



Andrew Deblock <andrew.deblock@lacity.org>

(DRAFT) 2377 Midvale Ave Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

2 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, May 1, 2023 at 8:00 AM

To: Gary Gero <gary.gero@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Leo Daube <leo.daube@lacity.org>

Gary, Andrew, Fernando, and leo:

Please find below the draft email to the Midvale/Pico interim housing vendor finalists.

Fernando and Leo, if you can in particular review the admittedly rough community outreach process outlined in the 6th graf ("In terms of next steps"), that would be much obliged.

By EOD, I should have the draft calendar of key dates to all of you for review / updating, which can also help inform the contents of this message.

Much appreciation, all!

- ZW

(Name):

Hello, my name is Gary Gero, and I am the Chief of Staff for Councilwoman Katy Yaroslavsky.

On behalf of the Councilwoman and the entire CD-5 team, I want to first thank you and your team for submitting preliminary plans for developing interim housing at the [2377 Midvale Avenue](#) LADOT parking lot. Bringing new housing interventions to the district is the single highest priority of this office.

Having reviewed the various proposals, the Councilwoman desires to bring forward your proposal and that of another vendor to the broader community for feedback and input before selecting the desired vendor.

If you are interested in continuing with this process, we are asking that you furnish by **Friday, May 26th** an update to your previous proposal that is inclusive of the following elements:

- A *minimum* of 45 units with en suite restrooms, no less than 100 square feet
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces

If possible, site-specific rendering would be highly desirable and incredibly helpful in communicating to the public the look and feel of the facility.

In terms of next steps - upon receipt of the updated plans and renderings, the office will proceed with a two week community engagement process beginning after Memorial Day, consisting of both an in-person community meeting that will feature presentations from both vendors, a virtual town hall, and a web page featuring the two proposals.

No more than two weeks after the conclusion of the community engagement process, we will notify the selected vendor and then announce the decision publicly. The motion to execute the contract with the selected vendor will be introduced in Council immediately.

PRA-01-000001-SUPP2-09/29/23

A prompt confirmation of your participation is greatly appreciated. If you have any questions regarding the process, please do not hesitate to reach out to myself or Zachary Warma, who is cc'ed herein.

Thank you so much, and we look forward to further engagement with you and your team!

Regards,

Gary Gero

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Zachary Warma

Housing & Homelessness Policy Director
 Councilwoman Katy Yaroslavsky, Council District 5
 200 North Spring Street, Room 440
 Los Angeles, CA 90012
 Tel: (213) 473-7005 - Los Angeles City Hall Office
 Email: zachary.warma@lacity.org

Zachary Warma <zachary.warma@lacity.org>

Mon, May 8, 2023 at 2:12 PM

To: Gary Gero <gary.gero@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Leo Daube <leo.daube@lacity.org>

Mister G:

With you feeling comfortable us engaging the two potential vendors for Midvale, please find below both the list of the email recipients, as well as the draft correspondence.

EMAIL RECIPIENTS:

LifeArk: Charles Wee <cwee@lifeark.net>, Scott Sale <ssale@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Paul Cho <pcho@lifeark.net>

Connect Homes: Gordon Stott <gordon@connect-homes.com>, Payal Gandhi <payal@connect-homes.com>, Richard Lee <richard.lee@connect-homes.com>, Heedo Chung <heedo@connect-homes.com>

cc: Zachary Warma

bcc: Fernando, Andrew, Leo

EMAIL SUBJECT LINE:

[2377 Midvale Ave](#) Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

EMAIL BODY:

(Name):

Hello, my name is Gary Gero, and I am the Chief of Staff for Councilwoman Katy Yaroslavsky.

On behalf of the Councilwoman and the entire CD-5 team, I want to first thank you and your team for submitting preliminary plans for developing interim housing at the [2377 Midvale Avenue](#) LADOT parking lot. Bringing new housing interventions to the district is the single highest priority of the Councilwoman and this office.

Having reviewed the various proposals, the Councilwoman desires to bring forward your proposal and that of another vendor to the broader community for feedback and input before making a final selection.

If you are interested in continuing with this process, we are asking that you furnish by **Friday, June 2nd** an update to your previous proposal that is inclusive of the following elements (many of which were already included in your initial proposal):

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley

PRA-01-000002-SUPP2-09/29/23

- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

If possible, a site-specific rendering would be incredibly helpful in communicating to the public the look and feel of the facility.

In terms of next steps - upon receipt of the updated plans and renderings, the office will initiate a two week community engagement process, which will include a virtual town hall, a web page featuring the two proposals, and likely an in-person community event. Our team will promptly be in touch as we finalize the specific events.

No more than two weeks after the conclusion of the community engagement process, we will notify the selected vendor and then announce the decision publicly. The City Council motion to execute the contract with the selected vendor will then be introduced in Council concurrently with the public announcement.

A prompt confirmation of your participation is greatly appreciated. If you have any questions regarding the process, please do not hesitate to reach out to myself or Zachary Warma, who is cc'ed herein.

Thank you so much, and we look forward to further engagement with you and your team!

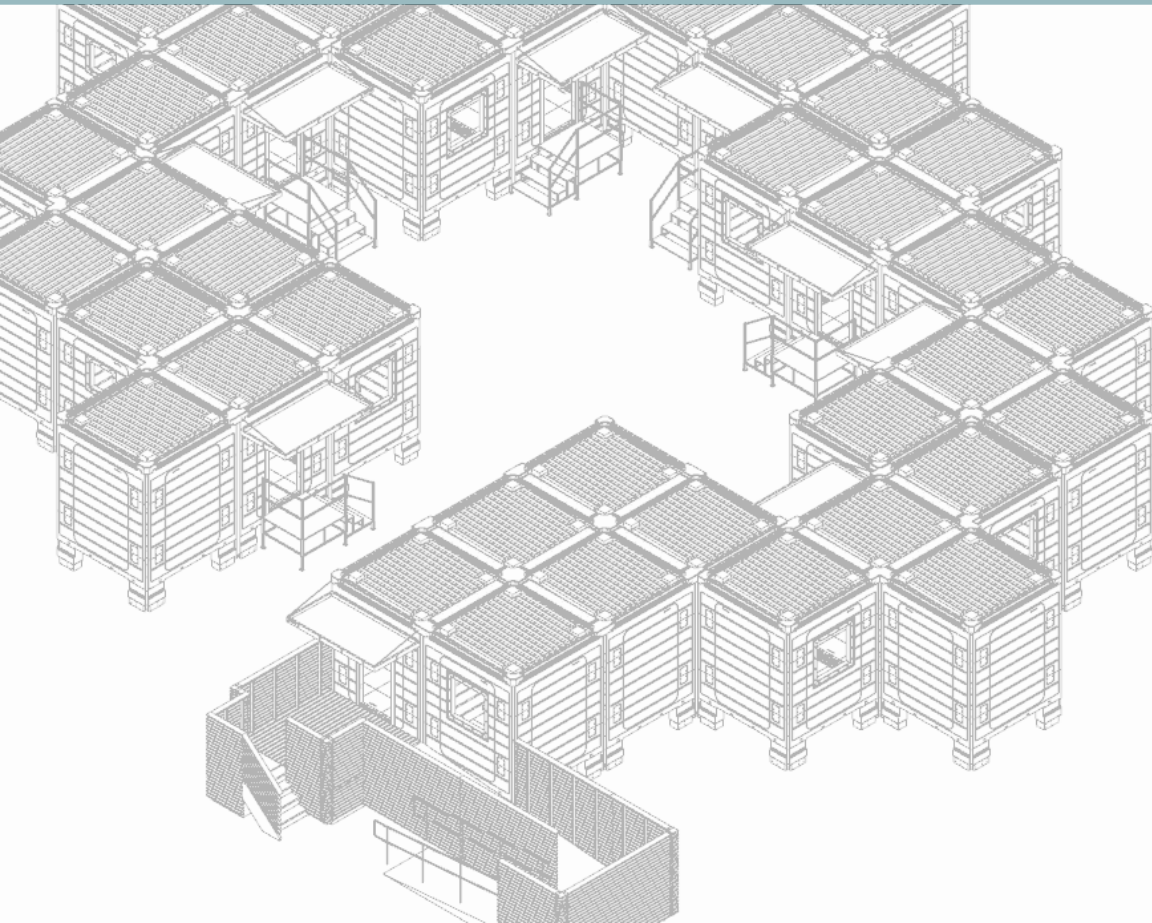
Regards,

Gary Gero

[Quoted text hidden]



- POTENTIAL ADA UNIT LOCATIONS
- TYPE 2A: 3
 - TYPE 2B: 2
 - TYPE 3A: 9
 - TYPE 3B: 9



INTERIM HOUSING DEVELOPMENT PROPOSAL

2377 Midvale

Submitted to Council District 5

Mar 2023

Lifeark Interim Supportive Housing for CD-5

Lifeark is pleased to submit this preliminary proposal for permanent supportive housing for homeless and at-risk population in Los Angeles Council District 5 using our innovative LifeArk modular system. Lifeark is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction.

Presented in this proposal for 2377 Midvale using Lifeark Ensuite 100 and 134 Models. LifeArk can provide complete factory assembled units that can be placed on site foundation and fully completed within 6 months.

Lifeark is the first fully certified structural load bearing plastic building product on the market. It is tested and approved for safety and quality as a new building material through IAPMO-UES, a national codes and standards approval agency, and compliant with 2022 international and California building and residential codes. Lifeark is certified by the California department of housing and community development (HCD) factory-built housing and commercial modular program.

Please let us know if you have any questions. We are excited for the opportunity to share Lifeark's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,
Charles Wee



Site Option 1

Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Located at the corner of W. Pico and Midvale split by an alley



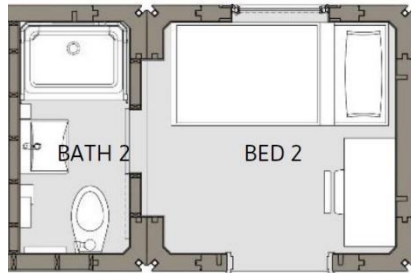
Site Option 2

Site Area: 18,305 SF

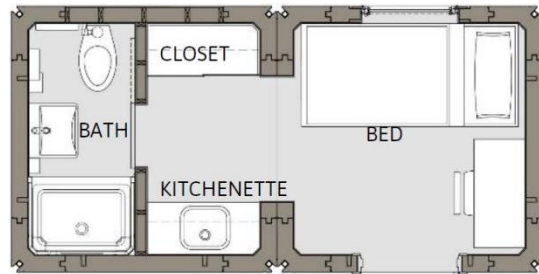
- Parking lot A & B combined



Lifemark Plans



100 SF Ensuite Unit (Double Unit shown)



134 SF Ensuite Unit



400 SF Admin/ Flex Unit





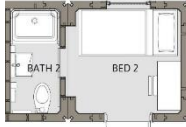

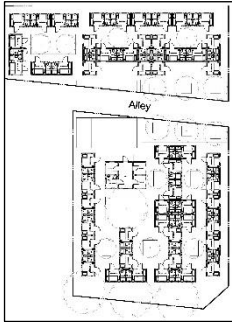
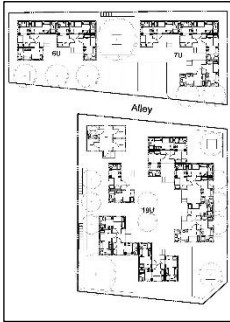
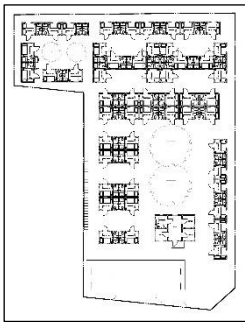
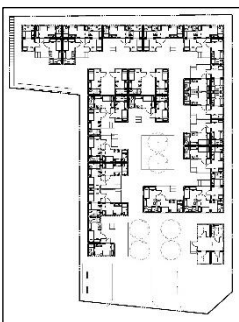
Lifemark Single Module



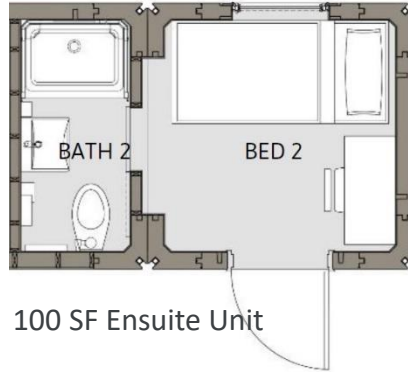
Ensuite Unit Interior



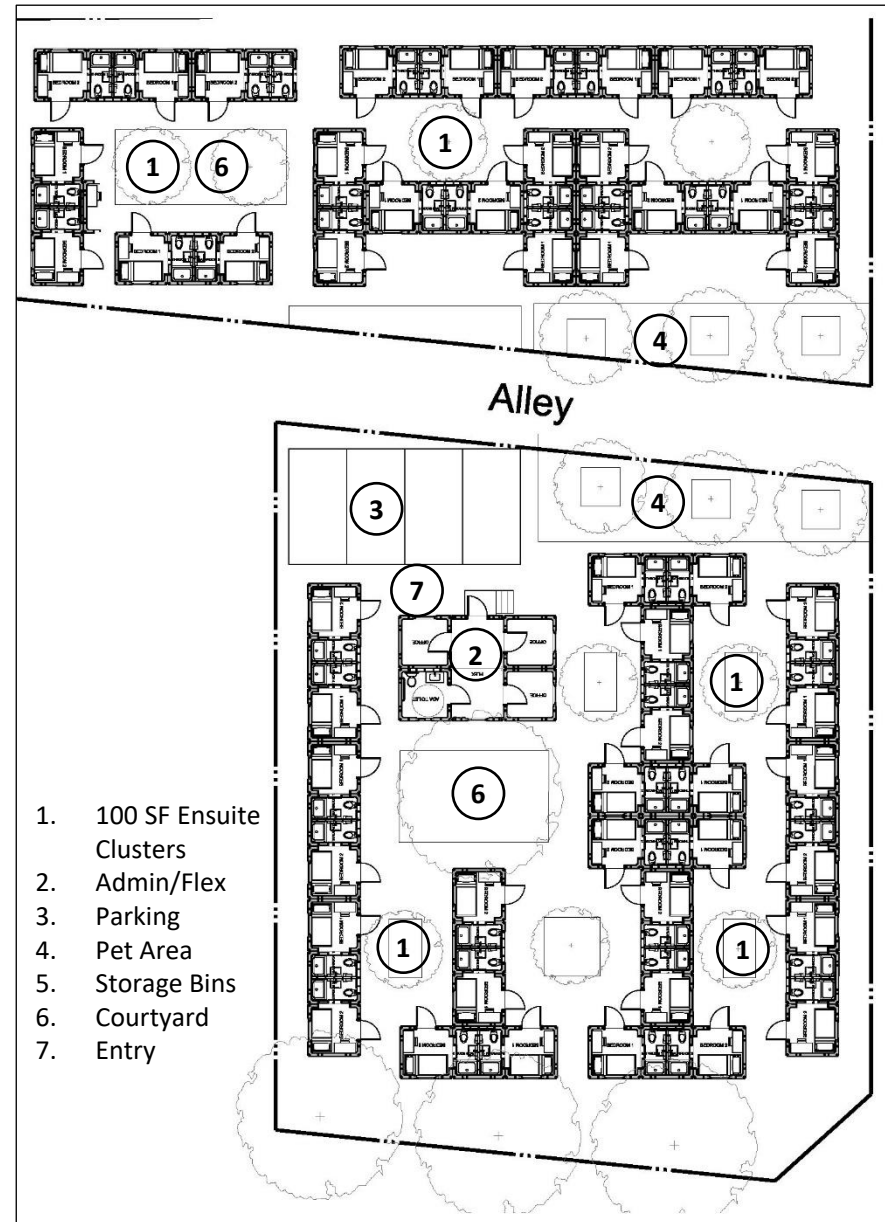
Ensuite Unit Exterior Example

Options	Alley 1	Alley 2	Combined 1	Combined 2
Unit Type				
Site Layout				
# of Units Total SF Cost Per Bed Project Cost	50 Units 5,400 SF \$34,000 \$1.7 Million	31 Units 4,430 SF \$55,000 \$1.7 Million	54 Units 5,800 SF \$35,000 \$1.9 Million	43 Units 5,990 SF \$53,000 \$2.3 Million

2377 Midvale Alley Option 1- Ensuite 100



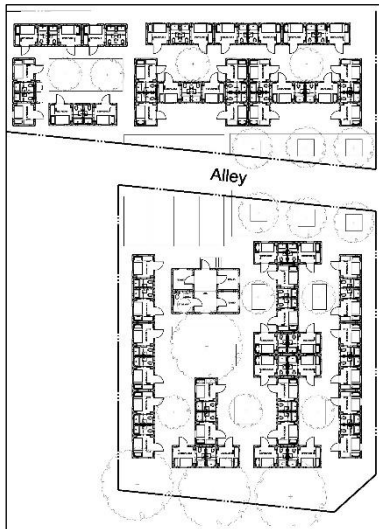
Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	50	5,000
Admin/Flex	3x2	400	1	400
Beds			50	5,400



2377 Midvale Alley Option 1- Budget Costing

2377 Midvale Alley Option 1 - Budget Costing

Site Area		Acre	SF	Costing as of 3/24/2023								
		0.38	16,340									
Housing Type	Mods		Area SF/Unit	All LifeArk								
	Mods	Total		# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options	Options Total	Total + Options
1.5 x1 Ensuite Unit	1.5	75	100	50	1	50	5,000	\$ 29,000	\$ 1,450,000	\$ -	\$ -	\$1,450,000
1x1 Deck	0	0	-	25	0	0	-	\$ 3,000	\$ 75,000	\$ -	\$ -	\$75,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		81				50	5,400		\$ 1,696,000		\$ -	\$1,696,000
Unit Cost	\$20,938					\$33,920	\$ 314					
Unit Cost Inc Options	\$20,938					\$33,920	\$ 314					



Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	50	5,000
Admin/Flex	3x2	400	1	400
Beds			50	5,400

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

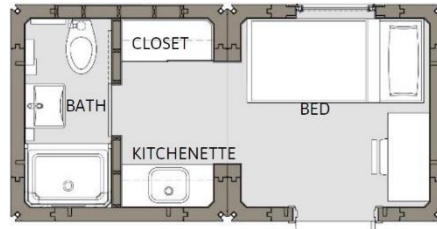
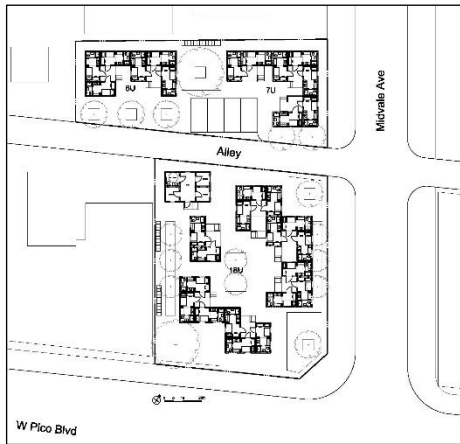
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

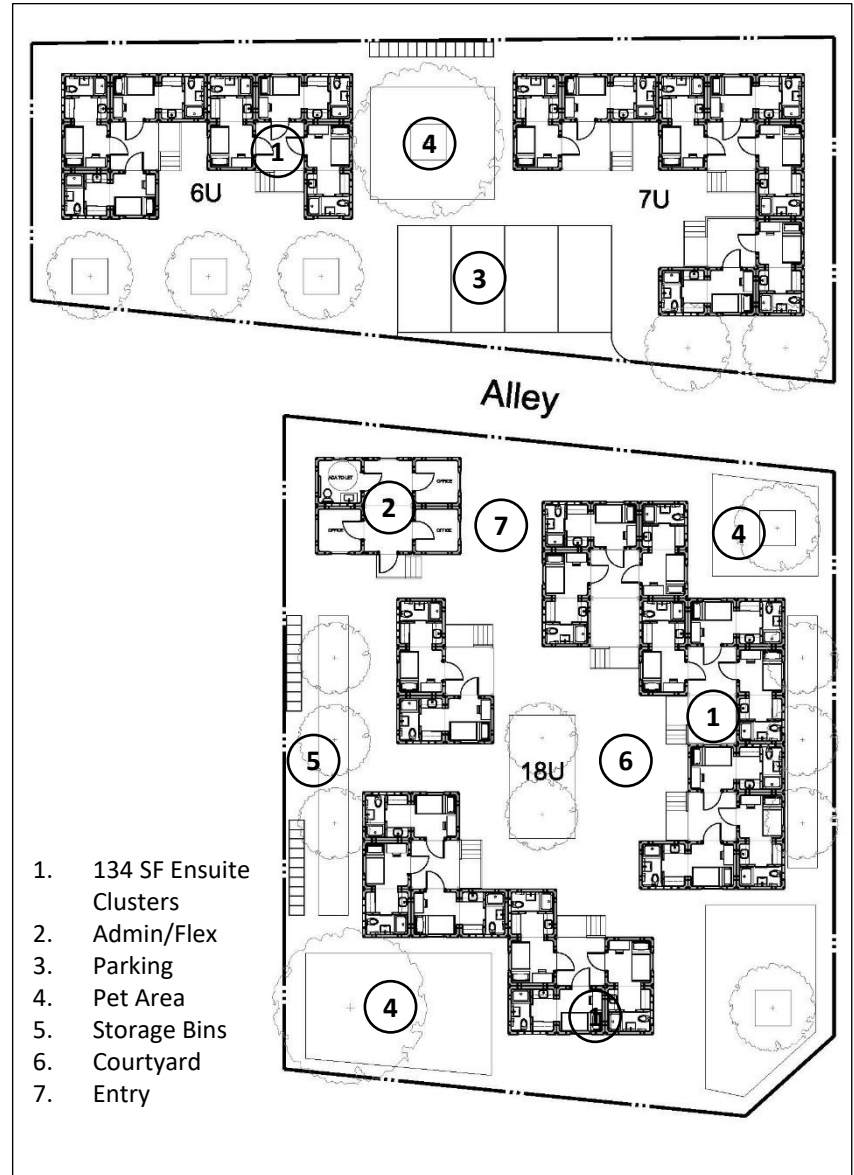
2377 Midvale Alley Option 2- Ensuite 134



134 SF Ensuite Unit



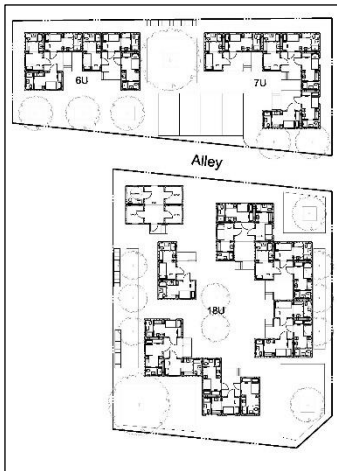
Midvale Opt 1	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	134	31	4,030
Admin/Flex	3x2	400	1	400
Beds			31	4,430



2377 Midvale Alley Option 2- Budget Costing

2377 Midvale Option 1- Budget Costing

Site Area		Acre	SF	Costing as of 3/24/2023								
		0.38	16,340									
Housing Type	Mods		Area	All Lifeark								
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
2x1 Ensuite Unit	2	62	130	31	1	31	4,030	\$ 48,000	\$ 1,488,000	\$ -	\$ -	\$1,488,000
1x1 Deck	0	0	-	13	0	0	-	\$ 3,000	\$ 39,000	\$ -	\$ -	\$39,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		68				31	4,430		\$ 1,698,000		\$ -	\$1,698,000
Unit Cost	\$24,971					\$54,774	\$ 383					
Unit Cost Inc Options	\$24,971					\$54,774	\$ 383					



Midvale Opt 1	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	31	4,030
Admin/Flex	3x2	400	1	400
Beds			31	4,430

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

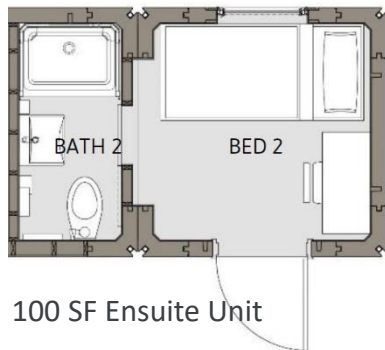
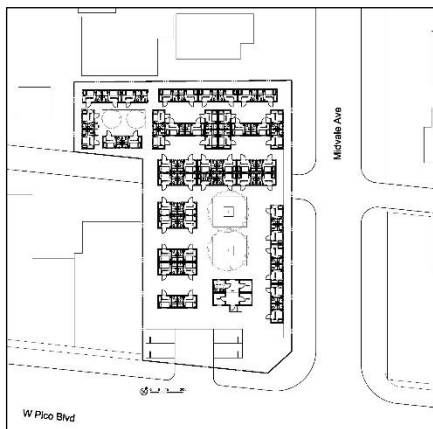
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

