you may know, our office has been moving forward with the repurposing of an LADOT-owned lot, #707 at [2377 Midvale Avenue](#) in West LA, into the very first interim housing facility for individual adults in our district.

After months of discussions, our team settled on the modular developer LifeArk - which has been meeting with relevant city departments for months on the site plan layout - and we recently secured LA Family Housing to serve

as the on-site service provider.

The Councilwoman has discussed the project with the Mayor, and Hector Diaz Martinez has confirmed that the Mayor is available the evening of 8/3, the evening we are targeting for an in-person community forum that we hope will feature prepared remarks from the Mayor, along with the Councilwoman and Dr. Adams Kellum.

Given that the our team has had different individual points of contact and discussions with you all on this, we thought it might be useful to have a full group dialogue prior to the 24th just so that we are all aligned.

Please let us know some times that are convenient for your team, as we are happy to accommodate your schedules.

Kindly,
Gary



cd5.lacity.gov

Gary Gero

CHIEF OF STAFF

O: (213) 473-7005

C: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012



Andrew Deblock <andrew.deblock@lacity.org>

RE: Parking Assessment Request - Council District 5

6 messages

Fernando Morales <fernando.morales@lacity.org>

To: Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>

Good morning Fernando,

Thank you for sharing the GIS map of the PPD restrictions in the area. It is really helpful.

We were wondering if there was a way for LADOT to share the number of LADOT managed parking spots on Pico from Sepulveda to Overland (including other lots) that do not have no-parking.

Wishing you a great weekend!

Fernando



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

From: Fernando Navarrete <fernando.navarrete@lacity.org>**Date:** June 9, 2023 at 8:51:20 PM EDT**To:** Zachary Warma <zachary.warma@lacity.org>**Cc:** Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>**Subject:** Re: Parking Assessment Request - Council District 5

Hi Zachary,

Thank you for your patience while we gathered this information for you.

The first attachment of the GIS map is of the PPD restrictions in the area. The second attachment also has a list of the non-residential street parking restrictions.

Let us know if you have any questions or need further information from us.

Enjoy your weekend!

On Thu, Jun 1, 2023 at 4:52 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Fernando:

Thanks so much for taking the time to chat with me this afternoon.

Per our conversation, the Fifth Council District formally requests an assessment from LADOT's parking management and district operations teams of the current parking restrictions, parking districts, or parking zones in place within a half-mile radius of LADOT lot #707 located at [2377 Midvale Avenue](#).

The Councilwoman would deeply appreciate having this information by 6/16, if possible.

Fernando Navarrete <fernando.navarrete@lacity.org>

Fri, Jun 23, 2023 at 10:46 AM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Morning Fernando,

Let me touch base with our staff and get back to you.

[Quoted text hidden]

--

Respectfully,

Fernando Navarrete
Council Liaison
External Affairs
[Quoted text hidden]**Fernando Morales** <fernando.morales@lacity.org>

Fri, Jun 23, 2023 at 10:47 AM

To: Fernando Navarrete <fernando.navarrete@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Thank you, Fernando!



COUNCILWOMAN
KATY YAROSLAVSKY
LOS ANGELES COUNCIL DISTRICT 5



cd5.lacity.gov

Fernando Morales
Deputy Chief of Staff
Housing/Homelessness, Operations, and Special Projects
City Hall: (213) 473-7005
District: (323) 866-1828
Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fri, Jun 30, 2023 at 2:25 PM

Hi Fernando,

Hope you're doing well!

Below is the count of active meters on both sides of Pico between Sepulveda and Overland.

	Meters	CLZ	EV Charging only	Taxi Zone
North Side of Pico Blvd between Sepulveda and Overland	57	1	1	0
South side of Pico Blvd between Sepulveda and Overland	36	0	0	2
Both Sides of Pico between Sepulveda and Overland	93	1	1	2

Additionally, our parking staff checked out the area along Pico Blvd from Overland to Sepulveda and I didn't see any off-street public parking lots within this perimeter. But, there is one parking lot near Pico Blvd located two blocks east of Westwood Blvd. This is three blocks east of Lot 707. The parking lot is LADOT Lot 685 located at [2386 Malcolm Ave](#) in the Rancho Park neighborhood. It is a pay station lot with 19 spaces, with one space being an ADA space. Please let me know if you need anything further. Thanks.

Please let me know if you have any questions or if you need further information.

On Fri, Jun 23, 2023 at 10:42 AM Fernando Morales <fernando.morales@lacity.org> wrote:
[Quoted text hidden]
[Quoted text hidden]

Fernando Morales <fernando.morales@lacity.org>
To: Fernando Navarrete <fernando.navarrete@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fri, Jun 30, 2023 at 2:29 PM

Thank you so much, Fernando!



COUNCILWOMAN
KATY YAROSLAVSKY
LOS ANGELES COUNCIL DISTRICT 5



cd5.lacity.gov

Fernando Morales
Deputy Chief of Staff
Housing/Homelessness, Operations, and Special Projects
City Hall: (213) 473-7005
District: (323) 866-1828
Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

[Quoted text hidden]

Fernando Navarrete <fernando.navarrete@lacity.org>
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Jarrett Thompson <jarrett.thompson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Fri, Jun 30, 2023 at 2:32 PM

My pleasure!

Enjoy your 4th of July weekend!
[Quoted text hidden]

PRA01-000378

8/23/23

https://mail.google.com/mail/u/0/?ik=44b6ee3176&view=pt&search=all&permthid=thread-f:1769516189848852779&simpl=msg-f:17695161898488527... 2/2



Dylan Sittig <dylan.sittig@lacity.org>

Thank You - Following Up

15 messages

Fernando Morales <fernando.morales@lacity.org>

Mon, Mar 20, 2023 at 11:45 AM

To: "cwee@lifeark.net" <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>

Hi Charles,

Thank you for your time on Friday! In addition to Matthew (whom you met), I am also including our colleagues Zachary Warma (Housing & Homelessness Policy Director) and Dylan Sittig (Sr. Planning Deputy).

- As discussed, below is the information re: becoming a registered vendor with the City of Los Angeles:
 - GSD General Information + Links: <https://gsd.lacity.org/services/supply-services>
- Below is the information on the lots for an exploratory interim/permanent site layout (can you confirm if this is offered at no cost?):
 - [2377 Midvale Ave](#), the LADOT-owned lot at the corner of Pico and Midvale (map). It's actually two parcels bisected by an alley, for just under 17k sf.
 - [9415 Venice Blvd](#), a Culver City-owned lot between Cardiff and Bagley, roughly 10,000 sf.

Looking forward to staying in contact and exploring all opportunities for our constituents experiencing homelessness.

With sincere appreciation,

Fernando


Fernando Morales (*he/him/his*)

Deputy Chief of Staff - Operations

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring St., Room 440](#)[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: fernando.morales@lacity.org
Charles Wee <cwee@lifeark.net>

Mon, Mar 20, 2023 at 1:23 PM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hi Fernando,

Good to hear from you and thank you and Mathew for taking the time to visit Lifearek Tyler.. Nice to meet you all from CD-5!

Thanks for the vendor registration information. We will look into it.


We will take a look at these lots in Culver City, yes definitely at no cost since it's to see if Lifearek can be a good fit. I will use the similar housing types and programs I showed you we did for CD-11. If I have any questions, I will let you know but let me first do a quick site layout sketch options and see what types of units and how many good beds we can fit. I will assume using various interim/permanent ensuite unit types.

Thanks for the opportunity to participate in being part of the potential solution. I am also copying some of Lifearek's core folks. Will keep you posted.

PRA01-000379

Just to confirm the sites:



Thanks,
Charles
213-324-7228


[Quoted text hidden]

Fernando Morales <fernando.morales@lacity.org>

Mon, Mar 20, 2023 at 3:31 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Thank you so much, Charles. It was great to meet you and Paul as well.

Correct, those are the two sites - with the first site, we would most likely be closing the alley to have a contiguous space, but I know that you had some great ideas relating to incorporating the alley. We defer to your expertise in exploring potential layouts.

With sincere appreciation,

Fernando



Fernando Morales *(he/him/his)*

Deputy Chief of Staff - Operations

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring St., Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: fernando.morales@lacity.org

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PRA01-000380

Charles Wee <cwee@lifeark.net> Fri, Mar 24, 2023 at 2:43 PM
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hey Fernando,

Attached is a preliminary study of the sites. I included both sites into a single proposal.