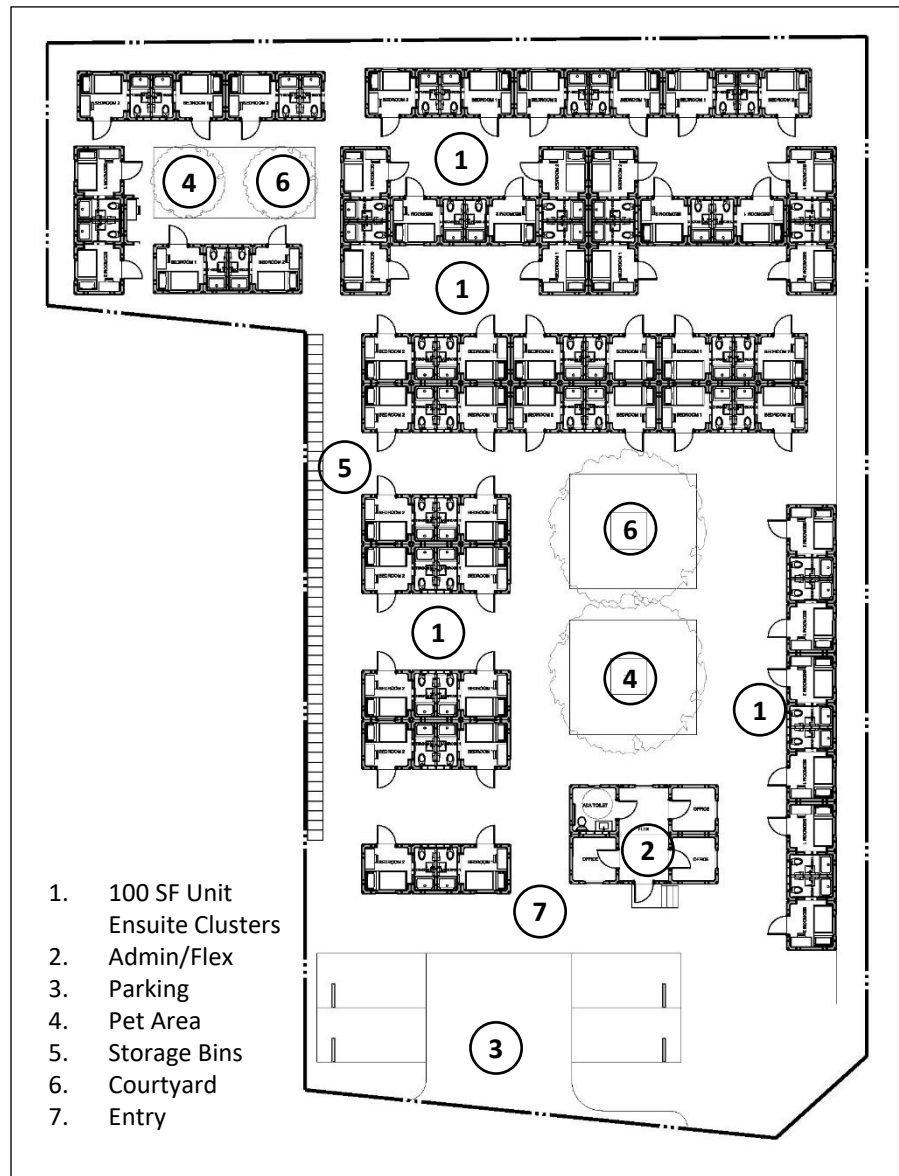
Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

2377 Midvale Combined Option 1- Ensuite 100



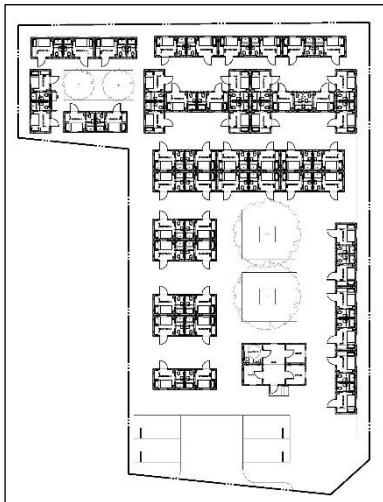
Midvale Opt	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	54	5,400
Admin/Flex	3x2	400	1	400
Beds			54	5,900



2377 Midvale Combined Option 1- Ensuite 100

2377 Midvale Combined Option 1- Budget Costing

Site Area		Acre		SF		Costing as of3/24/2023						
		0.38		16,340								
		Mods		Area		All Lifeark						
Housing Type	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options	Options Total	Total + Options
2x1 Ensuite Unit	1.5	81	100	54	1	54	5,400	\$ 29,957	\$ 1,617,702	\$ -	\$ -	\$1,617,702
1x1 Deck	0	0	-	27	0	0	-	\$ 3,000	\$ 81,000	\$ -	\$ -	\$81,000
3x2 Flex	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		87				54	5,800		\$ 1,869,702		\$ -	\$1,869,702
Unit Cost	\$21,491					\$34,624	\$ 322					
Unit Cost Inc Options	\$21,491					\$34,624	\$ 322					



Midvale Opt	TYPE	SF/U	# UNIT	TOTAL SF
Units	1.5x1	100	54	5,400
Admin/Flex	3x2	400	1	400
Beds			54	5,900

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

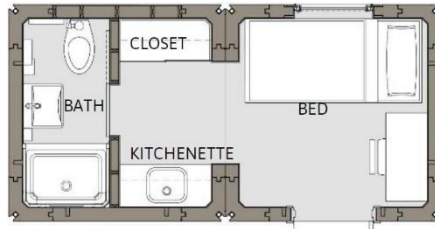
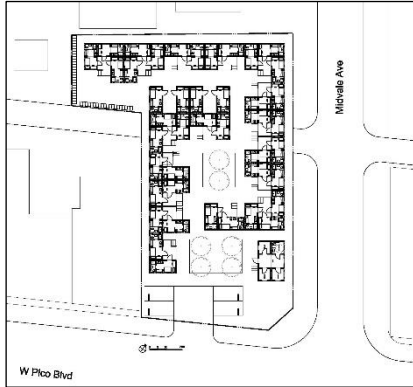
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

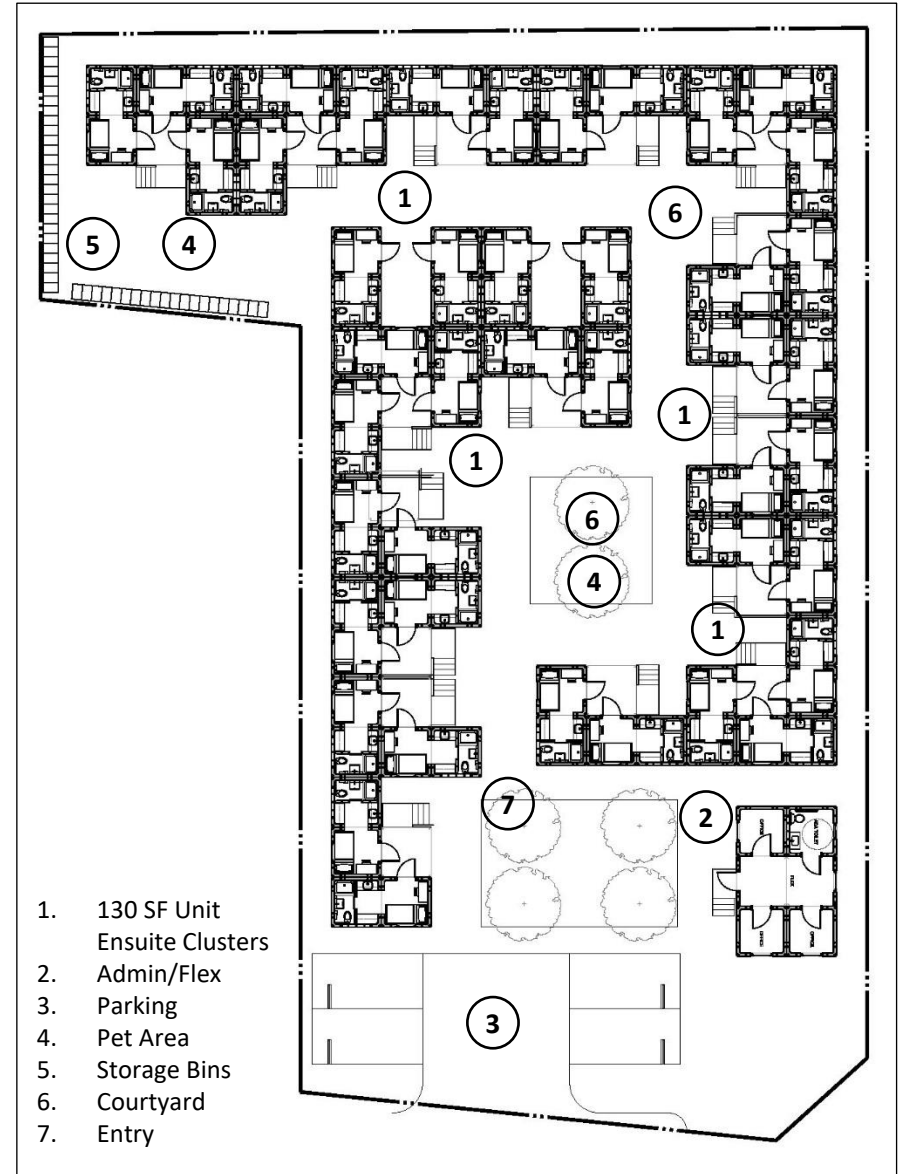
2377 Midvale Combined Option- Ensuite 134



134 SF Ensuite Unit

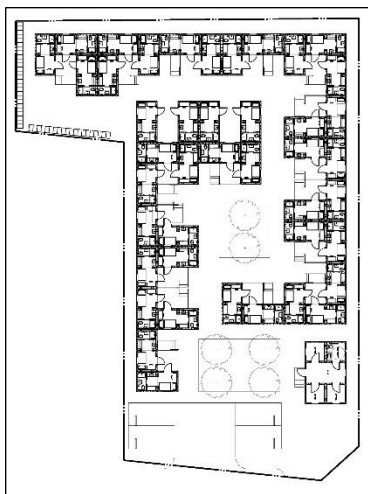


Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	134	43	5,762
Admin/Flex	3x2	400	1	400
Beds			43	6,162



2377 Midvale Combined Option 2- Budget Costing

Site Area		Acre		SF		Costing as of 3/24/2023						
		0.38		16,340								
Housing Type	Mods		Area	All Lifeark								
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF	Cost/Unit	Total	Options/unit	Options Total	Total + Options
	2	86	134	43	1	43	5,762	\$ 48,000	\$ 2,064,000	\$ -	\$ -	\$2,064,000
	0	0	-	14	0	0	-	\$ 3,000	\$ 42,000	\$ -	\$ -	\$42,000
	6	6	400	1	0	0	400	\$ 171,000	\$ 171,000	\$ -	\$ -	\$171,000
Total		92				43	6,162		\$ 2,277,000		\$ -	\$2,277,000
Unit Cost	\$24,750					\$52,953	\$ 370					
Unit Cost Inc Options	\$24,750					\$52,953	\$ 370					



Midvale Opt 2	TYPE	SF/U	# UNIT	TOTAL SF
Units	2x1	130	43	5,590
Admin/Flex	3x2	400	1	400
Beds			43	5,990

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



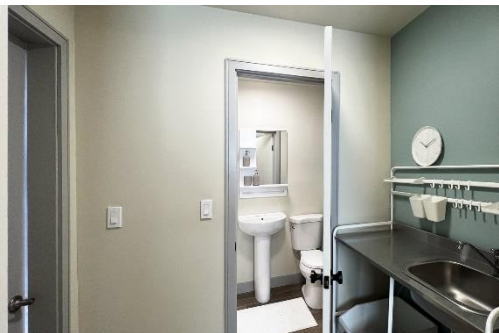
* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



* Renderings are from LifeArk's other projects. For illustrating architectural character only

LifeArk Modulares

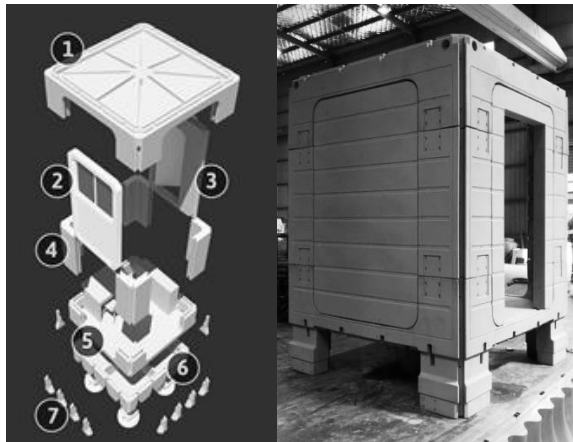
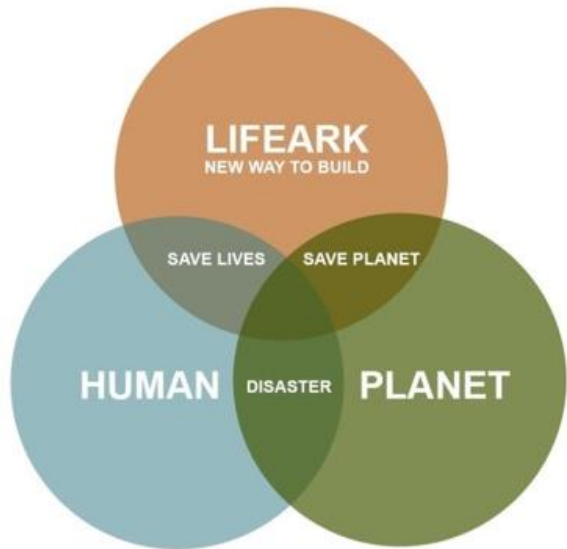


* Lifeark project photos for illustration only. Not for this project.

Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.



INNOVATING HOUSING TECHNOLOGY THAT SAVES LIVES AND THE PLANET

- LifeArk SPC was established as a California Social Purpose Corporation (SPC) with a mission to create safe, sustainable and affordable homes and shelter
- LifeArk modular system is designed to save the lives of people experiencing displacement or substandard shelter as a result of human or climate disasters
 - Shelter/interim housing for the homeless
 - Emergency relief housing
- Efficiently mass-produced, but incredibly customizable and scalable due to its kit-of-parts system
- Able to be withstand extreme disasters, such as earthquakes and flooding
- Pioneering use of plastic as load-bearing material in building housing – using plastic as a long-lived, durable product that can be used over decades rather than as a single-use disposable material that pollutes our environment
- Can use recycled plastic as raw material and gives off no harmful fumes into the environment

Lifeark Community Making By Design



From a single shelter module to community cluster then can be grown to become a larger village with communal spaces for everyone

Lifeark Emergency Shelter Deployment Process



Lifeark's Essential Cost and Time Saving System



Simple foundation system which can be anchored to any surface including compacted soil, asphalt or concrete

High under module chase space allows for all utilities to run under the crawl space to omit any expensive trenching

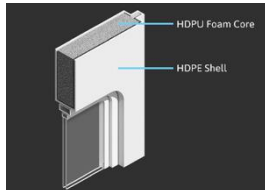
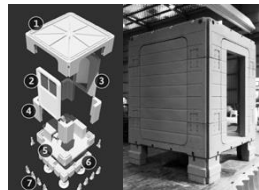
Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections

LA County Housing Innovation Challenge award-winning project

- 18 units for homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 22" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse

NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows lifeark to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% of post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills

NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolder around the world
- Most common plastic processing process but never been used in the housing construction industry

FACTORY ASSEMBLY & TRANSPORT

- Certified under ca HCD (CA Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of the building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site

SITE ASSEMBLY

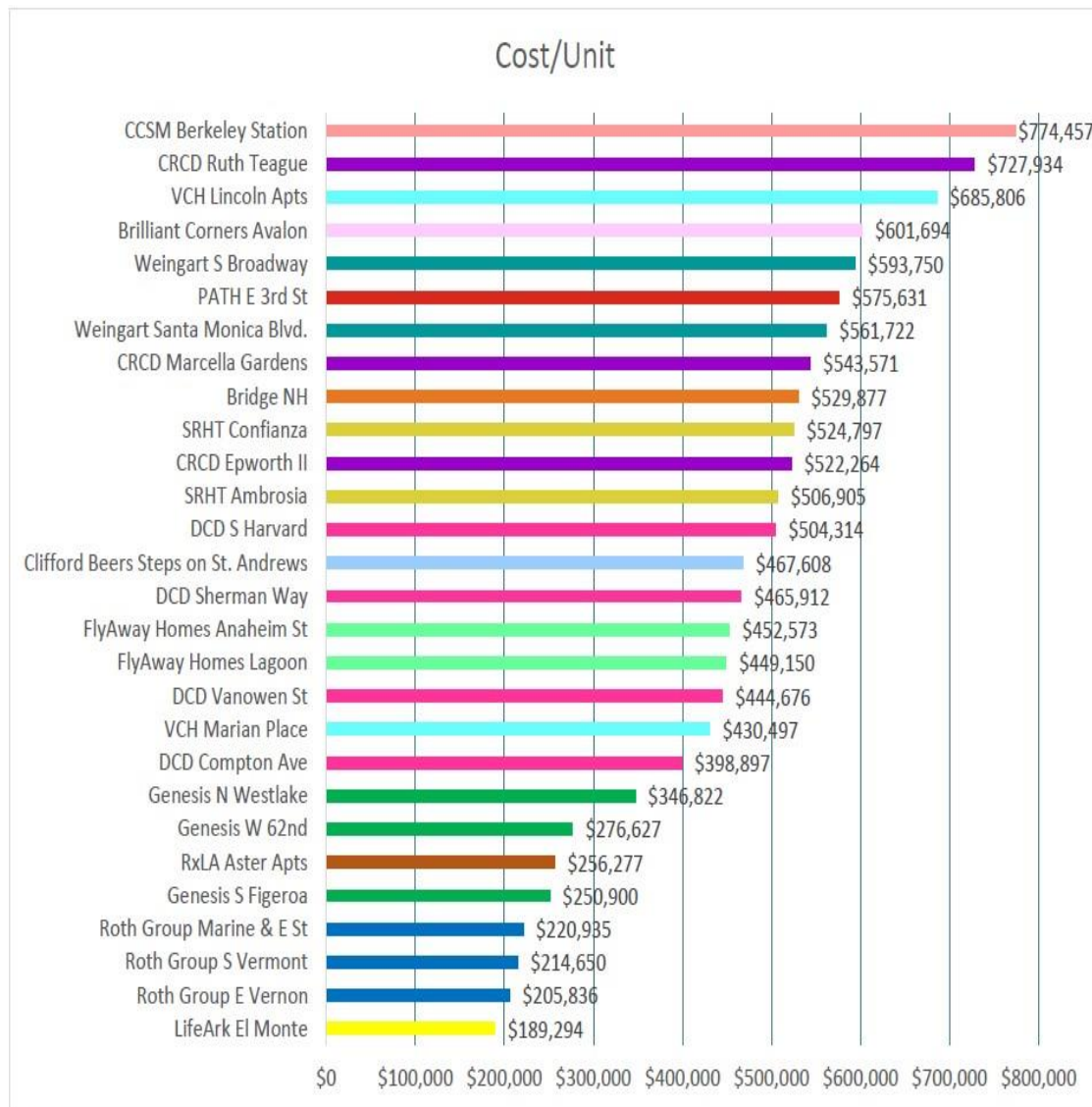
- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

PROOF OF CONCEPT PROJECT

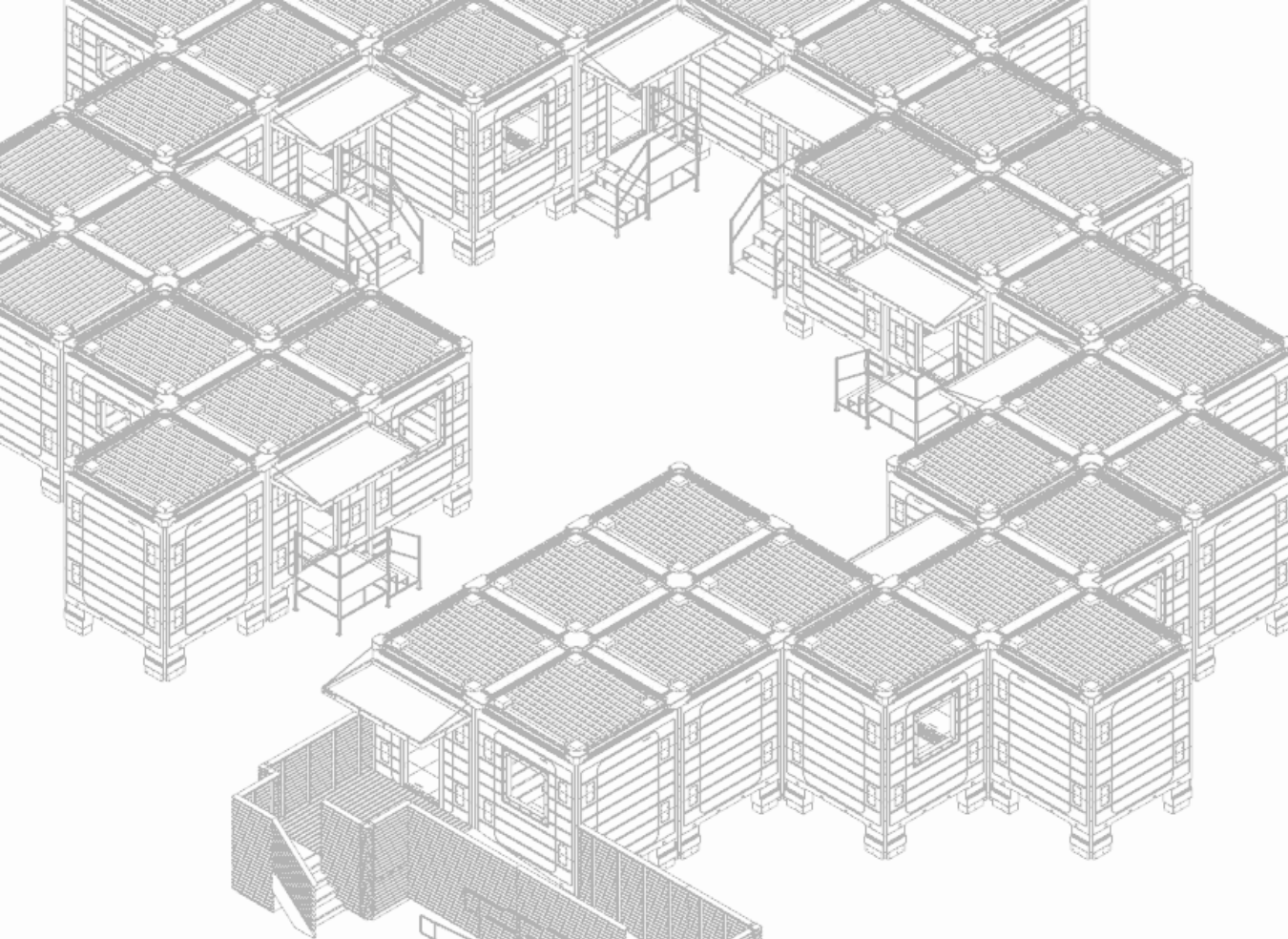
- LifeArk Tyler in the City of El Monte is LifeArk's first pilot project providing permanent supportive housing and ongoing intensive case management (ICMS) services to for 18 individuals previously experiencing homeless.
- LifeArk was a winner of the Los Angeles County Homeless Initiative's Housing Innovation Challenge
- HCD models approved by the Housing and Community Development (HCD)'s Factory-Built Housing Program
- Construction was completed in early 2022 and the very first resident moved in April 2022
- Total all-in unit cost \$190,000 per unit

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 permanent supportive housing projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit



N=28



LifeArk™

HOUSING REIMAGINED

www.lifeark.net

PRA-01-00027-SUPP2-09/29/23

85

HOME

Homekey Solutions for California's homeless crisis



CONNECT
HOMES

The leader in modern prefab homes

SAN
FRANCISCO
DESIGN
WEEK
AWARD
WINNER
2021

Connect Homes builds a home every 6 days on our assembly line

- Connect is revolutionizing construction utilizing a patented modular prefab system, dramatically reducing costs and simplifying the home building process.
- Reduces build time from 52+ weeks (conventional construction) to a matter of days.

- Built over 30 houses for people who lost homes in California Fires.
- Leading ADU provider with some of the finest “tiny home” products in space.
- Wanted to use prefab expertise to create new solution for current housing crisis.