For both sites, we used the most cost effective, minimal ensuite unit to put as many as possible into the sites. We know this 130SF ensuite studio works well for the individuals as part of interim solution. Please review and let me know if you have any questions. If you think the units should be more permanent and longer term, we have other units we can do the study with.

I added some other Lifeark information slides but feel totally free to be selective about which slides you share. Obviously without getting too deep into the site conditions, the costing numbers are for budget purposes but should be close.

Have a nice weekend!

Thanks,
Charles
213-324-7228


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 **proposal-cd5-interim.pdf**
4262K

Fernando Morales <fernando.morales@lacity.org> Fri, Mar 24, 2023 at 2:54 PM
To: Charles Wee <cwee@lifeark.net>
Cc: Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>

Thank you so much, Charles! This is incredibly helpful - we plan to discuss and present to the Councilwoman within the next two weeks. With that in mind, would there be any way for an alternative to be included where the alley is part of the total site area/housing can be within that space?

I know that for this site, we would like to consider a higher number of units.

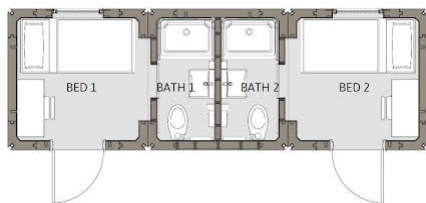
With sincere appreciation,

Fernando
[Quoted text hidden]

Charles Wee <cwee@lifeark.net> Fri, Mar 24, 2023 at 3:21 PM
To: Fernando Morales <fernando.morales@lacity.org>
Cc: Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>

Hey Fernando,

Great. Got it, yea I can do an alternate of closing the alley and see how many we can pack. What number did you have in mind for Midvale? And is the 130SF ensuite unit appropriate for the type of population you are trying to house? We have another smaller ensuite unit (100SF). If we can use this, we can get more units.



Thanks,
Charles
213-324-7228


[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Fri, Mar 24, 2023 at 3:30 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Fernando Morales <fernando.morales@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Charles:

Zack Warma from CD5 here. I still regret that I was unable to be a part of last week's tour, but it's nice connecting with you via email.

It's our office's desire to see at least 50 units at Midvale. If it's not an undue burden on your team, seeing two alternatives - 100sf and 130sf units with the alley closed - for the site, that would be great.

Again, so appreciate the already incredibly thoughtful proposals you have presented.

Hope you and your team have a nice weekend!

- Zack Warma

[Quoted text hidden]

--



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

Charles Wee <cwee@lifeark.net>

Fri, Mar 24, 2023 at 3:53 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hi Zach,

Got it. We will do options using both models on a closed alley. I will also try the 100SF model for Venice.

Thanks,
Charles
213-324-7228


PRA01-000382

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Mon, Mar 27, 2023 at 8:01 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hey Fernando and Zach,

Please find attached updated site study for Venice and Midvale lots with options. We made it into separate files since it was getting a little confusing. Also added a comparison summary chart. Let us know if you have any questions or comments.

Thanks,
Charles
213-324-7228



[Quoted text hidden]

2 attachments



2377 Midvale-CD5.pdf
5035K



9425 Venice-CD5.pdf
4569K

Fernando Morales <fernando.morales@lacity.org>

Tue, Mar 28, 2023 at 12:16 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Thank you so much, Charles! We really appreciate it and will circle back.

Fernando



Fernando Morales (*he/him/his*)

Deputy Chief of Staff - Operations

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring St., Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: fernando.morales@lacity.org

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Mon, Apr 17, 2023 at 2:08 PM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hey Fernando,

Hope all is well. Checking in to see if there is any potential movement with this LifeArk concept?

Thanks,
Charles

PRA01-000383

213-324-7228



[Quoted text hidden]

Fernando Morales <fernando.morales@lacity.org>

Mon, Apr 17, 2023 at 2:51 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Scott Sale <ssale@lifeark.net>

Hi Charles,

Thanks for following up! We're still gathering concepts and reviewing internally, but will be in touch soon with any potential questions from the Councilwoman.

With sincere appreciation,

Fernando

cd5.lacity.gov**Fernando Morales**

Deputy Chief of Staff - Operations

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, Apr 17, 2023 at 2:54 PM

To: Charles Wee <cwee@lifeark.net>, Scott Sale <ssale@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Cc: Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Charles and team:

One small request - at your convenience, would you mind registering with [LAVSS \(LA Vendor Self Service\) website?](#)

Thanks so much,

Zack Warma

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Mon, Apr 17, 2023 at 2:56 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Scott Sale <ssale@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hey Fernando and Zach,

Thanks for the update. Got it.

Will do.

Thanks,
Charles

PRA01-000384

213-324-7228



[Quoted text hidden]

Rebecca Wee <rwee@lifeark.net>

Mon, Apr 17, 2023 at 5:23 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Scott Sale <:ssale@lifeark.net>, Paul Cho <pcho@lifeark.net>, Dylan Sittig <dylan.sittig@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Charles Wee <cwee@lifeark.net>

Hi Zach,

We are registered with LAVSS - our vendor code is VS0000010125.

Thanks,

[Quoted text hidden]

--

Rebecca H. Wee
LifeArk, SPC.



Kristen Pawling <kristen.pawling@lacity.org>

Topics for discussion

Carla Vallejo <carla.vallejo@lacity.org>

Tue, Jun 27, 2023 at 7:13 AM

To: Kristen Pawling <kristen.pawling@lacity.org>

Cc: Eric Bruins <eric.bruins@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Good Morning Kristen,
Thank you for sending these over, this is very helpful.

Thank you,
Carla

Carla L. Vallejo, P.E.
Executive Division | Council/Board Liaison
Bureau of Engineering | Department of Public Works
[200 N. Spring Street, Suite M-154](#)
[Los Angeles, CA 90012](#)
Mail Stop 195
C: 213-978-2074

carla.vallejo@lacity.org

ENGINEERING

CITY OF LOS ANGELES



On Tue, Jun 27, 2023 at 7:03 AM Kristen Pawling <kristen.pawling@lacity.org> wrote:

Hi Carla and Eric,

Here are some topics it'd be great to touch base on during the meet and greet.

Street Design Manual update

Building Decarbonization for Municipal Buildings

Closure of Olympic/Selby Tunnel

Midvale Interim Housing Site

Maintenance Agreement with CalTrans regarding [the large easement on Bronwood/Sepulveda & Homedale/Sepulveda.](#)

Thank you!
Kristen

--



cd5.lacity.gov

Kristen Torres Pawling

DEPUTY CHIEF OF STAFF - POLICY AND PLANNING

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

PRA01-000386

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.



Allen Zipper <allen.zipper@lacity.org>

Updated invitation with note: Midvale Tiny Home Village - Next Steps @ Fri May 26, 2023 3:45pm - 4:15pm (PDT) (allen.zipper@lacity.org)

1 message

Zachary Warma <zachary.warma@lacity.org>

Thu, May 25, 2023 at 5:38 PM

Reply-To: Zachary Warma <zachary.warma@lacity.org>

To: allen.zipper@lacity.org, fernando.morales@lacity.org, george.hakopiants@lacity.org, patricia.macias@lacity.org, leo.daube@lacity.org, andrew.deblock@lacity.org, vanessa.saldana@lacity.org, analiz.marmolejo@lacity.org

This event has been updated with a note:

"Apologies for the time-change, all! A meeting with the Mayor's office just got added. If it doesn't work for the squad, will find a better time early next week! - the bow tie clown"

Changed: time

Join with Google Meet

Meeting link

meet.google.com/fsa-hyxr-ngj

Join by phone

(US) [+1 518-663-2766](tel:+15186632766)

PIN: 841688937

[More phone numbers](#)

Attachments



MIDVALE INTERIM

All:

As June is fast approaching, we want to bring this group together to discuss communications and community engagement for the Midvale Tiny Home Village.

The current tentative calendar we are working off of can be found here: [MIDVALE INTERIM HOUSING - CALENDAR](#)

When CHANGED

Friday May 26, 2023 · 3:45pm – 4:15pm (Pacific Time - Los Angeles)

~~Friday May 26, 2023 · 3pm – 3:45pm (Pacific Time - Los Angeles)~~

Guests

zachary.warma@lacity.org - organizer

fernando.morales@lacity.org

george.hakopiants@lacity.org

patricia.macias@lacity.org

leo.daube@lacity.org

andrew.deblock@lacity.org

vanessa.saldana@lacity.org

allen.zipper@lacity.org

analiz.marmolejo@lacity.org

[View all guest info](#)

Reply for allen.zipper@lacity.org

Yes

No

Maybe

More options

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4K