SAN
FRANCISCO
DESIGN
WEEK

AWARD
WINNER
2021

2022 WINNER

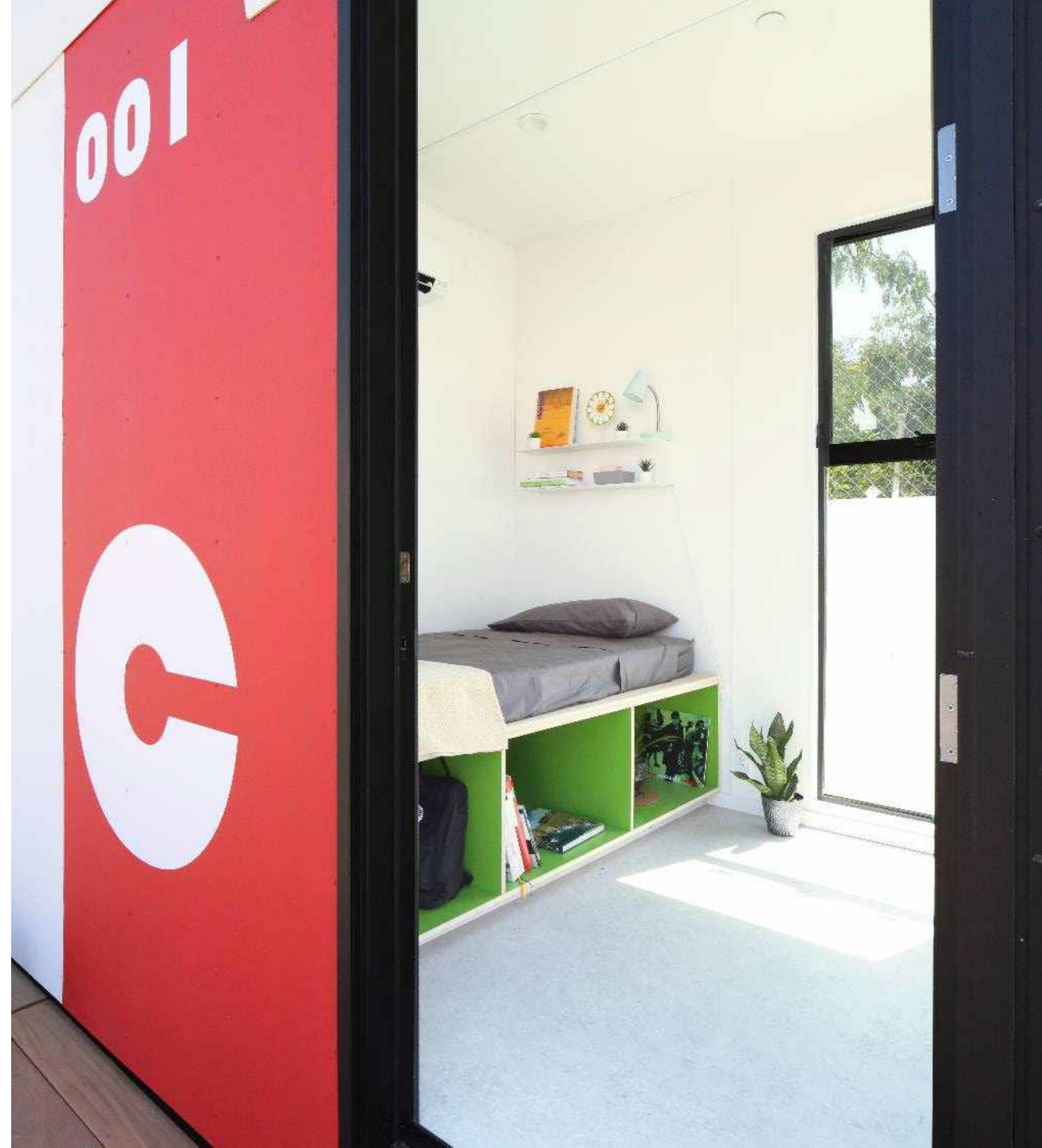
ULI AMERICAS
AWARDS FOR EXCELLENCE



Connect Shelters: a proven, rapid-deploy, Homekey-ready housing system

- Flexible line of housing products that create community while providing users privacy.
- Available in configurations from 1-4 rooms.
- Meet challenging deadlines using a provider with proven Homekey experience.
- Provide dignified, private housing for hundreds of people in a matter of a few months, not years.

- Using same principles of modern architecture, assemblies, and green features of home line.
- Permanent housing designed and built to last decades, but can be relocated as needed.
- Comes with or without private bathrooms (ADA or otherwise) and kitchens.
- Can be specified to accommodate transitional user or one that stays decades.
- Winner of 2021 SF Design Week Social Impact Award.
- Winner of 2022 ULI Americas Award (Homekey Mountain View).



A scalable platform for housing

- Easy to ship
- Patented prefab system designed for intermodal transport
- Ship 100% complete from factory for immediate use

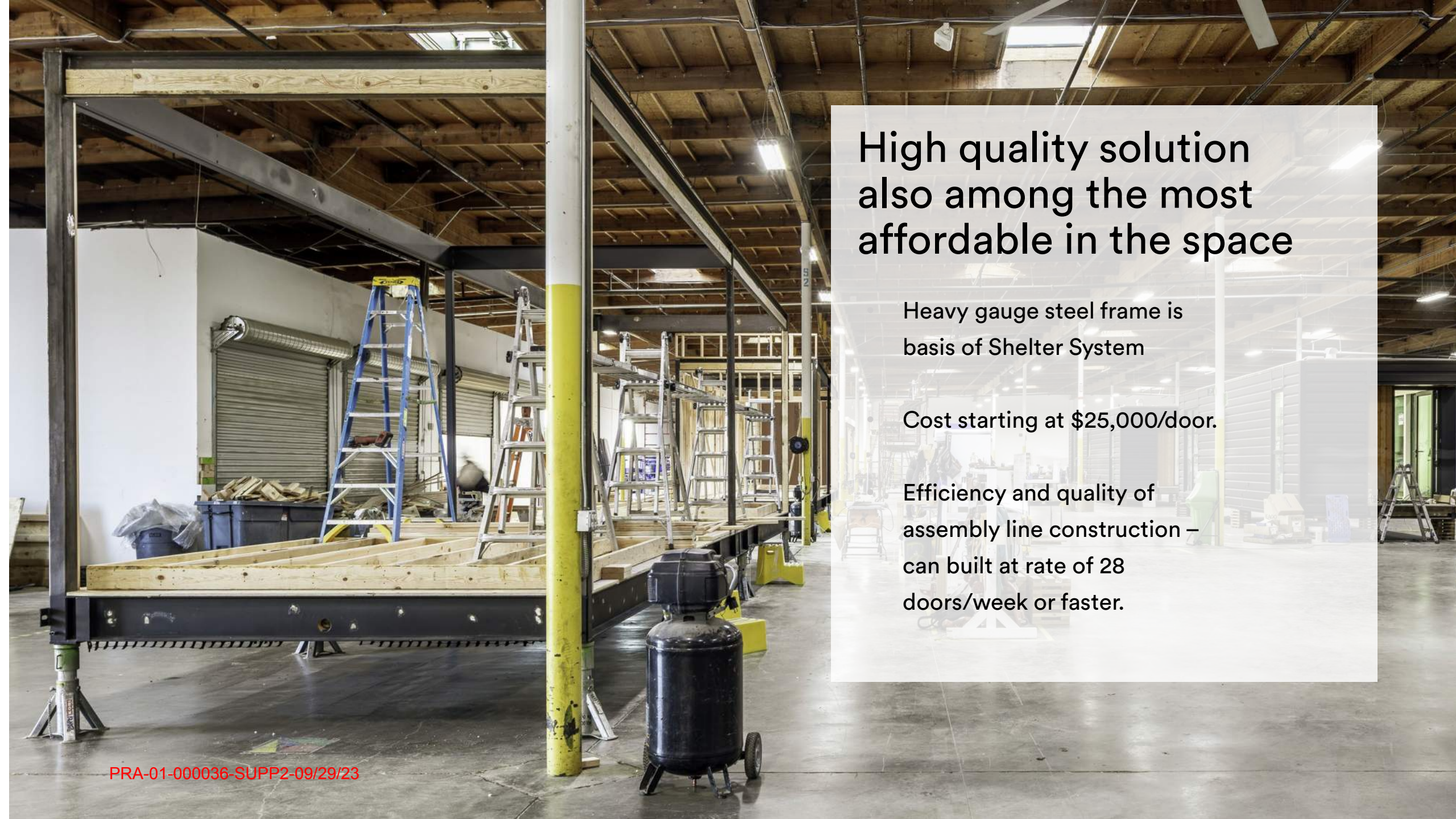


A photograph of a modern office interior. The room features a light-colored carpet, white walls, and a ceiling with a recessed fan coil unit. A long wooden desk is positioned against the back wall. Large windows on the left and right sides provide natural light and views of the outdoors. The ceiling fan coil unit is highlighted with a red square, indicating its location and function.

CEILING-CONCEALED FAN COIL FOR HEAT PUMP

Industry-leading solutions to the unique challenges of the segment.

- Utilities home-run to mechanical area mounted on back of unit. Allows maintenance of unit without disturbing occupants.
- One area to run utilities to on site for true plug-and-play.
- Condenser arrives pre-charged, ready to go.
- Most advanced and efficient heat pump and ventilation system in the industry with Zoned control, ceiling recessed fan coil, as well as ventilation to control unforeseen humidity issues.



High quality solution also among the most affordable in the space

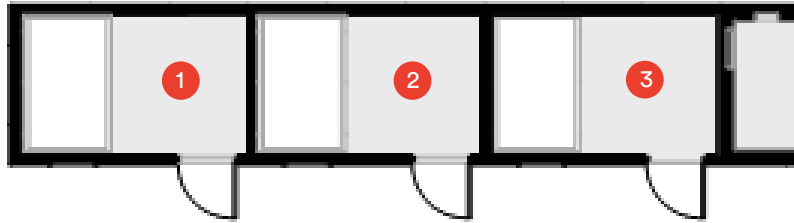
Heavy gauge steel frame is
basis of Shelter System

- Cost starting at \$25,000/door.

Efficiency and quality of
assembly line construction –
can built at rate of 28
doors/week or faster.

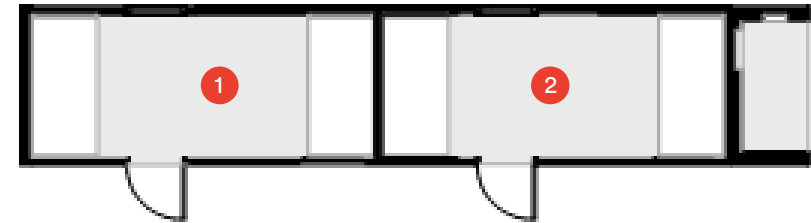
Connect Shelters – Standard Plans to flexibly address housing needs

Shelter 3



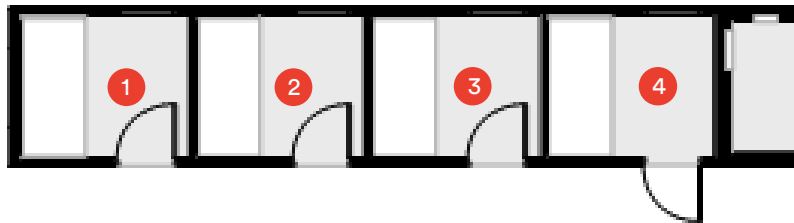
(3) private rooms, each room with individual air controls, filtration. Pricing starts at \$96,300.

Shelter 2



(2) private rooms with option for bunk beds (families), each room with individual air controls, filtration. Pricing starts at \$92,800.

Shelter 4



(4) private rooms, each room with individual air controls, filtration. Pricing starts at \$99,700.

Shelter 1

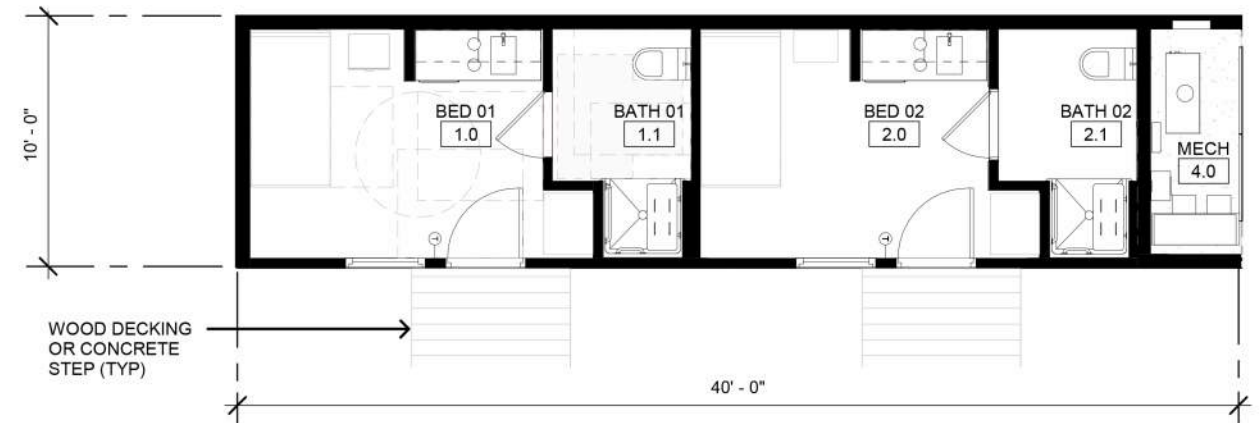


(1) private room with ensuite ADA bathroom for families. Individual air controls, filtration. Pricing starts at \$104,100.

Connect Shelters – Increasing livability with wider solutions



Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.



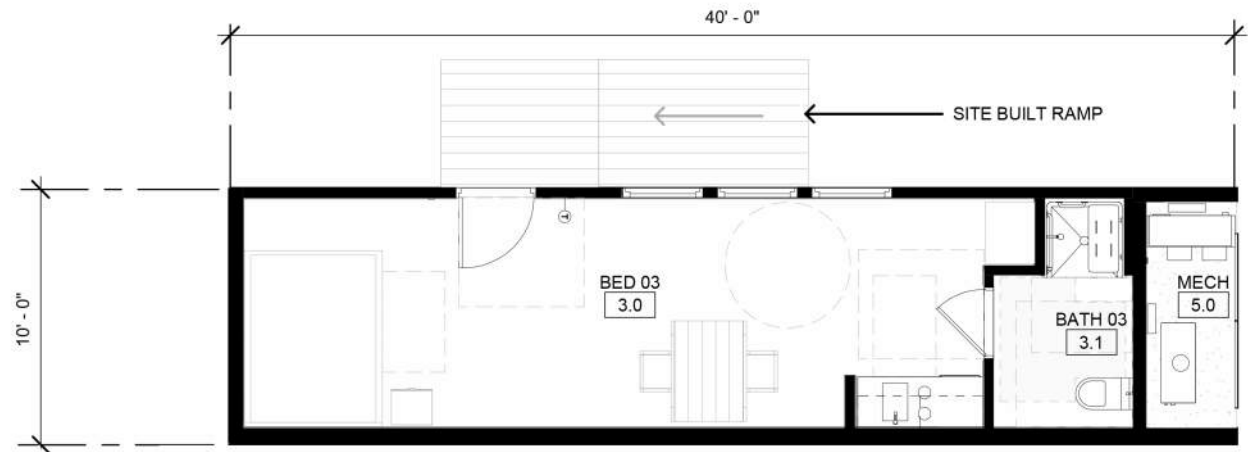
PRA-01-000038-SUPP2-09/29/23

These floor plans are shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to these standard floor plans at any time. Pricing subject to change.

Connect Shelters – Increasing livability with wider solutions



Shelter 1 Efficiency (1) private rooms with private ADA bath and kitchenette. Each room with individual air controls, filtration. Pricing starts at \$140,400.



PRA-01-000039-SUPP2-09/29/23

These floor plans are shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to these standard floor plans at any time.

Connect Shelters – Increasing livability with wider solutions

Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.





Two-story system

- Design dramatically reduces site work.
- For situations where more density required.



An aerial architectural rendering of the Homekey Victorville Wellness Center. The development features several long, single-story white buildings with colorful accents (yellow and teal) around the windows and doors. These buildings are arranged in a U-shape around a central courtyard with green lawns and trees. To the left, there is a large parking lot with several cars parked. A paved road with a white car and a pickup truck curves around the bottom right of the site. The entire development is bordered by a green landscape with trees and shrubs. The background shows a hilly, undeveloped area.

Case Study: Homekey Victorville

4.5 blighted acres transformed into a Wellness Center providing a supportive, safe, and stable environment for homeless persons and their families.



Homekey Victorville

- Victorville was initially awarded \$20 million in Homekey funds fall 2020. Manufacturer picked could not produce in time. Victorville could not utilize funds and had to reapply for Homekey Round 2 in 2021, having established Connect as provider.
- The campus features **46 Shelter Modules** - CS1, CS2, CS4s - to provide 110 rooms (170 beds) and **26 modules** to provide onsite OSPD Clinic, Cafeteria, Wellness Center, and Recuperative Center.
- Awarded \$28 million in Homekey funds December 2021.
- Contract signed March 2022 — first round of sleeping modules delivered in July 2022.

“one of the greatest challenges has been the lack of a comprehensive facility where shelter, food, and a full suite of support services are readily accessible. Our Wellness Center will bring these services together in one location to help homeless individuals stabilize and rebuild their lives .”

Mayor Debra Jones



STATION 01:
CS-088:
Module CS-088 is receiving
floor and ceiling framing.



STATION 03:
CS-078:
Module CS-078 will have roof
framing installed.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



STATION 05:
CS-07A:
Windows and exterior doors
were installed. The module is
receiving exterior siding.



STATION 06:
CS-06A:
Drywall has been installed
and the module is ready to be
taped.



STATION 06-A-B-C:
CS-03-04-05A:
Modules are in the stages of
drywall, tape, and sanding.

VICTORVILLE

JUNE 17, 2022

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HOMES®



East Entrance between Cafeteria and Wellness Center



Cafeteria view



Site Drive B view of Wellness Center and Clinic



Southwest Entrance view of Recuperative Center, Clinic, and Wellness Center

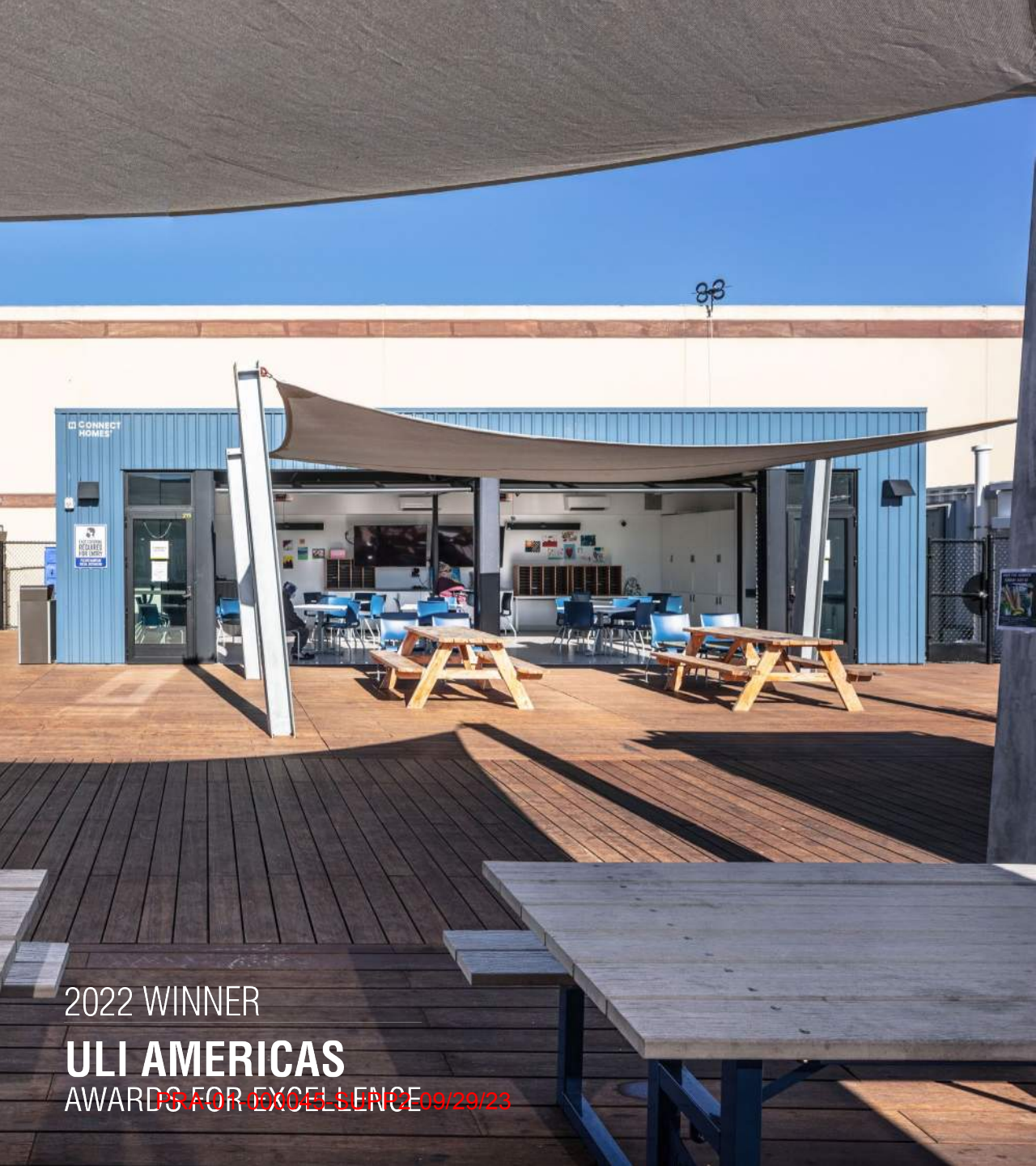


STATION 09:
CS-05A:
Gutters and interior finishes
are being installed at
station 9.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



Case Study: Homekey Mountain View

- Homekey Round 1 project duration Sep 2020 - Feb 2021.
- Produced 88 beds in the span of three months. Community Center was delivered one month later.
- Project increased Mountain View beds for those experiencing homelessness by 10x overnight by converting former car storage facility into Supportive Interim Housing

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PSA-01-02X043-LLN-09/29/23



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2022 WINNER

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FRA 01 000047-SUPP2-09/29/23






**CONNECT
HOMES®**

EXIT

Hope Lane


**CONNECT
HOMES®**


**CONNECT
HOMES®**

EVACUATION PLAN
200 LEBRON STREET
MOUNTAIN VIEW, CA

CONNECT HOMES



Case Study: Labath Landing (Rohnert Park)

- 2,700 people are experiencing homeless in Sonoma County.
- Homekey Round 2 project - 16 modules provided 60 private, dignified rooms.
- Entire project went from production start to ribbon cutting in a little over three months.
- Second Homekey Round 2 project to come online in state of California.

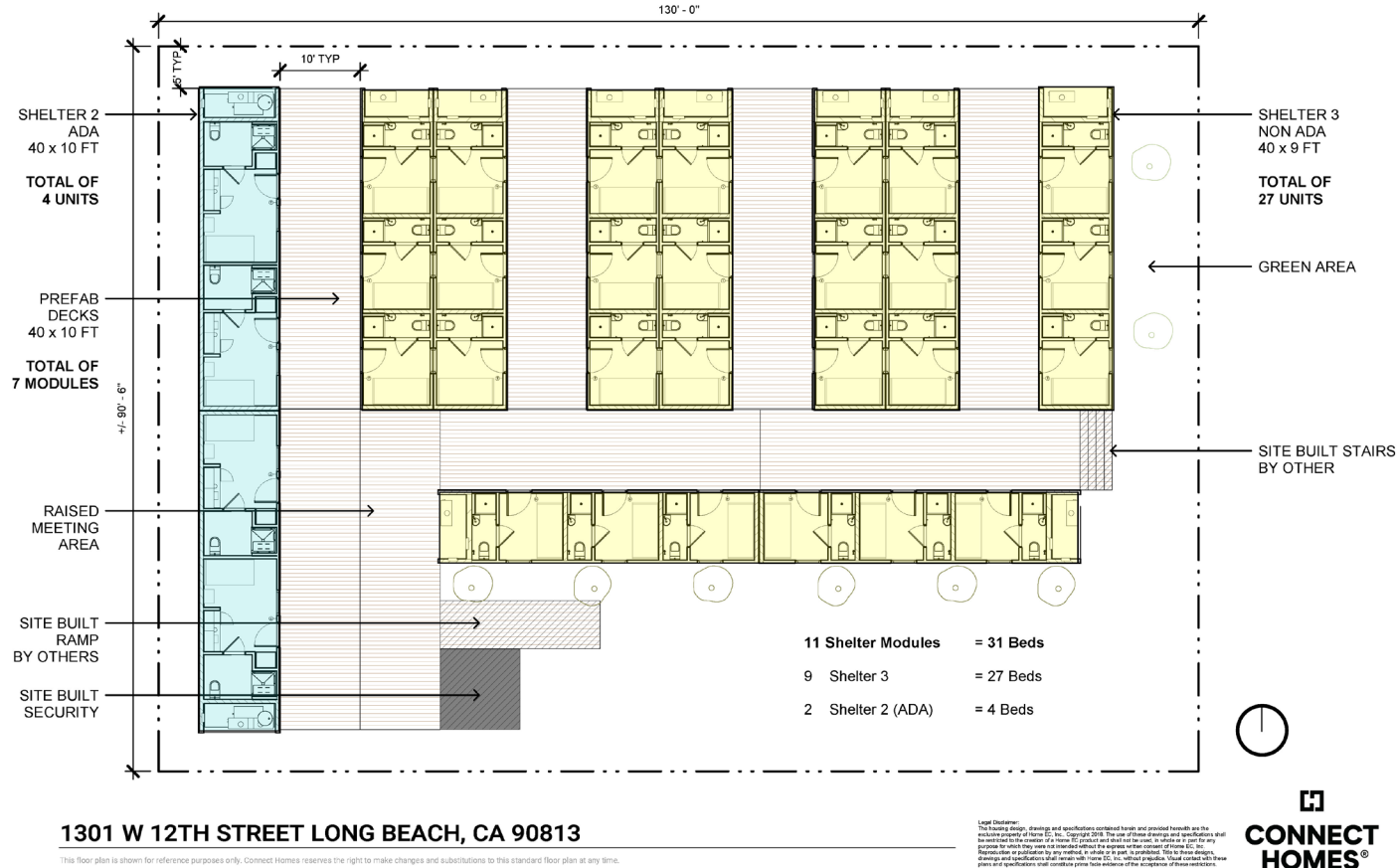




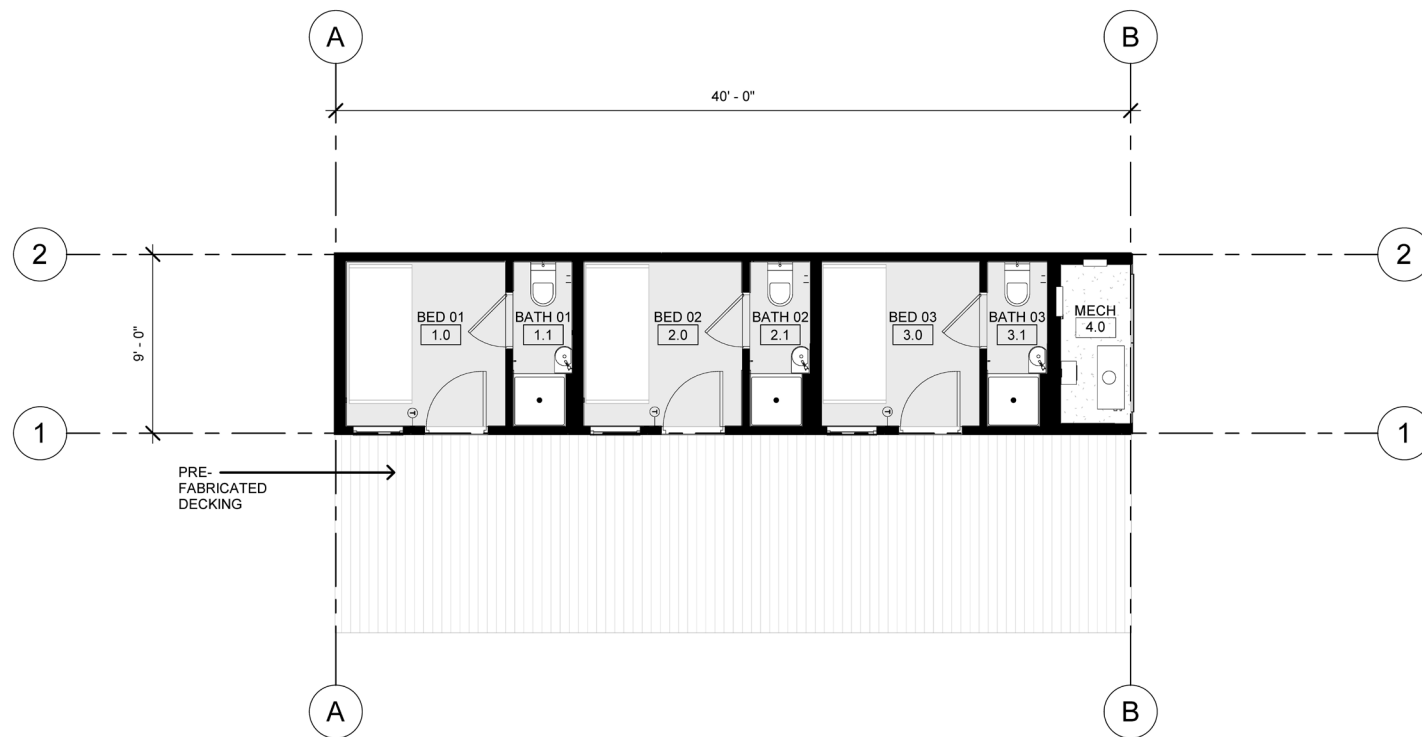
PRA-01-000050-SUPP2-09/29/23



Homekey Long Beach



- Upcoming Homekey Long Beach Project
- The campus features **34 beds** using 12 Shelter 3 modules (three sleeping rooms, each with ensuite bathroom) and 2 Shelter 2 Efficiency modules (2 larger sleeping rooms, each with ADA bathroom).
- Part of Homekey Round 2
- Connect won open RFP in November of 2022.
- Contract expected to sign at February 2023 City Council Meeting.
- Private bathrooms and wider modules enhance livability.



- Homekey Long Beach Project Connect Shelter 3's with ensuite bathrooms.

FLOOR PLAN

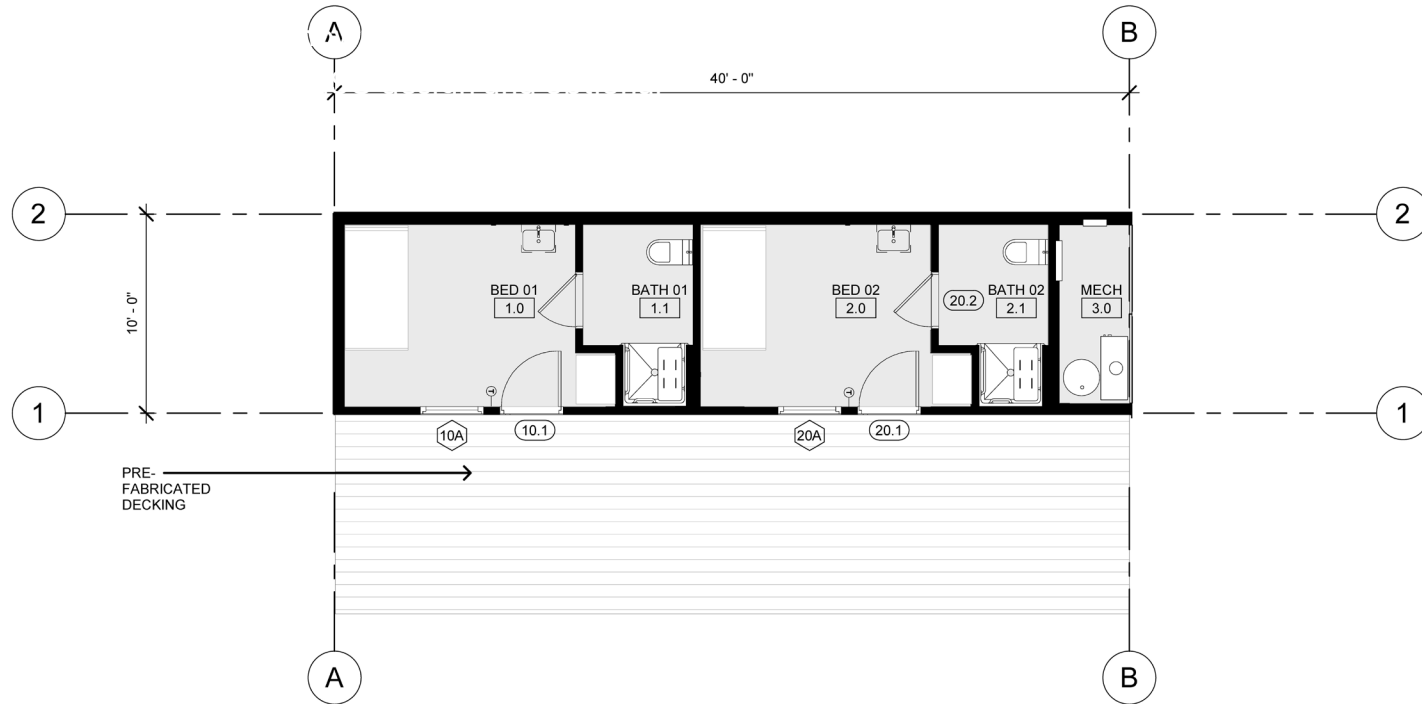
SHELTER MODEL - CS3 - 3BED/3BATH

0' 5' 10' 20'

This floor plan is shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to this standard floor plan at any time.



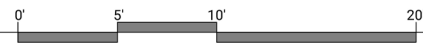
PRA-01-000053-SUPP2-09/29/23



- Homekey Long Beach
Project Connect Shelter 2
Efficiency with ensuite
ADA bathrooms

FLOOR PLAN

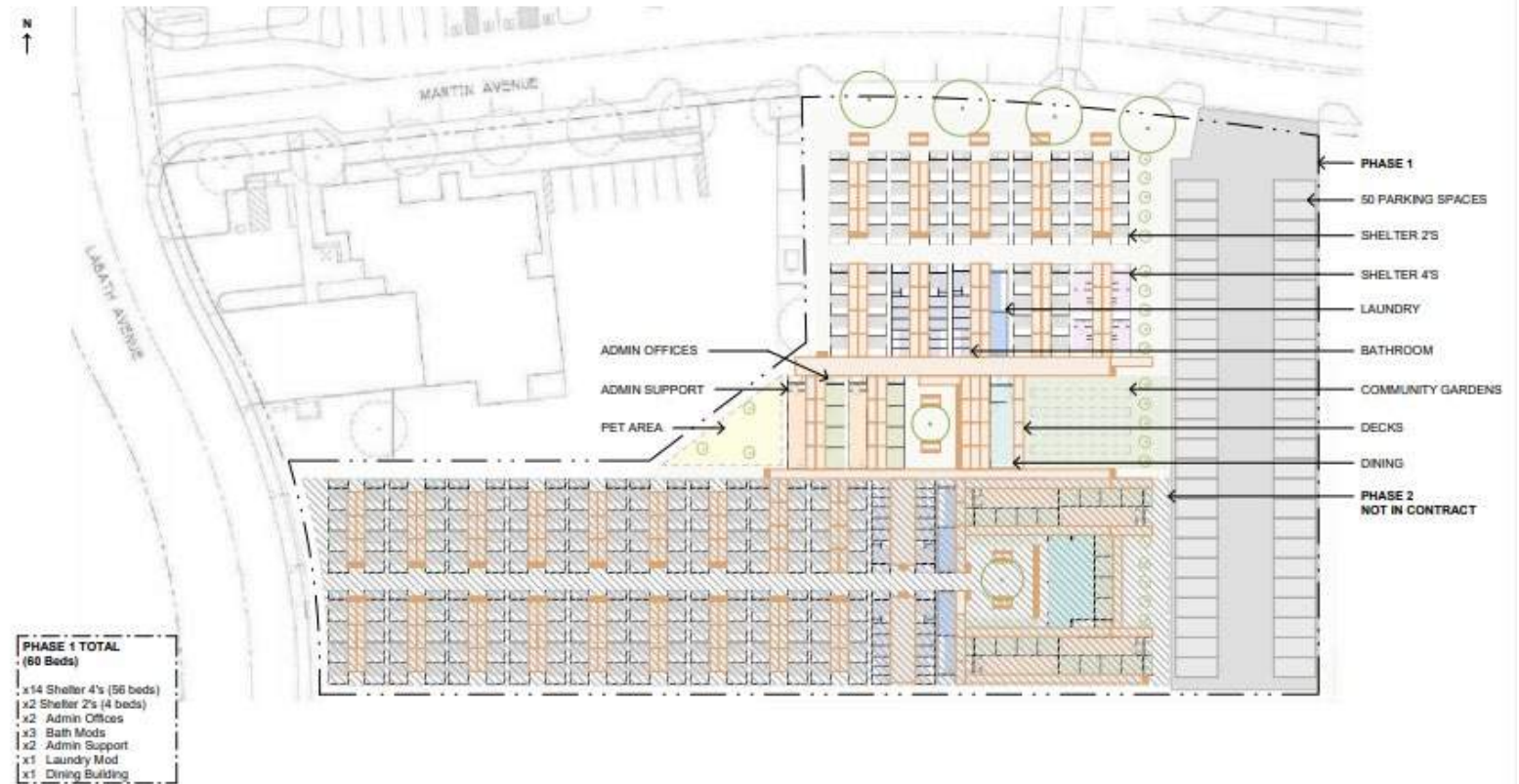
SHELTER MODEL - CS2 ADA - 2 BED/2BATH



**CONNECT
SHELTERS®**

How we can help with Homekey and beyond

- We can quickly create a schematic site plans and budget based on specific project and community goals.
- Connect you with other parties/partners to help navigate Homekey process.
- Show how Homekey projects already underway can be converted to Connect Shelter System to satisfy “unrealistic” timelines.
- Adapt Connect Shelter System to specific housing typologies.

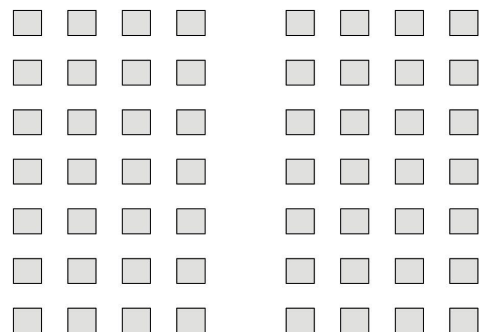




8x8 hard-sided emergency sheds weren't designed for long term use and can't be grouped because of lack of fire-resistance.

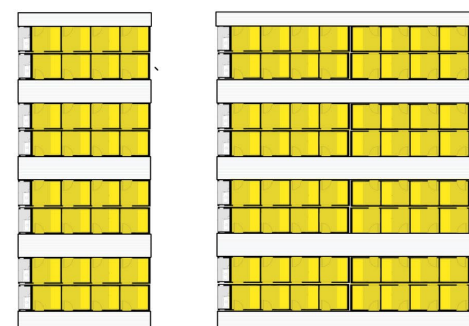


Connect Shelters come in multiple configurations and fire-resitant wall assemblies mean they can be placed back-to-back and/or stacked for increased density.



150'x 100' site showing 56 8'x8' emergency sheds, spaced 8' apart because of fire requirements.

Total sheltering: 56 beds.



150'x 100' site showing 24 Connect Shelter 4 modules.

Total sheltering: 96 beds (One Story).
Total sheltering: 144 beds (Two Story).



We can help

For Sales

Gordon Stott

Gordon@connect-homes.com

(323) 697-2386

PRA-01-000057-SUPP2-09/29/23

706 S. Hill St. STE 1060, Los Angeles, CA 90014

888 959 - 2261



Andrew Deblock <andrew.deblock@lacity.org>

2377 Midvale THV project - meeting follow up

2 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, May 15, 2023 at 4:54 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina, Erik, Ed, Annabelle, and Kendra:

Thank you so much for taking the time to meet with Team CD5 this morning regarding our forthcoming THV project at [2377 Midvale Avenue](#).

Per our conversation, I have attached herein the initial proposals submitted by Connect Homes and LifeArk. Our office has asked both vendors to provide updated plans by Friday 6/2, inclusive of the the following elements:

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

I will note that we expressly requested for designs contemplating the closure of the alley; we appreciate your continued exploration of the matter, and I have also reached out to the City Attorney's Office for guidance.

Since our meeting, I have already requested that both vendors provide potential times for us to schedule the meetings between them and CAO/LADBS/LAFD/BOE for the week of 6/5.

One outstanding request, if I may - can one of you point me to any clear documentation regarding the requirements of ADA "adaptability", and what components of the units it applies to?

If our office can help further this process in any way / make your lives less hectic, please do not hesitate to let us know.

Regards,

Zack Warma

--


Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

PRA-01-000058-SUPP2-09/29/23

3 attachments

 **230410_LA District 5_Site Plan (1).pdf**
2647K

 **Lifeark Layout.pdf**
5035K

 **Connect Shelters_brochure_23-0127_send (1).pdf**
9023K

Marina Quinonez <marina.quinonez@lacity.org>

Tue, May 16, 2023 at 9:55 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

Please ensure that your vendors are aware of the storm drain easement, this needs to be clear of any structure, movable furniture is ok.

Please see below for code information:

PUBLIC HOUSING. [DSA-AC & HCD 1-AC] Housing facilities owned, operated, or constructed by, for or on behalf of a public entity including but not limited to the following:

- 1. Publically owned and/or operated one- or two-family dwelling units or congregate residences;*
- 2. Publically owned and/or operated buildings or complexes with three or more residential dwelling units;*
- 3. Reserved.*
- 4. Publically owned and/or operated homeless shelters, group homes and similar social service establishments;*
- 5. Publically owned and/or operated transient lodging, such as hotels, motels, hostels and other facilities providing accommodations of a short term nature of not more than 30 days duration;*
- 6. Housing at a place of education owned or operated by a public entity, such as housing on or serving a public school, public college or public university campus;*
- 7. Privately owned housing made available for public use as housing.*

11B-233.1 General

Public housing facilities with residential dwelling units shall comply with Section 11B-233. See Chapter 2, Section 202 of this code for the definition of Public Housing.

11B-233.2 Reserved**11B-233.3 Public Housing Facilities**

Public housing facilities with residential dwelling units shall comply with Section 11B-233.3.

Note: Senior citizen housing may also be subject to Civil Code, Division 1. Part 2. Sections 51.2, 51.3 and 51.4.

11B-233.3.1 Minimum Number: New Construction

Newly constructed facilities with residential dwelling units shall comply with Section 11B-233.3.1.

Exception: Where facilities contain 15 or fewer residential dwelling units, the requirements of Sections 11B-233.3.1.1 and 11B-233.3.1.3 shall apply to the total number of residential dwelling units that are constructed under a single contract, or are developed as a whole, whether or not located on a common site.

11B-233.3.1.1 Residential Dwelling Units With Mobility Features

In facilities with residential dwelling units, at least 5 percent, but no fewer than one unit, of the total number of residential dwelling units shall provide mobility features complying with Sections 11B-809.2 through 11B-809.4 and shall be on an accessible route as required by Section 11B-206.

11B-233.3.1.2 Residential Dwelling Units With Adaptable Features

In facilities with residential dwelling units, adaptable residential dwelling units complying with Sections 11B-809.6 through 11B-809.12 shall be provided as required by Sections 11B-233.3.1.2.1 through 11B-233.3.1.2.6. Adaptable residential dwelling units shall be on an accessible route as required by Section 11B-206.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]



Allen Zipper <allen.zipper@lacity.org>

Briefing/Documents/Agenda for Internal Meeting re: Housing Update - Deliberative

1 message

Fernando Morales <fernando.morales@lacity.org>

Fri, Apr 21, 2023 at 10:44 AM

To: Allen Zipper <allen.zipper@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Marley Powell <marley.powell@lacity.org>, Michelle Flores <michelle.flores@lacity.org>, Patricia Macias <patricia.macias@lacity.org>, Thao Tran <thao.tran@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Good morning Team!

Apologies for the last minute Friday meeting add. Yesterday, Gary confirmed we would be moving forward with presenting Katy the LADOT lot housing site options next week (tight timeline). The current potential sites include one interim housing/modular option and three 100% affordable/supportive housing options. While at this moment, we will only be moving forward with compiling information for the Midvale and Pico site, I want to make sure everyone is aware of and keeping this in mind. The presentation completed by Zack below provides a good summary of the sites:

CD-5 Housing Interventions: Status, Next Steps

- Today's Agenda for 12pm Check-In:
 - Presentation and summary of projects
 - Siting 101
 - Run through outreach documents and next steps
 - Conversation specific to Midvale and Pico site

Our role in next steps:

CD 5 Potential Housing Sites Outreach Document

- Outreach:
 - Compile a list of stakeholders for each area by site
 - Ranking of stakeholder by influence in the community and perceived potential for support
 - Compile list of community meeting locations in the vicinity of the project
 - Compile list of likely or previously voiced community concerns and questions that we want to prepare answer for prior to any introductory conversations
 - Thoughts on the best way to begin these conversations

Information that I am making sure we have before moving forward:

- Solid and thorough TPs and Q&As that address all of the questions that we believe community members will want answered upon initial conversations
- Updated timelines for each project - motions introduced, BOE/internal processes, etc.
- That you are looped in on any high level internal conversations on the project within your area.

Looking forward to meeting at 12pm and talking about these exciting projects for CD 5!

Fernando



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff - Operations

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

PRA-01-000061-SUPP2-09/29/23

Organization	First Name	Last Name	Day Scheduled Conversation	Phone	E-mail	Address
Westside NC	Terri	Tippt				
Westside NC	Lisa	Morocco				
Westside NC	Vicki	Curry				
Westside NC	Sean	McMillan				
	Jae	Wu				
West LA Homeless	Mary	Williams				
Westside NC	Margaret	Gillespi				
Westside NC	Barbara	Broide				
WSSM	Craig	Rich				
Westside NC & WSSM	Joseph	Roth				
Westside NC	Jane	Wilshon				
Century Glen HOA	Sheida	Ashley				
Westside NC	Kim	Christensen				
Westside NC	Michael	Woods				
Westside NC	Maura	Howe				
Westside NC	Galina	Atencio				
Westside NC	Celeste	Wolfe				
Westside NC	Mary	Kusnic				
Westside NC	Allyson	Saunders				
Westside NC	Shannon	Burns				
Westside NC	Ira	Newlander				
Westside NC	Lindsay	Shea				
Westside NC	Jennifer	Wang				
Westside NC	Karriann	Farrell Hinds				
Westside NC	Joanne	Dorfman				
Westside NC	Steffeny	Holtz				
Westside NC	Jay	Jacoby				
Westside NC	Jacob	Adler				
WSSM	Bob	Cimiluca				
WSSM	Jeffrey	Ellis				
WSSM	Jim	Fawcett				
WSSM	Margaret	Healy				
WSSM	Dee	Maddock				
WSSM	Pat	Tobias				
WSSM	Nancy Rae	Stone				
WSSM	Dianne	Gregora				
West of Westwood HOA	Richard	Arnold				
West of Westwood HOA	John	Sanbrook				
West of Westwood HOA	Jennifer	Lentz				
West of Westwood HOA	Roxie	Zelden				
West of Westwood HOA	Thomas	Born				
West of Westwood HOA	Hugh	Linstrom				
West of Westwood HOA	Charles	Horwitz				
West of Westwood HOA	Dave	Holloway				
Century Glen HOA	Sara	Margoshes				
Century Glen HOA	Marsue	MacNicol				
Century Glen HOA	Mike	Glick				
Century Glen HOA	Richard	Molinare				
West LA Homeless	Jim	Pike				
West LA Homeless	Mary	Williams				
West LA Homeless	Charles	McCreary				
West LA Homeless	Anna	Speth				
Westwood Gardens HOA	Marilyn	Tusher				
Saint Timothy Catholic Church						
Temple Isaiah						
Overland Elementary						
Google						
Starbucks						
LA Care Center						
Maria's Italian Kitchen						
Gyu-Kaku Japanese BBQ						
The Backhouse						
99c store						
Westside Coalition/ Graffiti solution						
Greenway Project						
The People's Concern						
St. Joseph Center ?						
Fox						
Westfield Century Mall						
Century City Chamber of Commerce						

Organization	First Name	Last Name	Phone	E-mail	Address
One LA	Janet	Hirsch			
Venice Community Housing	Becky	Dennison			
Westside Coalition	Darci				
SCANPH					
Supportive Housing Alliance	Brad	West			
United Way / Everyone In	Sarah				
Housing Action Coalition	Todd	David			
St Joseph Center					
PATH					
LA Forward	David	Levitus			
Abundant Housing	Scott	Epstein			

Topic	Question	Response
General		
	What is IH?	
	Why do we need IH/What is the goal?	
	How long will people be there/how long will it be there?	
	What other sites did you consider in CD 5?	
	How will this affect parking?	
	Will this attract more unhoused/what is your plan?	
Security		
	Will this be a 41.18 area?	
	Will there be 24 Hour Security on Site?	
	What does it look like?	
Participants		
	Who will live here?	
	Who and how are participants chosen?	
	Will there be prioritization of local PEH?	
Funding		
	Where do the funds come from?	
Sanitation		
	Will there be additional sanitation resources for the surrounding community?	
Planning		
	Does this affect our zoning?	

123 S. Robertson Blvd, Los Angeles, CA 90048

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #703, a three-story parking structure with ground floor commercial space that provides 334 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is located on a commercial street. The rear of the property abuts a residential street with multifamily buildings. It is one block from Cedars-Sinai Medical Center.

There are three supermarkets and four pharmacies within half a mile of the site. There is one park and two schools within half a mile from the site. There are two homeless service providers within one mile of the site.

The site is served by several bus lines: Metro 14, 16, 105, 617; West Hollywood CityLine Shuttle's Local West and Local East; and LADOT Fairfax.

Owner: City of Los Angeles (LADOT)

Zoning: [Q]C2-1VL-O

APN: 4334001900, 4334001901

Lot Size: 23,669 SF



PRA-01-000065-SUPP2-09/29/23

123 S. Robertson Blvd, Los Angeles, CA 90048

Council District (5): Katy Yaroslavsky



PRA-01-000066-SUPP2-09/29/23

1036 Broxton Avenue, Los Angeles, CA 90024

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #680, a parking structure that provides 365 public parking spaces, and ground floor commercial space. LADOT may require replacement public parking in exchange for use of this site.

The site is located in Westwood Village and is surrounded by commercial uses and parking lots.

There are four supermarkets and five pharmacies within half a mile of the site. There is one park and two schools within half a mile from the site. The homeless services providers at the VA are less than one mile from 1036 Broxton.

Numerous bus lines from Metro, Big Blue Bus, Culver City Bus, LADOT, Santa Clarita Transit and Antelope Valley Transit serve this location.

Owner: City of Los Angeles (LADOT)
Zoning: C4-2D-O
APN: 4363018904
Lot Size: 29,877 SF



PRA-01-000067-SUPP2-09/29/23

1036 Broxton Avenue, Los Angeles, CA 90024
Council District (5): Katy Yaroslavsky



PRA-01-000068-SUPP2-09/29/23

2367 Prosser Avenue, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #698, a surface parking lot that provides 25 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is on a residential street, behind the commercial buildings on Pico Boulevard, south of Westwood.

There is one supermarket within half a mile of the site, and three pharmacies. There are three parks and two schools within half a mile from the site. The homeless services at the VA are roughly 1.5 miles from the site.

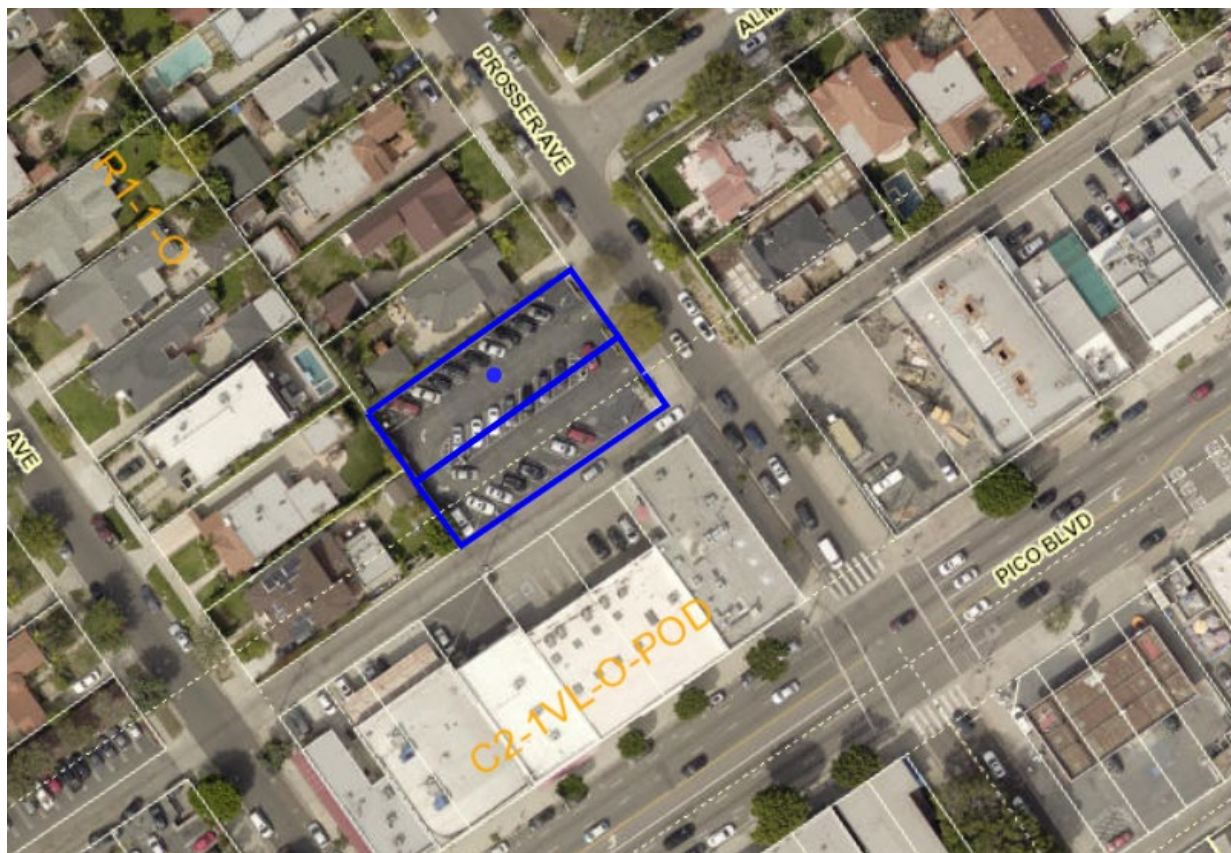
The site is well served by transit, with Big Blue Bus, Culver City Bus, and LADOT buses stopping less than one quarter mile from the site.

Owner: City of Los Angeles (LADOT)

Zoning: R1-1-0

APN: 4320013900, 4320013901

Lot Size: 12,035 SF



PRA-01-000069-SUPP2-09/29/23

2367 Prosser Avenue, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky



PRA-01-000070-SUPP2-09/29/23

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #707, a surface parking lot that provides 41 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is divided by an alleyway. On one side of the alley is an R1-1 zoned, 6,794 square foot parcel adjacent to a single family house on a residential street. The parcel that fronts Pico Blvd. is 10,666 square feet and zoned NMU(EC). The surrounding uses are commercial.

There are two schools and two parks within roughly one half mile. There are two supermarkets within one mile of the site and two pharmacies within the same distance. The homeless services at the VA are roughly one mile from the site.

A Metro Expo station is within one quarter mile of the site, in addition to stops for Big Blue Bus lines 7, R7, 8, R12 and Culver City bus line CC3.

Owner: City of Los Angeles (LADOT)

Zoning: NMU(EC) [Pico parcels]; R1-1 [rear parcel]

APN: 4322004902; 4322004903

Lot Size: 16,860 SF



PRA-01-000071-SUPP2-09/29/23

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064
Council District (5): Katy Yaroslavsky



PRA-01-000072-SUPP2-09/29/23

Olympic and Crenshaw, Los Angeles, CA 90024

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site includes an unimproved section of 10th Street and is bisected by an active driveway used by the adjacent business, a Rite Aid pharmacy. The portion of the site located west of the Rite Aid driveway is ~9,860 square feet.

The site is located in the Wilshire Park neighborhood. It is surrounded by a mix of commercial and residential uses.

There is one supermarket and two pharmacies within half a mile of the site. There are three parks and six schools within half a mile of the site. There are homeless services providers roughly one mile from the site.

Metro buses #R7, 20, 28, 210, and 720 and Big Blue Bus #7 stop within one quarter mile of the site.

Owner: City of Los Angeles
Zoning: None
APN: None
Lot Size: ~15,900 SF



PRA-01-000073-SUPP2-09/29/23

Olympic and Crenshaw, Los Angeles, CA 90024
Council District (5): Katy Yaroslavsky



PRA-01-000074-SUPP2-09/29/23



CA FACTORY BUILT HOUSING PROGRAM NOTES

1. THESE PLANS ARE SUBMITTED TO CALIFORNIA HCD DEPARTMENT UNDER THE CALIFORNIA FACTORY-BUILT HOUSING PROGRAM, IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE - HSC, DIVISION 13 — HOUSING, PART 6 — FACTORY-BUILT HOUSING AND CALIFORNIA CODE OF REGULATIONS, TITLE 25, CHAPTER 3, SUBCHAPTER 1.
2. FBH MODEL PLANS ARE NOT LIMITED TO A SPECIFIC SITE AND CAN BE INSTALLED WITHIN THE STATE OF CALIFORNIA WHEREVER THE DESIGN CRITERIA MATCH OR EXCEED SITE CRITERIA, PURSUANT TO PROVISIONS AND LIMITATIONS SET FORTH IN CALIFORNIA HEALTH AND SAFETY CODE, ARTICLES 19981 AND 19993.
3. PURSUANT TO SECTION 19981(A) OF THE HEALTH AND SAFETY CODE: ALL FACTORY-BUILT HOUSING BEARING AN INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE DEEMED TO COMPLY WITH THE REQUIREMENTS OF ALL ORDINANCES OR REGULATIONS ENACTED BY ANY CITY, CITY AND COUNTY, COUNTY, OR DISTRICT WHICH MAY BE APPLICABLE TO THE CONSTRUCTION OF HOUSING. NO CITY, CITY AND COUNTY, COUNTY, OR DISTRICT SHALL REQUIRE SUBMITTAL OF PLANS FOR ANY FACTORY-BUILT HOUSING MANUFACTURED, OR TO BE MANUFACTURED, PURSUANT TO THIS PART FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS PART OR THE REGULATIONS PROMULGATED THEREUNDER, OR FOR DETERMINING COMPLIANCE WITH ANY LOCAL CONSTRUCTION REQUIREMENT, EXCEPT AS PROVIDED IN SECTION 19993.
4. PURSUANT TO SECTION 19981(B) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING BEARING A DEPARTMENT INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE IN ANY WAY MODIFIED PRIOR TO INSTALLATION UNLESS APPROVAL IS FIRST OBTAINED FROM THE DEPARTMENT.
5. PURSUANT TO SECTION 19981(C) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING SHALL BE IN ANY WAY MODIFIED DURING INSTALLATION UNLESS APPROVAL FOR SUCH MODIFICATION IS FIRST OBTAINED FROM THE LOCAL ENFORCEMENT AGENCY.
6. PURSUANT TO SECTION 19993 OF THE HEALTH AND SAFETY CODE: (A) LOCAL USE ZONE REQUIREMENTS, LOCAL SNOW LOAD REQUIREMENTS, LOCAL WIND PRESSURE REQUIREMENTS, LOCAL FIRE ZONES, BUILDING SETBACK, SIDE AND REAR YARD REQUIREMENTS, SITE DEVELOPMENT AND PROPERTY LINE REQUIREMENTS, AS WELL AS THE REVIEW AND REGULATION OF ARCHITECTURAL AND AESTHETIC REQUIREMENTS ARE HEREBY SPECIFICALLY AND ENTIRELY RESERVED TO LOCAL JURISDICTIONS NOTWITHSTANDING ANY REQUIREMENT OF THIS PART.
- (B) LOCAL REQUIREMENTS IMPOSED ON FACTORY-BUILT HOUSING PURSUANT TO THE AUTHORITY GRANTED BY THIS SECTION SHALL NOT VARY SUBSTANTIALLY FROM THE REQUIREMENTS IMPOSED ON OTHER RESIDENTIAL BUILDINGS OF SIMILAR SIZE.

ACCESIBILITY NOTES

11B-233.3 PUBLIC HOUSING FACILITIES
PUBLIC HOUSING FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.

NOTE: SENIOR CITIZEN HOUSING MAY ALSO BE SUBJECT TO CIVIL CODE, DIVISION 1, PART 2, SECTIONS 51.2, 51.3 AND 51.4.

11B-233.3.1 MINIMUM NUMBER: NEW CONSTRUCTION
NEWLY CONSTRUCTED FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.1.

EXCEPTION:
WHERE FACILITIES CONTAIN 15 OR FEWER RESIDENTIAL DWELLING UNITS, THE REQUIREMENTS OF SECTIONS 11B-233.3.1.1 AND 11B-233.3.1.3 SHALL APPLY TO THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS THAT ARE CONSTRUCTED UNDER A SINGLE CONTRACT, OR ARE DEVELOPED AS A WHOLE, WHETHER OR NOT LOCATED ON A COMMON SITE.

11B-233.3.1.1 RESIDENTIAL DWELLING UNITS WITH MOBILITY FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, AT LEAST 5 PERCENT, BUT NO FEWER THAN ONE UNIT, OF THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS SHALL PROVIDE MOBILITY FEATURES COMPLYING WITH SECTIONS 11B-809.2 THROUGH 11B-809.4 AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

11B-233.3.1.2 RESIDENTIAL DWELLING UNITS WITH ADAPTABLE FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, ADAPTABLE RESIDENTIAL DWELLING UNITS COMPLYING WITH SECTIONS 11B-809.6 THROUGH 11B-809.12 SHALL BE PROVIDED AS REQUIRED BY SECTIONS 11B-233.3.1.2.1 THROUGH 11B-233.3.1.2.6.

ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

EXCEPTION: THE NUMBER OF REQUIRED ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE REDUCED BY THE NUMBER OF UNITS REQUIRED BY SECTION 11B-233.3.1.1.

PROJECT DESCRIPTION

MODEL DESCRIPTION

- THE HCD APPROVED PROJECT REPRESENTS A HOMELESS SHELTER OF CONGREGATE RESIDENCE FOR 33 NON-TRANSIENT OCCUPANTS. IT INCLUDES PROVISIONS FOR SLEEPING AND SANITATION BUT DOES NOT INCLUDE PROVISION FOR EATING AND COOKING. THE MODEL PROVIDES 31 SINGLE SLEEPING UNITS AND TWO ADA UNITS WITH ENSUITE BATHROOM WITH ADA ROLL-IN SHOWER IN EACH UNIT.
- PROJECT INCLUDES 400 SF ADMIN/ OFFICE UNIT FOR USE BY THE SERVICE ORGANIZATION.
- THE MODEL PROVIDES THE FOLLOWING FIRE SAFETY MEASURES THAT COMPLIES WITH THE REQUIREMENTS OF 2022 CBC
 - AUTOMATIC FIRE SPRINKLER SYSTEM ACCORDING TO NFPA 13R
 - FIRE ALARM SYSTEM
 - SMOKE AND CO ALARM
 - COMMUNICATION ACCESSIBLE FEATURES FOR THE SIGHT AND HEARING IMPAIRED

DESIGN INFORMATION

Occupancy	R-2	Type of Construction	VB
Use	Emergency Housing		
Main Floor Sq Ft	5,136 sf	Building Height	10'-11"
Basement Sq Ft	N/A	Number of Stories	1
Patio & Decks Sq Ft	N/A	Auto. Fire Sprinkler System	13R
Garage Sq Ft	N/A		

APPLICABLE CODES

National	2022 California Building Code
Electrical	2022 California Electrical Code
Plumbing	2022 California Plumbing Code
Energy	2022 California Energy Code (Title 24)
Other	2022 California Green Bldg Std. Code
Other	2022 California Mechanical Code

DESIGN CRITERIA

Roof Live/Snow Load	20 PSF	Ss	2.0g
Roof Dead Load	5 PSF	S1	1.0g
Floor Live Load	50 PSF	Sds	1.0g
Wind Speed	100 MPH \EXP C	Sd1	1.13g
Seismic Design	E	Frost Depth	N/A
Site Class	D	Climate Zone	9
Thermal Resistance	35.3 ft².hr.°F/Btu (IAPMO-ER560-3.3.5 02/2020)		
Building is not designed for wild-land urban interface fire area.			

IAPMO ER-560 NOTES

* NOTE: REFER TO PRODUCT CERTIFICATION AS RECOGNIZED BY IAPMO UNIFORM EVALUATION REPORT (UES ER 560) PUBLISHED 02/28/2020 (EXPIRATION 02/28/2024) FOR ALL DESIGN AND CODE COMPLIANCE.



MODULAR HOUSING MANUFACTURER	
NAME	LIFEARK SPC
PHONE	(626) 535-9370
EMAIL	info@lifeark.net
WEB	www.lifeark.net
PLANT LOCATIONS	MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET.



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



Revision Schedule		
#	Description	Date

PROFESSIONAL STAMP



CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
HCD MODEL
DESCRIPTION

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE

SHEET NO.

A1.02



HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL- VOLUME 1

PICO & MIDVALE WLA SITE

Submitted to Council District 5

June 2023

Gary Gero- Chief of Staff
Zachary Warma- Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
Los Angeles, CA 90012

Dear Gary and Zach,

In response to CD-5's RFP for the design concept of 2377 Midvale Ave Interim Housing Project, LifeArk is pleased to submit the following concept proposal for the interim supportive housing for homeless and at-risk population in Los Angeles Council District 5 using the LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction. LifeArk is all-in with mission to help solve the homeless crisis in our community but believe it's time to graduate from a short-term band-aid solutions. Design proposed in this submission utilizes a longer term "permanent interim housing" model which we strongly believe is a win-win solution for the CD-5 providing a much more dignified housing for the residents and a design which is much better visually for the neighborhood.

Please note that this proposal is based on the separate parcels with the diagonal easement through the south parcel. Although this existing site easement limits the number of units, we believe the proposed design uses the site well to provide a first of it's kind, long term interim housing project in Los Angeles area. The LifeArk ensuite interim plans provide each residents with a dignified housing they deserve.

Included in this proposal package is the following 3 documents:

1. Volume 1- PDF report slides focused on concept design of the project geared for your internal design review and for the community engagement programs and virtual townhall.
 - Slides are formatted to be used as a presentation slides. If needed, you can print each slides as a large presentation panels. If necessary, we will be happy to arrange for a professional printing and board mounting.
 - LifeArk team will be available to make any zoom or in-person presentation to the CD5 team and or to the public.
2. Volume 2- PDF budget report for your internal use covering the budget with inclusions and exclusions.
3. Volume 3- PDF report compiled for preliminary submission to the City for review and meeting.
 - Site plan sheet covering the CD-5 project description and key architectural summary for the city team to understand the scope of the project.
 - Preliminary HCD cover sheet with project description and all applicable compliance with code and HCD Factory Built Housing program. This will be an important information for the city team to assess the code compliance issues relating to the project.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,



Charles Wee
CEO – LifeArk SPC

Site Information

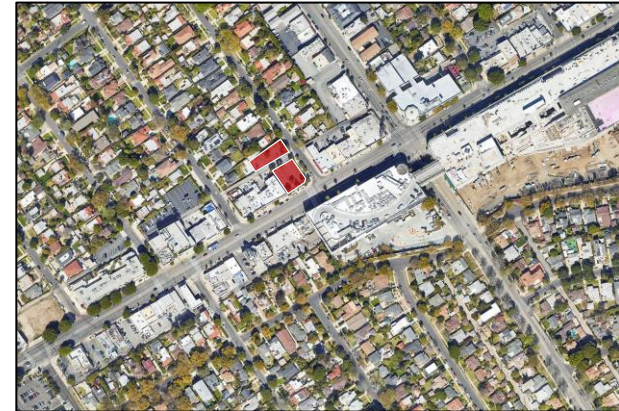
Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Existing City Parking Lot
- Located at the corner of W. Pico and Midvale split by an alley



Illustrative Context Site Plan



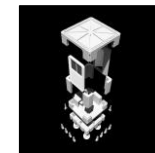
Project Context Map



Site

Design Concept

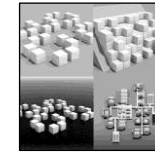
1. Lifeark's smaller 8' x 8' module footprint allows for a much more flexible massing articulation on a tight and difficult site compared to a larger, longer modular units.
2. Articulated sawtooth mirrored massing split by a diagonal easement provides an opportunity to create a dynamic, human-scale green pedestrian promenade connecting the project from North to South.
3. Lifeark modules are elevated at 28" above grade to provide an essential utility chase space, saving substantial sitework costs. At the same time, the elevated ensuite residential units connected by an upper deck provides privacy to the residents with easy access to the public community courtyard at ground level.
4. Lifeark modules are clad with horizontal slats with growing green vines to provide a lush landscaped courtyard and pedestrian promenade.
5. Continuous pedestrian circulation pathway connects staff and handicap parking to the ramp to the ADA ensuite units with the admin/office building to the south community through the green promenade all the way to the entry gate at the Pico Blvd.
6. Covered central courtyard with tables, chairs surrounded by a green walls will provide an eating and gathering space for the residents.
7. Enclosed large pet park is located at the NE corner of the promenade.
8. Storage bins for each residents are located at the SW corner of the site as well as a storage module at the NE corner behind the ADA units for the property manager and the service staff.
9. Four laundry modules (blue) are evenly distributed at each neighborhood for easy access and use.
10. Handicap and staff parking space as well as a trash enclosure are provided with access from the alley.
11. Both parcels are enclosed by a security fence with two entry and exit points. (Design of the fence for the rendering shows an open fence to illustrate the transparency of the spaces inside but more secure vertical fence can be designed.)
12. Each Ensuite unit is provided with a full private bathroom and a closet. All units are equipped with full MEP fixtures and fire sprinklers including a mini-split air conditioning and heating as well as high quality finishes at the level of permanent housing. (See unit specifications)



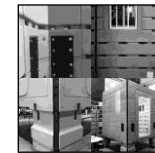
Kit-of-parts



Figure ground showing articulated massing



Massing variations



Modular parts



Utility chase



Site Plan



Courtyard



Green Promenade



View from Alley



Pico Entrance



Dog Park

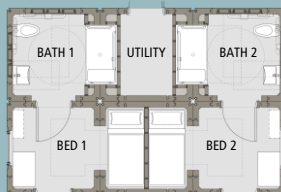


Bird's Eye View

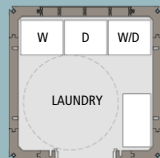
Module Plan



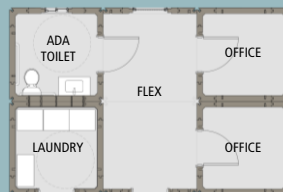
Ensuite Unit (134 SF)
2 modules



ADA Ensuite Unit
(200 SF) 3 modules
(Illustration shows double unit)



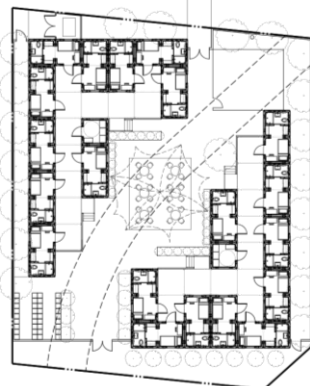
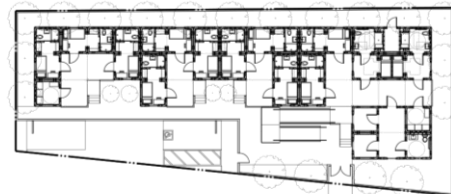
Laundry Unit (67SF)
1 module



Admin/ Office (400 SF)
6 modules

Lifemark Module Plan Concept

1. Lifemark models used in the Hope Pavilion project has been approved by HCD under a Factory Built Housing program as a permanent housing.
2. For the Hope Pavilion project, Lifemark will submit the entire project as a single R2 congregant housing project.
3. Lifemark will work with the city for other necessary permits required.
4. Each of the model plans shown above will be completely built-out with finishes and fixtures to a permanent housing specifications including a fire sprinkler system.
5. Modules will be manufactured, factory assembled under HCD program then transported to the site for final assembly and completion.
6. Lifemark has a documented lifespan of over 50 years and an appraised lifespan of 35 years by the bank.
7. Each ensuite unit is equipped with full MEP fit-out including split system A/C-heating and a fire sprinkler system.
8. Each unit interior is finished with high quality material and fixtures.



* Optional solar panel can be installed



Lifemark Single Module



Ensuite Unit Interior



Ensuite Unit Exterior Example

Site Plan



Bird's Eye View

Project Summary

Site Area				Acre		SF	
				0.38		16,340	
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF
Ensuite Unit	2	62	134	31	1	31	4,154
Ensuite ADA Unit	3	6	200	2	1	2	400
Deck				32			
Laundry	1	3	67	3			201
Admin/ Office	6	6	400	1			400
Total		77				33	5,155



PRA-01-000083-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK





Bird's Eye View

PNA-01-000084-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 1-000085-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 1-000086-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Central Courtyard

PRA-01-000087-SUPP2.09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Green-Vent Community Center
PRA-01-000088-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Dog Park PRA-01-000089-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye Context View



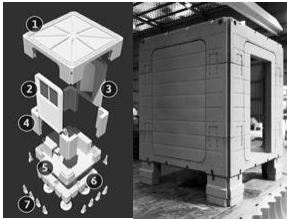
View of Hope Pavilion from the Alley

View of Hope Pavilion Entry from Pico Blvd



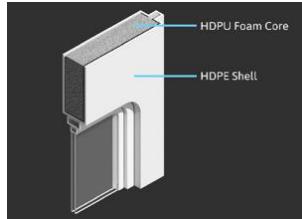
PRA-01-000090-SUPP2-09/29/23

WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 28" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse



NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows LifeArk to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills



NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolders around the world
- Most common plastic processing process but never been used in the housing construction industry



FACTORY ASSEMBLY & TRANSPORT

- Certified under CA HCD (Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site



SITE ASSEMBLY

- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

LifeArk Community Making By Design



From a single shelter module to community cluster, LifeArk can grow to become a larger village with communal spaces for all

LifeArk Emergency Shelter Deployment Process



Rotomolding

Transport

Stockpile

Factory Assembly

Site Deployment

Site Assembly

Completion

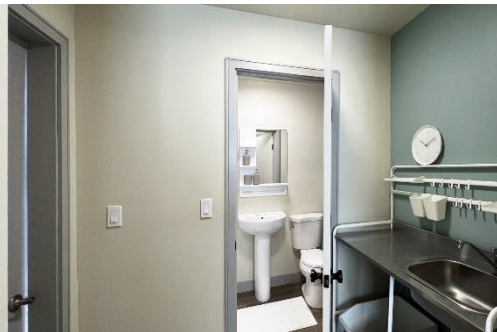
LifeArk's Essential Cost and Time Saving System



Simple foundation system that can be anchored to any surface including compacted soil, asphalt, or concrete

High under module chase space allows for all utilities to run under the crawl space and omit any expensive trenching

Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections



* Lifeark project photos for illustration only. Not for this project.

LA County Housing Innovation Challenge award-winning project

- 19-unit permanent supportive housing in El Monte, CA utilizing project-based vouchers
- 18 units for previously homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



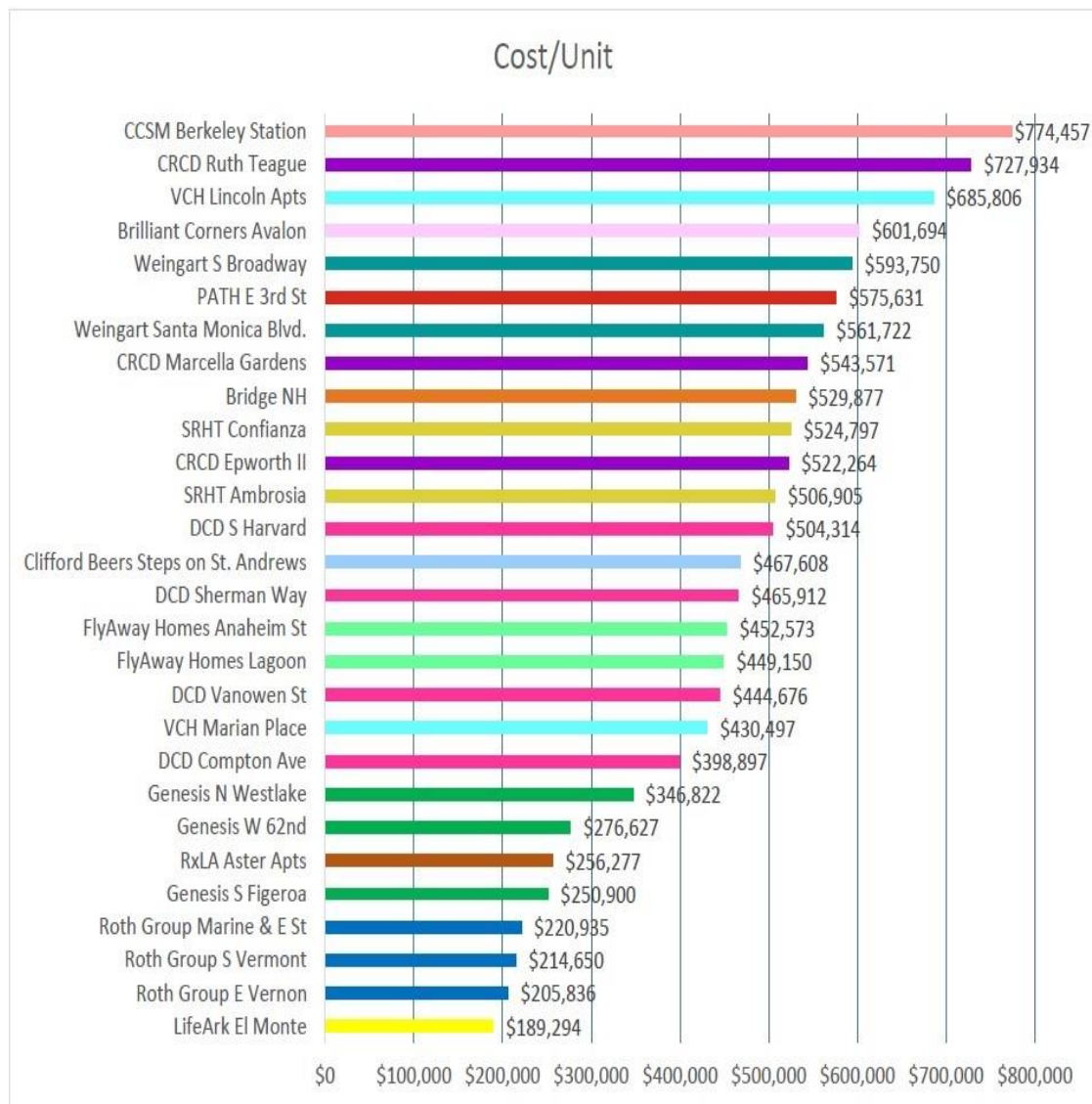
Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 **permanent supportive housing** projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit





HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL VOLUME 2- BUDGET
PICO & MIDVALE WLA SITE

Submitted to Council District 5
June 2023

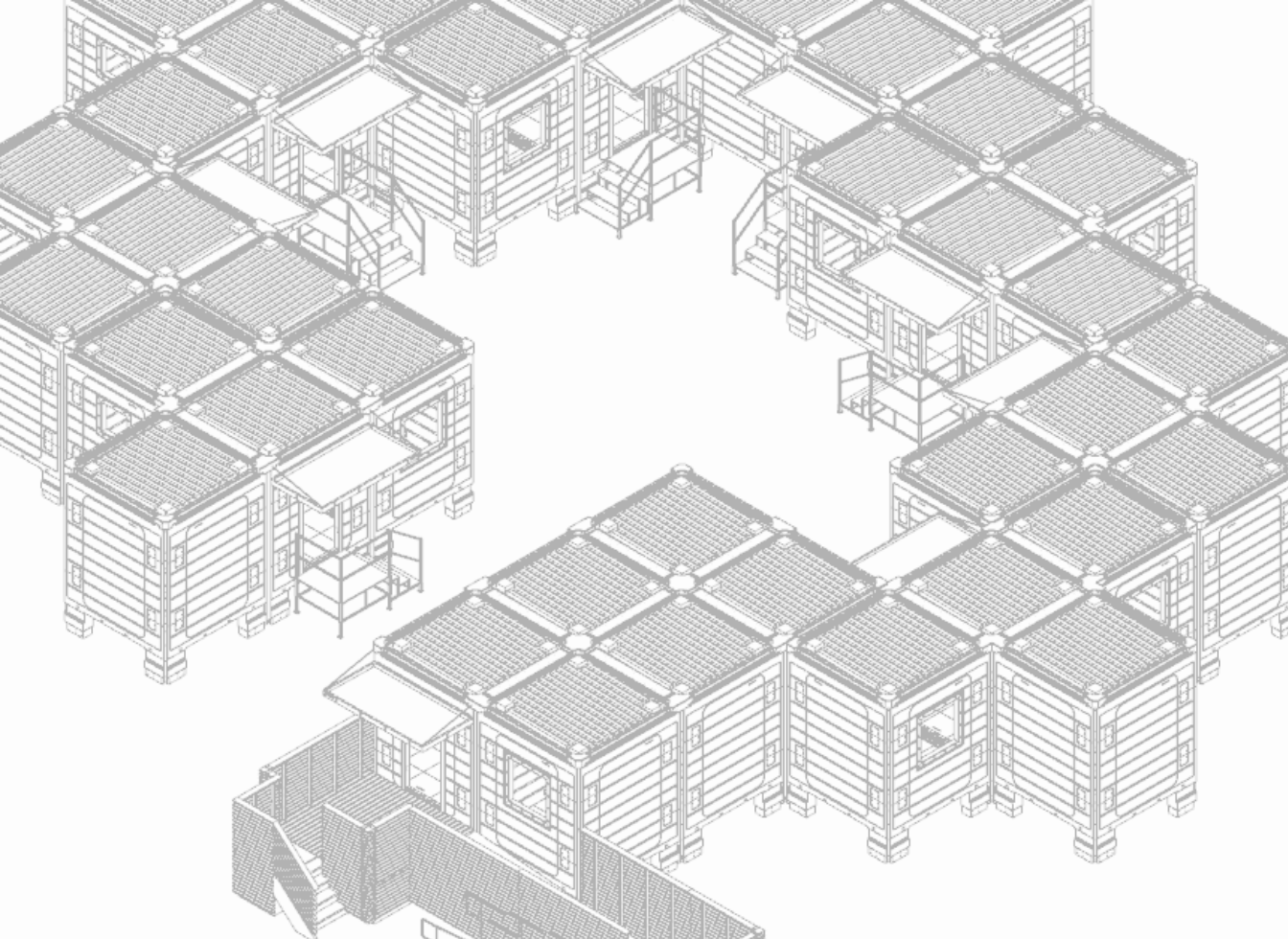
Lifeark Model	SF/ Unit	Units	Total SF	Cost/ Unit	Total
Ensuite Unit	134	31	4,154	\$ 47,000	\$ 1,457,000
ADA Ensuite Unit	200	2	400	\$ 62,000	\$ 124,000
Deck	0	33	0	\$ 4,000	\$ 132,000
Laundry Unit	67	4	200	\$ 25,000	\$ 100,000
Admin/ Office Unit	400	1	400	\$ 150,000	\$ 150,000
Total		33	5,155		* \$ 1,963,000
Cost Per Bed		\$59,485			

*** All-In Lifeark Costs including:**

1. Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)
2. Fully fitted out admin/office unit.
3. Laundry unit ready to hook up to a washer and a dryer.
4. Decks and railings (stair and ramps not included)
5. Off-The-Shelf (OTS) modular units are 90% completed when they arrive to the site. Units come with the insides finished with paint, flooring, MEP finishes, doors, and hardware. The last 10% includes connecting the units, anchoring to foundation, utilities hookup to mods & main site, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.
6. Units include mechanical HVAC mini-splits.
7. Module staging and on and off loading at the site is included.
8. Module assembly on-site and final testing.
9. A/E for all Lifeark HCD models.
10. HCD certification, permit and inspection fees

Exclusions:

1. Site work including grading, paving, gates and fences. We expect site costs to be minimized since utility connections from each unit will run above ground in the crawl space.
2. Landscaping, hardscaping, irrigation and common area amenities.
3. Stairs and ramps
4. Any demolition, repairs and/or improvements to the existing structures.
5. All city utilities including sewer, power, gas and storm drain work.
6. All trenching and repairs to the sidewalks.
7. Utility connections on site to module stub down points of connections
8. Final testing of all systems
9. Cost of land, construction financing, taxes, city fees.
10. All Permit costs including any costs for Street use, SFFD, excludes SMP and SWPPP plans.
11. A/E for the city related work.
12. The costs of testing and inspection including costs for trade permits and inspection.
13. Utility Fees, Account Setup, Power Poles, Transformers, Conductors, Etc. By Owner.
14. The handling and removal of any hazardous material is excluded.
15. The removal of any underground obstacles not shown is excluded.
16. All main power connection costs to connect to the switchgear are excluded (Paid by Owner).
17. Low Voltage Tele/Data, WiFi.
18. All Owner provided FF&E.
19. Costs for storing, double-handling or trucking owner supplied materials.
20. Appliances and furniture/
21. Central fire alarm system, PV system, emergency generator, site lighting.
22. Fire truck access.
23. Fire hydrants or other fire department improvements.
24. Owner's GL Property Insurance



HOUSING REIMAGINED

www.lifeark.net

PRA-01-000099-SUPP2-09/29/23



**CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE**

Date: February 9, 2023

To: City Departments
Interested Parties

From: Vincent P. Bertoni, AICP, Director of Planning
Department of City Planning

Osama Younan, General Manager
Department of Building and Safety *O.Y.*

Ann Sewill, General Manager
Housing Department *a.s.*

Subject: IMPLEMENTATION GUIDELINES FOR EXECUTIVE DIRECTIVE 1:
EXPEDITION OF PERMITS AND CLEARANCES FOR TEMPORARY SHELTERS
AND AFFORDABLE HOUSING TYPES

On December 16, 2022, Mayor Karen Bass issued [Executive Directive 1 \(ED 1\)](#) to facilitate the expeditious processing of Shelter projects and 100 Percent Affordable Housing Projects to address the housing and homelessness crisis in Los Angeles. Effective immediately, the project review procedures in the Department of City Planning (City Planning), the Department of Building and Safety (LADBS), and the Housing Department (LAHD) are modified in response to ED 1. As directed by ED 1, City Planning shall provide guidelines on the implementation of ED 1 related to applications and permitting processes. This memorandum provides guidance for applicants seeking to file an application for projects that are eligible for the ED 1 Ministerial Approval Process—summarizing eligibility criteria and exceptions, general procedures, project review timelines, filing requirements, City Planning fees, development standards, additional tools and resources, and contact information.

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I. ED 1 ELIGIBILITY CRITERIA

ED 1 applies to all Shelter projects and 100 Percent Affordable Housing Projects with an active or valid City Planning application or referral form filed with City Planning, and any ED 1 eligible projects under review by LADBS or LAHD. These projects shall hereafter be referred to as ED 1 projects within this memo.

For the purposes of implementing ED 1, “100 Percent Affordable Housing Project” is defined as:

A housing project with five or more units, and with all units affordable either at 80% of Area Median Income or lower (U.S. Department of Housing and Urban Development (HUD) rent levels), or at mixed income with up to 20% of units at 120% AMI (California Department of Housing and Community Development (HCD) rent levels) and the balance at 80% AMI or lower (HUD rent levels), as technically described here: A Housing Development Project, as defined in California Government Code Section (§) 65589.5, that includes 100% covenant-restricted affordable units (excluding any manager's units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by Lower Income households, as defined in California Health and Safety Code §50079.5, or that meets the definition of a 100% affordable housing development in CA Government Code §65915(b)(1)G)2, as determined by the Los Angeles Housing Department (LAHD).

This definition is limited to projects that are for rent, as opposed to affordable for-sale projects. Rent Schedules with the applicable rents by unit size and income category are maintained by LAHD and are updated annually. Rent schedules can be seen at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

As stated in ED 1, projects requiring a legislative action (e.g., General Plan Amendment, Zone Change, Height District Change) or projects seeking a deviation from development standards (e.g., adjustment, variance, specific plan exception, waiver of dedication/Improvement) are ineligible for the ED 1 Ministerial Approval Process. Projects that require consideration of a Coastal Development Permit or are subject to the Subdivision Map Act are also ineligible.

If a project changes at any time in the review and construction process such that it no longer meets ED 1 eligibility criteria, the project becomes disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1 streamlining, a new City Planning application will be required, including new referral forms, the submission of all required filing documents and payment of fees for a new project. For projects submitted to LADBS, applicants should contact the plan check engineer and supervisor to go over the changes and obtain instructions on how to proceed as a regular project outside of the ED 1 processes.

II. CITY PLANNING PROCEDURES

In order to implement ED 1, all ED 1 projects will be reviewed through the *ED 1 Ministerial Approval Process*. The ED 1 Ministerial Approval Process provides ED 1 projects with project review streamlining enhancements, shortened review periods at all stages of the City Planning project review process, and reduced filing fees. Projects eligible for the ED 1 Ministerial Approval Process may use the ED 1 Case Intake Instructions and Checklist when available to guide the preparation of project applications.

Pre-Application Timelines and Procedures

Pre-application referrals within the department shall be reviewed concurrently for ED 1 projects, provided that the request for the referrals along with the applicable materials are submitted through the City Planning's [Online Application System \(OAS\)](https://plncts.lacity.org/oas) (<https://plncts.lacity.org/oas>). City Planning affordable housing referral forms, Redevelopment Project referral forms, Project Planning referral forms, Historic Preservation Overlay Zone referral forms, and Housing Crisis Act Vesting Preliminary Applications shall be assigned to staff for review within two (2) business days of receipt of all required documents and payment of fees (when applicable). Within ten (10) business days of receiving a complete set of information, staff will either issue the applicable referrals or provide the applicant with all information required in order to issue the referrals.

Case Filing Appointments, Fees, and Requirements

Projects using the ED 1 Ministerial Approval Process may submit a City Planning application through OAS or in-person. Applications for ED 1 projects will receive priority scheduling for case filing appointments.

Visit the [BuildLA](https://appointments.lacity.org/apptsys/Public/Account) website (<https://appointments.lacity.org/apptsys/Public/Account>) to schedule an in-person or virtual appointment to file a City Planning application. Priority case filing appointments will be provided to applicants for projects that qualify for the ED 1 Ministerial Approval Process.

Case filing fees shall be set at “Administrative Review - Major,” plus surcharges, pursuant to Los Angeles Municipal Code (LAMC) Section 19.04 regardless of the number and type of City Planning requests made for the project.

A Preliminary Zoning Assessment (PZA) from the Department of Building and Safety (LADBS) and a Replacement Unit Determination (RUD) from LAHD are not required to be completed at the time of City Planning application filing. In lieu of a completed PZA or RUD, proof of filing of each will be accepted for concurrent review and must be provided in order to deem the application complete for review. Proof of filing for the PZA can include a copy of the applicable plan check application along with the assigned permit application number and the receipted invoice. Proof of filing for the RUD can include a copy of the applicable, dated RUD application along with the assigned Housing Information Management System (HIMS) number.

The public counters may be reached at planning.figcounter@lacity.org and planning.mbc2@lacity.org for information and questions on application filing requirements and procedures.

City Planning Application Timelines and Procedures

No later than thirty (30) days after a City Planning application is submitted and fees are paid, City Planning shall provide the applicant a list of all changes, amendments, corrections, amplifications, clarifications, or missing documents necessary to deem an application complete (“deemed complete date”). Ministerial ED 1 approvals shall be decided no later than sixty (60) days after the deemed complete date.

Projects eligible for the ED 1 Ministerial Approval Process shall be exempt from California Environmental Quality Act (CEQA) as a ministerial project and from Site Plan Review procedures, pursuant to LAMC §16.05 (or Project Review, pursuant to LAMC §13 B.2.4, as the Site Plan Review process will be referred to after the July 2023 operative date of Chapter 1A of the new Zoning Code). In addition, no public hearings will be required, and the Administrative Compliance Letter will not be subject to appeals.

Through the ED 1 Ministerial Approval Process, City Planning will review only the objective development standards of the Zoning Code and of any applicable Specific Plans, Redevelopment Plan, Historic Preservation Overlay Zone, Community Plan Implementation Overlay or other Zoning Overlay areas. Any requested State Density Bonus and LAMC bonuses, incentives, waivers and concessions that are allowable through the incentive programs may be used to achieve compliance with applicable objective zoning standards.

Building Permit Clearance and Case Condition Clearance Timelines and Procedures

A clearance to City Planning for Site Plan Review shall not be required for ED 1 projects during the permitting process. In addition, the LAHD affordable housing covenant required for City Planning case condition clearance shall be satisfied with a copy of the signed affordable housing covenant from LAHD at the time of building permit clearance. A copy of the final recorded

covenant shall be submitted to City Planning for inclusion in the case file upon receipt from the Los Angeles County Registrar-Recorder.

In order to obtain permit clearances from City Planning, applicants may submit a single request for all clearances through [OAS](https://plncts.lacity.org/oas) (<https://plncts.lacity.org/oas>), where the relevant staff will be notified of a request for clearance from an ED 1 project.

Priority appointments will be provided for ED 1 project applicants to complete Case Condition Clearance and/or Landscape Review and electronic stamping will be provided, when applicable.

For additional information on ED 1 implementation in the processes administered by LADBS, please refer to LADBS' ED 1 implementation guidelines, below.

Previously Approved City Planning Cases

Any previously approved projects that qualify for ED 1 streamlining will not be converted into Administrative Review cases, CEQA cases will not be terminated, and cases will not be eligible for refunds of paid fees. However, previously approved projects that qualify for ED 1 streamlining, will be eligible to receive City Planning building permit clearances or feedback within five (5) business days of applicant request and submittal of required documents and payment of applicable fees, and within two (2) business days of applicant request and submittal of required documents any any applicable fees for Shelters.

III. BUILDING AND SAFETY (LADBS) PROCEDURES

Permit Applications and Procedures

All plan check and inspection procedures will be expedited for review and approvals in the permitting and inspection process within the given applicable timelines of ED 1 and within the boundaries of state and local guidelines.

To apply for a permit for a ED 1 project, applicants can submit complete plans and supporting documents to LADBS using the online permitting system ePlanLA (<https://eplanla.lacity.org>). Once all the required application and submittal documents are submitted, a payment link will be emailed to the applicant. Once plan check fees are paid, the application is deemed complete and officially submitted. Alternatively, the applicant can submit in-person by making an appointment, although online submittals are highly encouraged. Once the plans for the project are officially submitted, the plans will be assigned to a plan check engineer within the LADBS Affordable Housing Section for review. After project review, the applicant will be notified of any comments to address, and relevant clearances will be issued to obtain approval from other Sections and other City Departments. Applicants are encouraged to reach out to the other Sections and City Departments as soon as possible to obtain clearance approvals. Once all comments are addressed and clearances approved, a permit will be issued after final permit fees are paid.

As stated in the above section, a clearance to City Planning for Site Plan Review shall not be required for ED 1 projects.

The Affordable Housing Section has highly experienced Plan Check Engineers who specialize in affordable housing projects and can provide guidance to applicants and consultants regarding the projects under their review.

Development Service Case Management

The Development Services Case Management office (DSCM) is composed of Case Managers from the Department of Building and Safety, City Planning, Department of Public Works Bureau of Engineering, Department of Transportation, and Department of Water and Power. Each project is assigned a Case Manager representing each of these departments as necessary. Case Managers work together as a team to guide a project from pre-development to completion, each providing their expertise in one of the City's major processes – permitting, City Planning approvals, public improvements, and utility design.

ED 1 projects and Shelters will receive priority scheduling of DSCM meeting requests. To schedule a meeting with DSCM, submit a Service Request Form at <https://ladbs.org/services/special-assistance/dscm>.

Inspection Timelines and Procedures

After a permit has been issued, Contractors can schedule inspections online at <https://ladbs.org/services/core-services/inspection> or by phone. Inspections happen at various stages of construction to ensure compliance with the approved plans. Once the construction is complete and all clearances/approvals are obtained from the City Departments, a Temporary Certificate of Occupancy or a Certificate of Occupancy will be issued.

IV. HOUSING DEPARTMENT PROCEDURES

For all ED 1 projects, the following processes in LAHD will be expedited and simplified wherever possible: (1) Replacement Unit Determinations (RUDs), (2) Affordability Covenants, and (3) Accessible Housing Program (AHP) Accessibility Plan Review and Clearances.

Replacement Unit Determinations

ED 1 applies to the RUD process required by the Housing Crisis Act of 2019 (California Senate Bills 330 (SB 330) and SB 8). In order to expedite the RUD, LAHD will utilize a simplified RUD application and review process, implement concurrent review of a RUD application, and

implement other related process improvements. These improvements apply to applications already in process, as well as any applications submitted for ED 1 projects going forward.

RUD Process Streamlining

- A. **Prioritization of ED 1 Projects:** Land Use Unit staff is responsible for processing RUD applications for both ED 1 projects as well as projects that are not eligible for ED 1 streamlining. Therefore, staff will prioritize and closely track ED 1 projects in order to meet expedited timelines.
- B. **Concurrent Review:** Applicants for ED 1 projects may now apply for RUDs at the same time as applying for review by the City Planning, instead of waiting for the RUD to be approved by LAHD in order to submit their application to City Planning. Processing of RUDs will be undertaken concurrently with City Planning application reviews and completed prior to the issuance of an Administrative Compliance Letter from City Planning.
- C. **Vacancy Verification:** Because all units to be demolished in an ED 1 project will be replaced with a project that is 100% affordable per the definition of an ED 1 project, LAHD will no longer require verification of vacant units through correspondence with the Los Angeles Department of Water and Power (LADWP).
- D. **Simplified requirements and forms.** Land Use Unit staff have revised forms for easier understanding and completion to confirm the level of affordability for required replacement units. Tenants can now complete the Tenant Declaration form by indicating their monthly income without the need to submit backup income documentation. Additionally, LAHD has prepared FAQs and will make them available to tenants to address the most commonly asked questions regarding the process and information needed to ensure the replacement unit requirements satisfy applicable law.

Affordability Covenants

City-subsidized or incentivized projects must record a covenant to guarantee the affordability of the housing units provided for the duration of the covenant period, which is typically 55 years. In order to expedite the covenant processing timeline, LAHD will utilize a simplified application process and implement concurrent review and processing, among other related process improvements. These improvements apply to applications already in process, as well as any applications submitted for ED 1 projects going forward.

Affordability Covenant Process Streamlining

- A. **Prioritization of ED1 Projects:** Land Use Unit staff is responsible for processing Affordability Covenant applications for both ED 1 projects as well as projects that are not eligible for ED 1 streamlining. Therefore, staff will prioritize and closely track ED 1 projects in order to meet expedited timelines.
- B. **Concurrent Review:** Applicants for ED 1 projects may now apply for both the RUD and Affordability Covenant at the same time, at the beginning of an ED 1 project's review process. This will allow Applicants for ED1 Projects to apply for necessary

LAHD review at the same time as applying for their building permit or City Planning review, as applicable. Because the Affordability Covenant requirements must match the final mix of affordable units proposed for a project, the specific terms of the covenant, such as the number of and level of affordability for the covenanted units, will be finalized upon issuance of a final City Planning or LADBS approval for an ED 1 project, and will be in place prior to the commencement of construction.

- C. **Standardization of Affordability Covenants:** Terms and conditions for affordability covenants will be standardized to the extent feasible for each funding and regulatory source that requires an affordability covenant to be recorded.
- D. **Affordability Covenant Recording:** City Planning will accept an unrecorded covenant with Owner/Applicant's signature, instead of requiring a final recorded covenant before issuing City Planning clearance for an ED 1 project applicant's building permit clearance. This will allow other steps in the development process to proceed while the covenant is recorded.

Accessible Housing Program

The City's AcHP applies to specified housing development projects that are, in main part, financially supported with City funding or financed with state or federal funds through a program administered by the City (Covered Housing Projects). These Covered Housing Projects must comply with the requirements of AcHP, which include compliance with the terms of the Corrected Settlement Agreement (CSA) between the City and private plaintiffs (CSA), the terms of the Voluntary Compliance Agreement (VCA) between the City and HUD, and local, state, and federal accessibility standards. These requirements are identified at the plan review stage, and all Covered Housing Projects must show compliance with applicable accessibility requirements in their approved plans prior to receiving building permits. Once under construction, a Covered Housing Project must be built in compliance with the approved plans and in accordance with the applicable accessibility requirements. Therefore, a Covered Housing Project must receive AcHP clearance prior to the issuance of a Temporary Certificate of Occupancy (TCO) and approval through AcHP confirming the project as in compliance with the CSA and VCA prior to receiving a final Certificate of Occupancy (COO).

AcHP staff will expedite the review and approval process for accessibility plans, expedite clearances for TCOs, and expedite the process for final COO approvals. This will accelerate the construction and occupancy of ED 1 projects that are also Covered Housing Projects, while still enabling the projects to meet the requirements of the CSA and VCA.

Accessibility Plan Review and Approval Process Streamlining

Review and approval of plans for compliance with the accessibility requirements that apply to projects covered by AcHP will be undertaken concurrently with the plan review process of other City departments whenever feasible unless sequential review is requested by the applicant. The following steps and timeframes will apply to the AcHP Accessibility Plan Review process:

1. Screening and Assignment of Accessibility Plan Review Package - 8 Business Days. Applicants shall submit a complete Accessibility Plan Review package to AcHP in order for accessibility plan review to proceed. To ensure application packages are complete, within 8 business days of the initial submittal, AcHP will assign a lead staff person, conduct a screening review of the materials, and inform the applicant for an ED 1 project of any missing or incomplete materials necessary to conduct the full Accessibility Plan Review. Applications for Accessibility Plan Review shall be submitted electronically via lahd.retrofit@lacity.org and, to trigger concurrent review, shall be submitted to AcHP at the same time as submitted to LADBS or any other department for that department's plan review. A complete Accessibility Plan Review package shall include:
 - a. 80-100% construction documents (plans),
 - b. Accessibility design review by the ED1 Project's Certified Access Specialist (CAsp),
 - c. Technical Services Request Form (TSR), and
 - d. Copies of any applicable loan applications or funding source documents necessary to verify the accessibility standards that apply to the project, including documentation of Enhanced Accessibility Program features where applicable.
2. Full Accessibility Plan Review - 25 Business Days. Within 25 business days after a complete Accessibility Plan Review package is submitted, assigned AcHP staff will complete the review of the Accessibility Plan Review package, and prepare necessary corrections for the ED 1 project. The corrections will be transmitted to an AcHP supervisor for review and confirmation prior to release to the ED1 Applicant.
3. Supervisor Review and Release of Corrections to Applicant - 5 Business Days. Within 5 business days after the completion of the full Accessibility Plan Review, the AcHP supervisor shall review the materials, and the corrections shall be provided to the applicant. Corrections are issued directly to the ED 1 project applicant.

Corrections shall be made by the applicant for an ED 1 project and returned directly to the AcHP staff assigned to the ED 1 project. When corrections are complete and accessibility plans are ready to be approved, AcHP staff will sign and/or stamp the plans electronically to indicate approval.

TCO Clearances and COO Approvals Process Streamlining

TCO Clearance

Clearances are required from AcHP prior to issuance of a Temporary Certificate of Occupancy (TCO), which is a necessary step for tenants to occupy ED 1 projects. During construction of an ED 1 project, the City's Neutral Accessibility Consultant (NAC), which is the accessibility expert retained by the City pursuant to the terms of the CSA and VCA, will inspect the ED 1 project and issue any necessary corrections to ensure compliance with applicable accessibility requirements. These inspections are concurrent with other construction progress inspections of the project.

It should be noted that final inspection and verification by the NAC is not a precondition for AcHP to issue its clearance for a TCO. Therefore, AcHP staff will issue a clearance for a TCO within 5 business days of receiving a complete request for a TCO from an applicant for an ED 1 project.

The NAC will concurrently conduct any necessary reinspections of the ED 1 project to confirm corrections have been made in accordance with applicable requirements.

COO Approval

Approval of a COO for an ED 1 project that is a Covered Housing Project does require verification of compliance by the NAC. The verification by the NAC is required in order to confirm compliance with the City's obligations to provide a specified number of accessible units pursuant to the terms of the CSA and VCA. The NAC's verification is a precondition for the City to be able to certify accessible units as in satisfaction of our settlement obligations.

In order to expedite approval of a COO, AcHP staff will schedule the NAC for any necessary site reinspection within 5 business days of a request by an applicant for an ED 1 project to inspect the corrections made. If no further corrections are required as a result of the reinspection, within 5 business days of the NAC's reinspection, the NAC will issue a report indicating there are no further deficiencies. Upon receipt of that report, AcHP staff will issue AcHP approval for the COO.

LAHD Contacts for ED 1 Projects

For questions or further information regarding RUDs or Affordability Covenants, applicants should contact Lahd-Landuse@lacity.org, and indicate "ED 1 Project" in the subject line.

For questions or further information regarding AcHP or to submit an application for AcHP Accessibility Plan Review, applicants should contact lahd.retrofit@lacity.org.

V. DEVELOPMENT STANDARDS, TRIBAL CONSULTATIONS, AND LABOR STANDARDS

Density

ED 1 projects shall utilize the maximum allowable base density under the zoning ordinance, specific plan or zoning overlay, or General Plan land use designation. Affordable, set-aside units required through either a Density Bonus or TOC request will be calculated based on the maximum allowable density. To determine a project site's applicable zone, specific plan, overlay and General Plan land use visit the [ZIMAS](http://zimas.lacity.org/) (<http://zimas.lacity.org/>) website under the "Jurisdictional" and "Planning and Zoning" tabs.

Parking

Parking reductions may be applied to ED 1 projects consistent with the affordable housing program being utilized, including Density Bonus, Transit Oriented Communities (TOC), and Qualified Permanent Supportive Housing (QPSH) programs. 100 percent affordable housing projects utilizing Density Bonus law (Assembly Bill [AB] 2345) and located within ½ mile of a major transit stop are not required to provide any parking spaces. Housing development projects utilizing

any affordable housing program and located within ½ mile of a major transit stop are not required to provide any parking spaces pursuant to AB 2097.

AB 2097 eligibility is available on the [ZIMAS](http://zimas.lacity.org/) (<http://zimas.lacity.org/>) website under the “Planning and Zoning” tab.

Height

In addition to height incentives available under various affordable housing incentive programs, AB 2334 (2022) amended State Density Bonus Law to allow projects in a “very low vehicle travel area” to be eligible for an additional three stories, or 33 feet in height. Check the “Planning and Zoning” tab on [ZIMAS](http://zimas.lacity.org/) (<http://zimas.lacity.org/>) website to find out if a specific site is located in a “very low vehicle travel area,” and contact City Planning’s Affordable Housing Services Section (AHSS) for information on incentives provided by this law. Contact information is provided below.

Vesting of City Ordinances, Policies, and Standards

An ED 1 project may qualify for vesting of City ordinances policies and standards through either the submittal of plans sufficient for a complete plan check to LADBS, consistent with LAMC §12.26-A.3 or the submittal of a complete Housing Crisis Act (HCA) Vesting Preliminary Application prior to case filing. The vesting provisions that apply to projects associated with the SB 35 Ministerial Approval Process, a legislative action or a subdivision do not apply to ED 1 projects.

Tribal Consultations and Labor Standards

AB 168 Tribal Scoping Consultations for SB 35 projects and AB 52 tribal consultations do not apply to projects using the ED 1 Ministerial Approval Process. The labor provisions of Section 403 of the SB 35 Guidelines and Los Angeles Municipal Code §11.5.11(i) for projects requiring a legislative action also do not apply to projects using the ED 1 Ministerial Approval Process.

VI. ADDITIONAL RESOURCES AND TOOLS

In an effort to fully implement ED 1, City Planning is making the following technology updates to existing online resources to further enhance usability for City staff and applicants:

Executive Directive 1 (ED 1)

[*Executive Directive No. 1 – Expedition of Permits and Clearances for Temporary Shelters and Affordable Housing Types*](#) was signed by Mayor Karen Bass and issued on December 16, 2022. ED 1 aims to expedite project and funding approvals for eligible ED 1 projects

ED 1 Web Map

The citywide ED 1 web map locates all ED 1 projects that filed a City Planning case or a LADBS plan check application. The web map also provides links to project descriptions and status and other relevant map layers.

ED 1 City Planning Case Filing Instructions and Intake Checklist

The ED 1 case filing instructions will provide relevant information and requirements applicable only to projects to be reviewed through the ED 1 Ministerial Approval Process.

ZIMAS

City Planning's [Zoning Information and Map Access System \(ZIMAS\)](http://zimas.lacity.org/) (<http://zimas.lacity.org/>) is a web-based mapping tool that provides zoning, ED 1 and an array of site-specific information to help with making informed land use decisions. [Additional information and tutorials on ZIMAS](https://planning.lacity.org/zoning/zoning-search) (<https://planning.lacity.org/zoning/zoning-search>) are available on the City Planning department website.

Online City Planning Submissions

The [Online Application System](https://plncts.lacity.org/oas) (OAS) (<https://plncts.lacity.org/oas>) can be used to submit a request for relevant referral forms processed by City Planning, as well as application submissions, building permit clearances, and case condition clearances.

In-Person Submissions and Informational Appointments

In-person filing appointments and informational meetings with City staff can be made through the [BuildLA appointment system](https://appointments.lacity.org/apptsys/Public/Account) (<https://appointments.lacity.org/apptsys/Public/Account>).

City Planning Fee Estimator

Obtain an estimate of City Planning fees using the [City Planning Fee Estimator](https://planning.lacity.org/development-services/fee-estimator) (<https://planning.lacity.org/development-services/fee-estimator>). For ED 1 case filing fees, select "Select from All Fees," and then "ED1-Executive Directive 1."

LADBS ePlanLA

[ePlanLA](https://eplanla.lacity.org/) (<https://eplanla.lacity.org/>) is an online service for submitting plans for plan check, applying for permits, and tracking the progress of these applications.

Optional HCA Vesting Preliminary Applications

An optional HCA Vesting Preliminary Application may be submitted through [OAS](https://plncts.lacity.org/oas) (<https://plncts.lacity.org/oas>).

VII. CONTACT INFORMATION

CITY PLANNING

City Planning Public Counters

City Planning's public counters offer in-person and virtual services, including application submissions, building permit clearances and answers to general questions. To make an appointment for case filing, case condition clearances, building permit clearances, or other inquiries, an appointment may be made through [OAS\(https://plncts.lacity.org/oas\)](https://plncts.lacity.org/oas). Inquiries can also be sent to the Metro Public Counter at Planning.figcounter@lacity.org or the Van Nuys Public Counter at Planning.mbc2@lacity.org.

[Locations & Hours | Los Angeles City Planning \(lacity.org\)](https://planning.lacity.org/contact/locations-hours)
(<https://planning.lacity.org/contact/locations-hours>)

Affordable Housing Services Section (AHSS)

The Affordable Housing Services Section offers specialized, technical assistance, and processing of pre-application referral forms for a number of affordable housing programs including:

- Executive Directive 1
- Density Bonus
- Transit Oriented Communities (TOC)
- Measure JJJ
- Qualified Permanent Supportive Housing (QPSH)

For affordable housing inquiries, please email Planning.PriorityHousing@lacity.org

Redevelopment Plan Area (RPA) Projects

Each Redevelopment Plan has a unique set of land use regulations. Development projects located within Redevelopment Project Areas are reviewed for compliance with the Redevelopment Plans. For general Redevelopment Plan inquiries, please email planning.redevelopment@lacity.org. For administrative review and building permit clearances, submit requests through the [online application portal \(https://plncts.lacity.org/oas\)](https://plncts.lacity.org/oas).

City Planning Case Management

In partnership with LADBS, City Planning offers [Development Services Case Management \(DSCM\)](https://www.ladbs.org/services/special-assistance/dscm) (<https://www.ladbs.org/services/special-assistance/dscm>): the main portal for consultation, assistance and troubleshooting for complex development projects requiring interdepartmental approvals. The office brings together case managers from various city departments, including City Planning, Building and Safety, Engineering, Transportation, and Water and Power. For City Planning Case Management inquiries, please email Planning.CaseManagement@lacity.org

Housing Crisis Act Vesting

Most housing projects qualify to submit an optional [HCA Vesting Preliminary Application](#), which "locks in" local planning and zoning rules at the time the complete application is submitted. To initiate a request for HCA vesting rights, submit a [Housing Crisis Act Vesting Preliminary Application \(CP-4062\) Form](#) and the required materials through City Planning's [Online Application Portal](#). Email Planning.HCA@lacity.org or visit [City Planning's HCA implementation page](#) (<https://planning.lacity.org/development-services/housing-crisis-act>) for more information.

LADBS

Affordable Housing Section

The Affordable Housing Section to help expedite the permitting process for affordable housing development projects by streamlining and providing flexibility in the submittal procedures.

For affordable housing inquiries, please email ladbs.ahs@lacity.org

LAHD

The Land Use Unit process applications for RUDs and Affordability Covenants. For questions or further information regarding RUDs or Affordability Covenants, applicants should contact Lahd-Landuse@lacity.org, and indicate "ED 1 Project" in the subject line.

AcHP's Retrofit Unit is responsible for Accessibility Plan Review and Approval as well as the necessary LAHD clearances and approvals for TCOs and final Certificates of Occupancy. For questions or further information regarding AcHP or to submit an application for AcHP Accessibility Plan Review applicants should contact lahd.retrofit@lacity.org.

Applicable rent schedules can be seen on LAHD's website at the following link: <https://housing.lacity.org/partners/land-use-rent-income-schedules>



HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL- VOLUME 1

PICO & MIDVALE WLA SITE

Submitted to Council District 5

June 2023

Gary Gero- Chief of Staff
Zachary Warma- Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
Los Angeles, CA 90012

Dear Gary and Zach,

In response to CD-5's RFP for the design concept of 2377 Midvale Ave Interim Housing Project, LifeArk is pleased to submit the following concept proposal for the interim supportive housing for homeless and at-risk population in Los Angeles Council District 5 using the LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction. LifeArk is all-in with mission to help solve the homeless crisis in our community but believe it's time to graduate from a short-term band-aid solutions. Design proposed in this submission utilizes a longer term "permanent interim housing" model which we strongly believe is a win-win solution for the CD-5 providing a much more dignified housing for the residents and a design which is much better visually for the neighborhood.

Please note that this proposal is based on the separate parcels with the diagonal easement through the south parcel. Although this existing site easement limits the number of units, we believe the proposed design uses the site well to provide a first of it's kind, long term interim housing project in Los Angeles area. The LifeArk ensuite interim plans provide each residents with a dignified housing they deserve.

Included in this proposal package is the following 3 documents:

1. Volume 1- PDF report slides focused on concept design of the project geared for your internal design review and for the community engagement programs and virtual townhall.
 - Slides are formatted to be used as a presentation slides. If needed, you can print each slides as a large presentation panels. If necessary, we will be happy to arrange for a professional printing and board mounting.
 - LifeArk team will be available to make any zoom or in-person presentation to the CD5 team and or to the public.
2. Volume 2- PDF budget report for your internal use covering the budget with inclusions and exclusions.
3. Volume 3- PDF report compiled for preliminary submission to the City for review and meeting.
 - Site plan sheet covering the CD-5 project description and key architectural summary for the city team to understand the scope of the project.
 - Preliminary HCD cover sheet with project description and all applicable compliance with code and HCD Factory Built Housing program. This will be an important information for the city team to assess the code compliance issues relating to the project.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,



Charles Wee
CEO – LifeArk SPC

Site Information

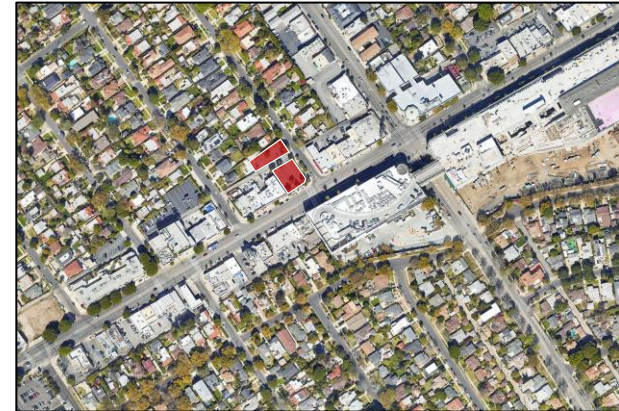
Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Existing City Parking Lot
- Located at the corner of W. Pico and Midvale split by an alley



Illustrative Context Site Plan



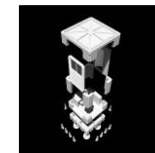
Project Context Map



Site

Design Concept

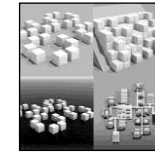
1. Lifeark's smaller 8' x 8' module footprint allows for a much more flexible massing articulation on a tight and difficult site compared to a larger, longer modular units.
2. Articulated sawtooth mirrored massing split by a diagonal easement provides an opportunity to create a dynamic, human-scale green pedestrian promenade connecting the project from North to South.
3. Lifeark modules are elevated at 28" above grade to provide an essential utility chase space, saving substantial sitework costs. At the same time, the elevated ensuite residential units connected by an upper deck provides privacy to the residents with easy access to the public community courtyard at ground level.
4. Lifeark modules are clad with horizontal slats with growing green vines to provide a lush landscaped courtyard and pedestrian promenade.
5. Continuous pedestrian circulation pathway connects staff and handicap parking to the ramp to the ADA ensuite units with the admin/office building to the south community through the green promenade all the way to the entry gate at the Pico Blvd.
6. Covered central courtyard with tables, chairs surrounded by a green walls will provide an eating and gathering space for the residents.
7. Enclosed large pet park is located at the NE corner of the promenade.
8. Storage bins for each residents are located at the SW corner of the site as well as a storage module at the NE corner behind the ADA units for the property manager and the service staff.
9. Four laundry modules (blue) are evenly distributed at each neighborhood for easy access and use.
10. Handicap and staff parking space as well as a trash enclosure are provided with access from the alley.
11. Both parcels are enclosed by a security fence with two entry and exit points. (Design of the fence for the rendering shows an open fence to illustrate the transparency of the spaces inside but more secure vertical fence can be designed.)
12. Each Ensuite unit is provided with a full private bathroom and a closet. All units are equipped with full MEP fixtures and fire sprinklers including a mini-split air conditioning and heating as well as high quality finishes at the level of permanent housing. (See unit specifications)



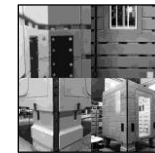
Kit-of-parts



Figure ground showing articulated massing



Massing variations



Modular parts



Utility chase



Site Plan



Courtyard



Green Promenade



View from Alley



Pico Entrance



Dog Park

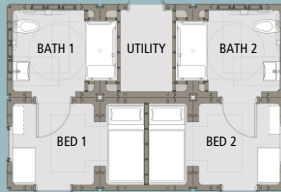


Bird's Eye View

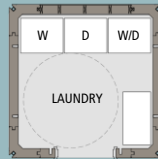
Module Plan



Ensuite Unit (134 SF)
2 modules



ADA Ensuite Unit
(200 SF) 3 modules
(Illustration shows double unit)



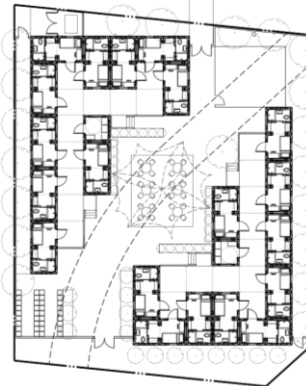
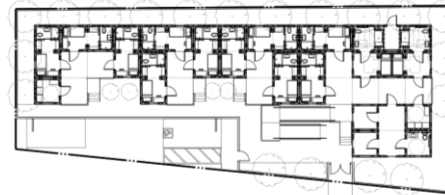
Laundry Unit (67SF)
1 module



Admin/ Office (400 SF)
6 modules

Lifeark Module Plan Concept

1. Lifeark models used in the Hope Pavilion project has been approved by HCD under a Factory Built Housing program as a permanent housing.
2. For the Hope Pavilion project, Lifeark will submit the entire project as a single R2 congregant housing project.
3. Lifeark will work with the city for other necessary permits required.
4. Each of the model plans shown above will be completely built-out with finishes and fixtures to a permanent housing specifications including a fire sprinkler system.
5. Modules will be manufactured, factory assembled under HCD program then transported to the site for final assembly and completion.
6. Lifeark has a documented lifespan of over 50 years and an appraised lifespan of 35 years by the bank.
7. Each ensuite unit is equipped with full MEP fit-out including split system A/C-heating and a fire sprinkler system.
8. Each unit interior is finished with high quality material and fixtures.



* Optional solar panel can be installed



Lifeark Single Module



Ensuite Unit Interior



Ensuite Unit Exterior Example

Site Plan



Bird's Eye View

Project Summary

Site Area				Acre		SF	
				0.38		16,340	
	Mods	Total	SF/Unit	# Units	# Beds	Total Beds	Total SF
Ensuite Unit	2	62	134	31	1	31	4,154
Ensuite ADA Unit	3	6	200	2	1	2	400
Deck				32			
Laundry	1	3	67	3			201
Admin/ Office	6	6	400	1			400
Total		77				33	5,155



PRA-01-000120-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View

PNA-01-000121-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 1-000122-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 1-000123-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Central Courtyard

PRA-01-000124-SUPP2.09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Green-Vail Community Center
PRA-01-000125-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Dog Park PRA-01-000126-SUPP2-09/29/23

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye Context View



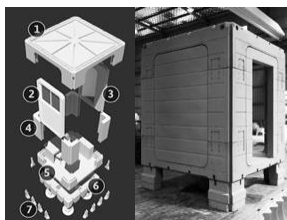
View of Hope Pavilion from the Alley

View of Hope Pavilion Entry from Pico Blvd



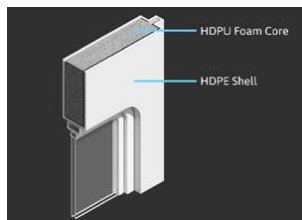
PRA-01-000127-SUPP2-09/29/23

WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 28" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse



NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows LifeArk to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills



NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolders around the world
- Most common plastic processing process but never been used in the housing construction industry



FACTORY ASSEMBLY & TRANSPORT

- Certified under CA HCD (Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site



SITE ASSEMBLY

- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

LifeArk Community Making By Design



From a single shelter module to community cluster, LifeArk can grow to become a larger village with communal spaces for all

LifeArk Emergency Shelter Deployment Process



Rotomolding



Transport



Stockpile



Factory Assembly



Site Deployment



Site Assembly



Completion

LifeArk's Essential Cost and Time Saving System



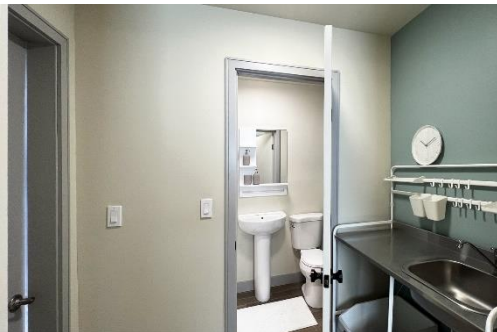
Simple foundation system that can be anchored to any surface including compacted soil, asphalt, or concrete



High under module chase space allows for all utilities to run under the crawl space and omit any expensive trenching



Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections



* Lifeark project photos for illustration only. Not for this project.

LA County Housing Innovation Challenge award-winning project

- 19-unit permanent supportive housing in El Monte, CA utilizing project-based vouchers
- 18 units for previously homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



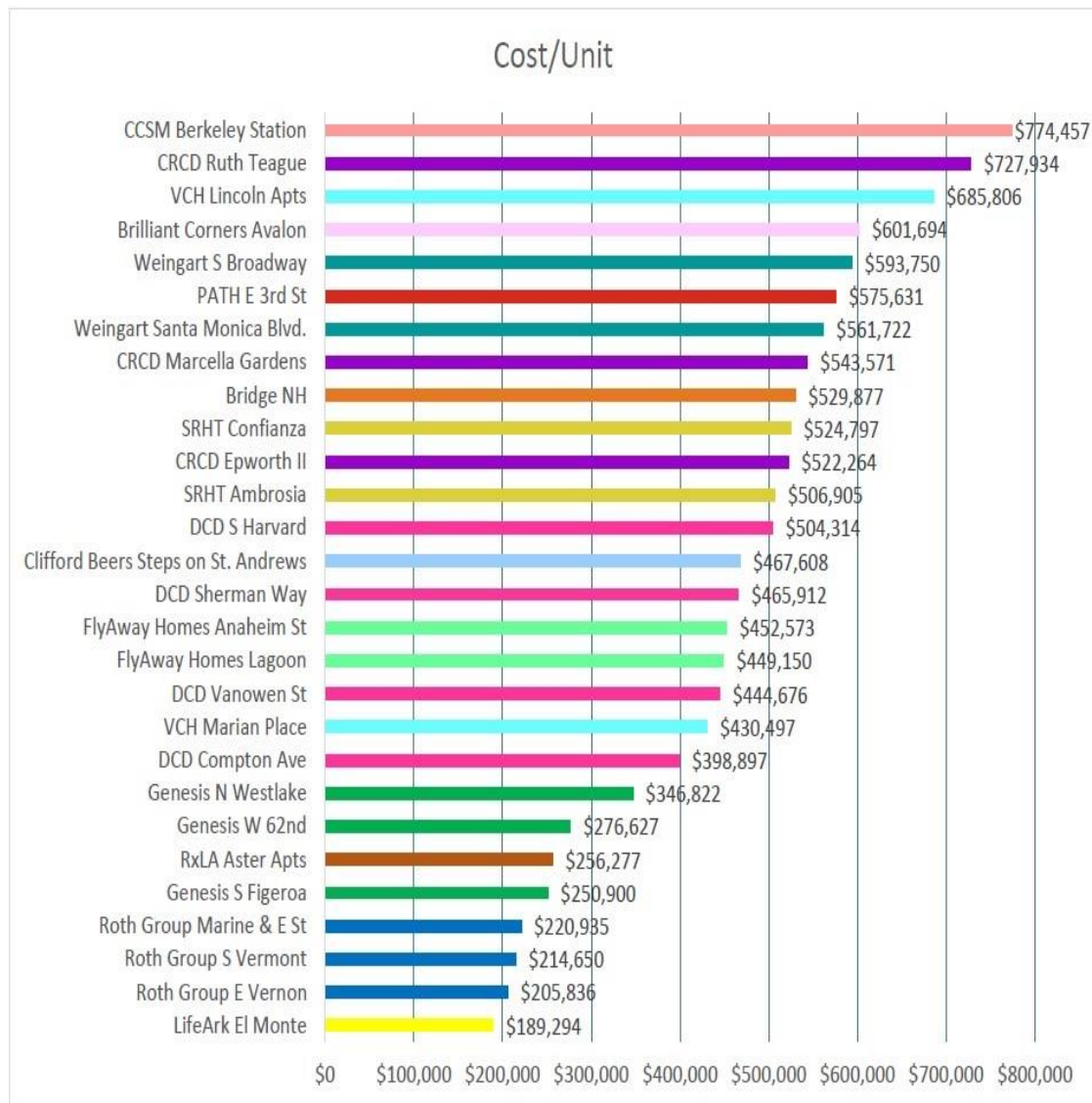
Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 **permanent supportive housing** projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit





HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL VOLUME 2- BUDGET
PICO & MIDVALE WLA SITE

Submitted to Council District 5
June 2023

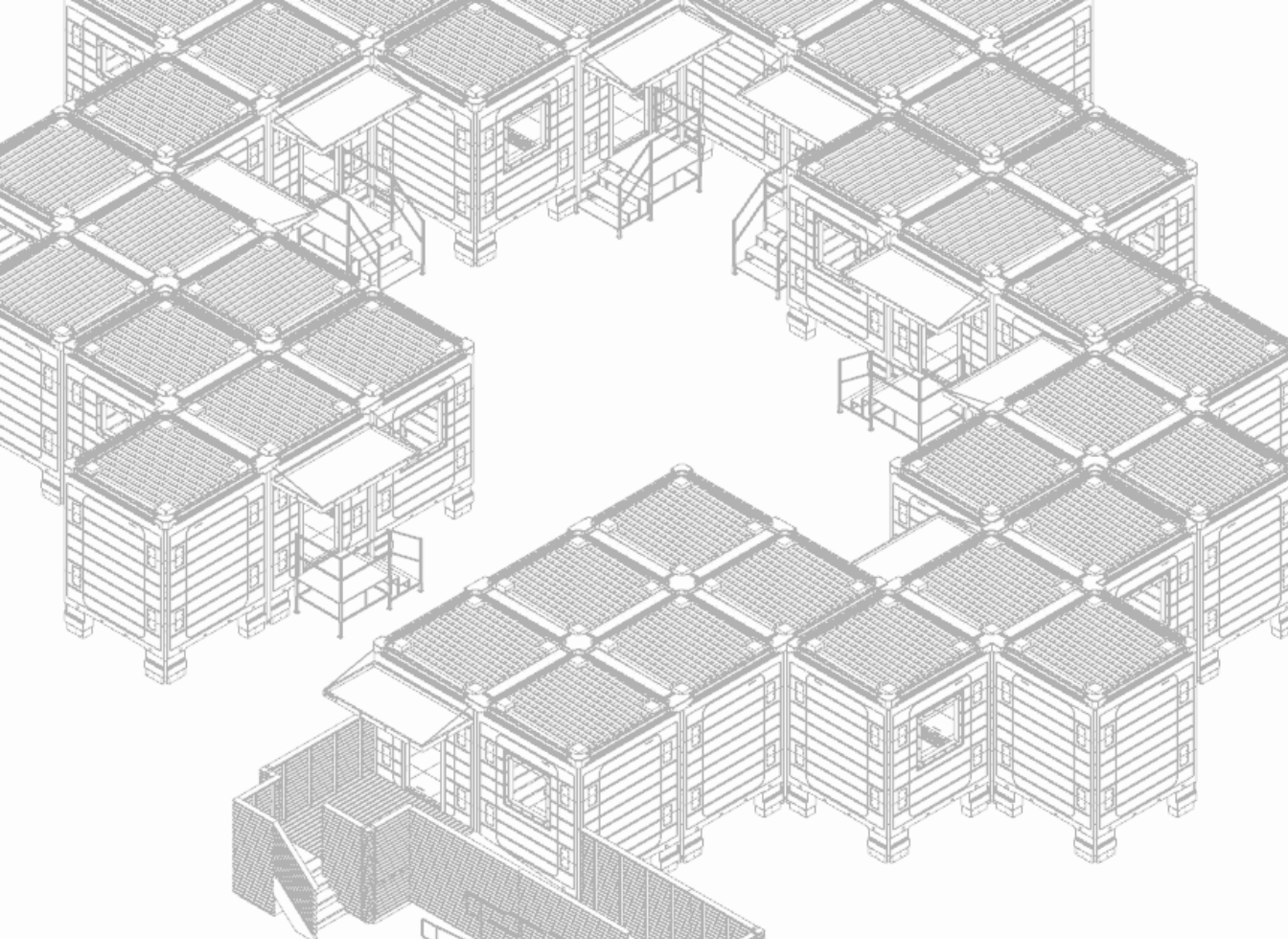
Lifeark Model	SF/ Unit	Units	Total SF	Cost/ Unit	Total
Ensuite Unit	134	31	4,154	\$ 47,000	\$ 1,457,000
ADA Ensuite Unit	200	2	400	\$ 62,000	\$ 124,000
Deck	0	33	0	\$ 4,000	\$ 132,000
Laundry Unit	67	4	200	\$ 25,000	\$ 100,000
Admin/ Office Unit	400	1	400	\$ 150,000	\$ 150,000
Total		33	5,155		* \$ 1,963,000
Cost Per Bed		\$59,485			

* All-In Lifeark Costs including:

1. Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)
2. Fully fitted out admin/office unit.
3. Laundry unit ready to hook up to a washer and a dryer.
4. Decks and railings (stair and ramps not included)
5. Off-The-Shelf (OTS) modular units are 90% completed when they arrive to the site. Units come with the insides finished with paint, flooring, MEP finishes, doors, and hardware. The last 10% includes connecting the units, anchoring to foundation, utilities hookup to mods & main site, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.
6. Units include mechanical HVAC mini-splits.
7. Module staging and on and off loading at the site is included.
8. Module assembly on-site and final testing.
9. A/E for all Lifeark HCD models.
10. HCD certification, permit and inspection fees

Exclusions:

1. Site work including grading, paving, gates and fences. We expect site costs to be minimized since utility connections from each unit will run above ground in the crawl space.
2. Landscaping, hardscaping, irrigation and common area amenities.
3. Stairs and ramps
4. Any demolition, repairs and/or improvements to the existing structures.
5. All city utilities including sewer, power, gas and storm drain work.
6. All trenching and repairs to the sidewalks.
7. Utility connections on site to module stub down points of connections
8. Final testing of all systems
9. Cost of land, construction financing, taxes, city fees.
10. All Permit costs including any costs for Street use, SFFD, excludes SMP and SWPPP plans.
11. A/E for the city related work.
12. The costs of testing and inspection including costs for trade permits and inspection.
13. Utility Fees, Account Setup, Power Poles, Transformers, Conductors, Etc. By Owner.
14. The handling and removal of any hazardous material is excluded.
15. The removal of any underground obstacles not shown is excluded.
16. All main power connection costs to connect to the switchgear are excluded (Paid by Owner).
17. Low Voltage Tele/Data, WiFi.
18. All Owner provided FF&E.
19. Costs for storing, double-handling or trucking owner supplied materials.
20. Appliances and furniture/
21. Central fire alarm system, PV system, emergency generator, site lighting.
22. Fire truck access.
23. Fire hydrants or other fire department improvements.
24. Owner's GL Property Insurance



HOUSING REIMAGINED

www.lifeark.net

PRA-01-000136-SUPP2-09/29/23



Kristen Pawling <kristen.pawling@lacity.org>

Fwd: 2377 Midvale Ave Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

George Hakopiants <george.hakopiants@lacity.org>

Fri, Jun 2, 2023 at 2:33 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

These look great -- thank you, Zach!

On Fri, Jun 2, 2023 at 11:41 AM Zachary Warma <zachary.warma@lacity.org> wrote:
All:

I am very excited to send along to you LifeArk's proposal for [2377 Midvale Ave!](#)You can also find the file saved on the drive here: [LlifeArk Proposal - Hope Pavillion](#)

----- Forwarded message -----

From: **Charles Wee** <cwee@lifeark.net>

Date: Fri, Jun 2, 2023 at 11:28 AM

Subject: Re: [2377 Midvale Ave](#) Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

To: Gary Gero <gary.gero@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Cc: Paul Cho <pcho@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Gary and Zachary,

Hope all is well. Lifeark is happy to submit this proposal for the CD-5 2377 Midvale project.

Cover sheet addressed to both of you will provide more details of the contents of the proposal. As I mentioned to Zach, we will submit the pre-submission project scope sheet for the City department meeting by 6/7 (Wed).

We have the original powerpoint presentation file we can share if you need it for any reason.

We are grateful for this opportunity to be part of the solution and we look forward to hearing from you. Also, as mentioned in the cover letter, we will be happy to help with any of your community outreach efforts.

Have a great weekend!

Thanks,

Charles

213-324-7228



On Tue, May 9, 2023 at 10:19 AM Charles Wee <cwee@lifeark.net> wrote:

Hi Gary and Zach,

Thank you for the invitation and opportunity to continue with the Midvale site development proposal.

We will be happy to provide an updated proposal before June 2. Thank you for your clear instruction on the programming and we will be able to have site specific renderings for the project as well as respond to your specific project requirements below.

PRA-01-000137-SUPP2-09/29/23

I did try to call you or Zach this morning with a few questions about the project. Let me know if it would be possible to have a quick call with you or Zach to clarify a few items which can impact the design of the schemes.

Thanks again for the opportunity and look forward to submitting our updated proposal.

Thanks,
Charles
213-324-7228



----- Forwarded message -----

From: **Gary Gero** <gary.gero@lacity.org>

Date: Mon, May 8, 2023 at 4:51 PM

Subject: [2377 Midvale Ave](#) Interim Housing Project - Request for Updated Spec Plans and Renderings, Next Steps

To: Scott Sale <ssale@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Paul Cho <pcho@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>

Dear Like Ark Team,

Hello, my name is Gary Gero, and I am the Chief of Staff for Councilwoman Katy Yaroslavsky.

On behalf of the Councilwoman and the entire CD-5 team, I want to thank you for submitting preliminary plans for developing interim housing at the [2377 Midvale Avenue](#) LADOT parking lot. Bringing new housing to the district is the single highest priority of the Councilwoman and this office.

Having reviewed the various proposals, the Councilwoman desires to bring forward your proposal and that of another vendor to the broader community for feedback and input before making a final selection.

If you are interested in continuing with this process, we are asking that you furnish by **Friday, June 2nd** an update to your previous proposal that is inclusive of the following elements (many of which were already included in your initial proposal):

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

If possible, a site-specific rendering would be incredibly helpful in communicating to the public the look and feel of the facility.

In terms of next steps - upon receipt of the updated plans and renderings, the office will initiate a two week community engagement process, which will include a virtual town hall, a web page featuring the two proposals, and likely an in-person community event. Our team will promptly be in touch as we finalize the specific events.

No more than two weeks after the conclusion of the community engagement process, we will notify the selected vendor and then announce the decision publicly. The City Council motion to execute the contract with the selected vendor will then be introduced in Council concurrently with the public announcement.

A prompt confirmation of your participation is greatly appreciated. If you have any questions regarding the process, please do not hesitate to reach out to myself or Zachary Warma, who is cc'ed herein.

Thank you so much, and we look forward to further engagement with you and your team!

Kindly,
Gary

PRA-01-000138-SUPP2-09/29/23

**Gary Gero**

Chief of Staff

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring St., Room 440](#)[Los Angeles, CA 90012](#)**Zachary Warma**

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring Street, Room 440](#)[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.orgcd5.lacity.gov**George Hakopiants**

District Director

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

[200 North Spring St., Room 440](#)[Los Angeles, CA 90012](#)



Andrew Deblock <andrew.deblock@lacity.org>

Fwd: CD 5 - Underutilized Properties for IH/AH/PSH

4 messages

Zachary Warma <zachary.warma@lacity.org>

Fri, Apr 7, 2023 at 11:45 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>

Marina:

I hope this message finds you well!

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Please let us know how our office can be supportive of you and your team's work, and we so look forward to continuing this partnership and dialogue!

Regards,

Zack Warma

----- Forwarded message -----

From: **Annabelle Gonzales** <annabelle.gonzales@lacity.org>

Date: Thu, Apr 6, 2023 at 10:26 PM

Subject: CD 5 - Underutilized Properties for IH/AH/PSH

To: Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Cc: Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Rachel Fox <rachel.fox@lacity.org>

Hi everyone,

Please find attached the property profiles for the 5 underutilized properties within your district that are being considered for interim housing, affordable housing, or permanent supportive housing.

I know there's special interest in the site on Midvale, so I will share this with BOE to begin the feasibility review for interim housing. If anyone has any questions, please let me know.

Thank you and have a great weekend!

PRA-01-000140-SUPP2-09/29/23






Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

--



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

5 attachments

-  **2367 Prosser Ave (03.10.23)(EAB).pdf**
419K
-  **123 S. Robertson (03.14.23)(EAB).pdf**
337K
-  **2377 Midvale Ave (03.10.23)(EAB).pdf**
381K
-  **Olympic and Crenshaw (03.20.23)(EAB).pdf**
399K
-  **1036 Broxton Ave (03.16.23)(EAB).pdf**
353K

Annabelle Gonzales <annabelle.gonzales@lacity.org> Fri, Apr 7, 2023 at 6:41 PM
To: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>
Cc: Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Hi Zach,

Thank you for the clarification! To the BOE team, can you please begin reviewing [2377 Midvale Ave.](#) for a THV?

If anyone has any questions, please do not hesitate to reach out.

Thank you and have a great weekend!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Mon, Apr 10, 2023 at 6:54 AM
To: Annabelle Gonzales <annabelle.gonzales@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>,

PRA-01-000141-SUPP2-09/29/23

Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Good morning Zachary and Annabelle,

Thank you for the confirmation. We will get started with this site on Monday the 17th, we will submit a feasibility study and an estimate within two weeks.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Mon, Apr 10, 2023 at 8:55 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Great, thanks everyone!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

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George Hakopiants <george.hakopiants@lacity.org>

Fwd: Homeless project at 2377 Midvale

2 messages

Leo Daube <leo.daube@lacity.org>

Mon, Jul 31, 2023 at 3:49 PM

To: Fernando Morales <fernando.morales@lacity.org>, Gary Gero <gary.gero@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

This is the husband of the woman who emailed me last week. Might be worth reaching out ahead of Thursday if we haven't spoken with them yet.

Leo

----- Forwarded message -----

From: **Nayeli De Leon** <nayeli.deleon@lacity.org>

Date: Mon, Jul 31, 2023 at 3:46 PM

Subject: Fwd: Homeless project at 2377 Midvale

To: Leo Daube <leo.daube@lacity.org>

----- Forwarded message -----

From: Tony Malinda <vitatone@hotmail.com>

Date: Monday, July 31, 2023 at 11:11:08 AM UTC-7

Subject: Homeless project at 2377 Midvale

To: lamayornews@lacity.org <lamayornews@lacity.org>, Councilmember.Yaroslavsky@lacity.org <Councilmember.Yaroslavsky@lacity.org>

7/30/23

Dear Mayor Bass,

First, I would like to congratulate you on your recent victory; my wife Vita and I did vote for you. We voted for you over Mr. Caruso because we truly believed that you were going to make a real difference for the hard-working tax payers in our city; I hate to follow a compliment with a but: BUT!

While we understand the pressure you are getting from Sacramento to provide 1000's of homes for the less fortunate in a short period of time we were hoping you would do it without hurting those of us fortunate enough not to need those services. It has come to our recent attention that your colleague Ms. Katy Yaroslavsky is going to implement a plan (with ZERO input from local residents and/or businesses) to occupy an essential parking lot on the corner of Midvale a Pico with an interim housing experiment for 30 homeless people. I say experiment because that is just what it is. Such projects have never been successfully implemented and there is no data proving long term positive gains.

I have been a licensed psychotherapist for 35 years and there is truly nothing I have not seen. I first interned for the San Fernando Valley Community Mental health center at a homeless drop- in center called the "Cornerstone." Although this was in 1990, the profile of the average homeless person has not changed. What

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has changed is the availability of Methamphetamine and Fentanyl; add these drugs to P.T.S.D. and Psychotic disorders you have yourself a ticking time bomb. Those people have been hanging out in our community since Covid began and it has only gotten worse. Now you want to congregate them on a 6,794 square foot lot. (P.S. Some operators have already turned down the project due to the lack of space for what is required to do this the way they intend. Also, 2377 Midvale ave. was not originally designated as a potential plot for this plan) Please realize that those 30 residents are going to invite their acquaintances and there is no single security guard that is going to be able to contain them. We have been told that each L.A. community needs to take care of "their" homeless population. Not sure what that means but many of these people arrived on the Expo rail, got on Westwood blvd. and decided that this was a nice place to settle. The Expo rail has become a homeless shelter and it is not being used for what it was designed for - but that's an entirely different problem.

I would like to give you a snapshot of our neighborhood: Although people in favor of this plan insult us by calling us "NIMBY's" we are so much more than who they think we are. Rather than judging us as "spoiled homeowners" see us as hardworking people who do wonderful things for our communities and our families. On our block alone we have one of the top pediatric heart surgeons in the country, an M.D. who works for Kaiser Permanente, two internal medicine doctors, two retired psychologists, a dedicated fundraiser for the L.A. food bank and other organizations dedicated to food insecurity, teachers, and an addiction medicine specialist who also works for Kaiser; that person is me. My wife is a personal fitness professional who specializes in helping elderly people maximize their physical potential. We have owned our home and taken great care of it for 20 years. My wife's 99 year-old mother lives with us and we have been taking care of her since we moved in. Yes, we want our neighborhood to be safe and we don't deserve to be abused by our leaders who seem to see us as expendable. We are contributors!!!

Now, let's move on to our business community. Covid has absolutely decimated our entire community: Pico blvd.- from Motor ave. to Sepulveda Blvd. has become a ghost town; as a result it has become a very attractive and easy space for our less fortunate to make it their home. Google bought the Westside pavilion from Westwood Blvd to Overland ave. before Covid, and we all saw this as a good thing. Since Covid they have built a beautiful shell and now it sits there. Businesses up and down Pico blvd. have left, and now they just sit there. Some brave businesses like Nizam (Indian food), The Apple Pan (speaks for itself), The guitar Center (Music has to happen), The Back house (Sushi), Gyu Kaku (cook it yourself) amongst others have pushed to keep it going. If this project takes up 51 valuable parking spaces and creates a more dangerous neighborhood, these businesses will move out and I can't imagine any new businesses wanting to lease anywhere near it.

Now to the Mental health/Addiction component of this plan. Clearly all of us health care professionals want to see people get better and we want to see the less fortunate get the treatment and services they deserve. Homelessness is a huge problem and will keep being a huge problem until we go back to what worked in the first place. Long-term psychiatric facilities have to come back. Yes, many of them were poorly run and understaffed. That is a fixable problem. We need large facilities where these folks can be held for long periods of time if necessary. There are multiple levels of functionality amongst homeless people, and they need to be carefully assessed by licensed mental health professionals then placed appropriately. Before mental health issues can be appropriately addressed the element of addiction has to be the first step. I'm not referring to a recently unhoused mother of two who has lost her mate and her job. I'm talking about people who have been on the street for a long time, burned all their bridges and don't want to be helped. I have done this work, and many of these people don't want anyone to come near them much less offer them services. They can be very dangerous and very intimidating for passers by. Many of my neighbors are afraid to walk in our neighborhood. We used to walk across the street to Bossa Nova restaurant but that is not happening anymore. The plan proposes mental health services and 24/7 security. How are mental health services going

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to be provided if sobriety is not a focus? You can't ethically or legally medicate these people without consent, and many do not know what they are consenting to. Who is going to provide the vocational and mental health counseling? Where are they going to conduct their sessions? Is the security guard going to escort a resident who is having a drug-induced psychotic break when he starts to walk towards our homes and cars?? Is he going to stop the fiending meth addict who is on his way into our neighborhood to find money for his next fix? If he does need to follow a resident in crisis off the premises, what happens to the other 29 who are left alone? These are only a couple of potential crises that will arise.

Let's be transparent please: are you telling us that you are going to vet these people and weed out drug addicted mentally ill people who were recently incarcerated for sexual offences? It is not going to be possible to find 30 of them in this area. My wife and I, and our neighbors have had multiple scary experiences over the last few years with people who have engaged in behaviors that have done harm to us on many levels. (Do you want to know the details?)

These folks deserve a chance but the ones who cannot be helped must be deemed "gravely disabled" given a Guardian Ad Litem, and placed in a long-term facility. We already have mental health facilities in our area we don't need more. This is the reality of the world of addiction. I work in a wonderful addiction medicine department for Kaiser Permanente with people who have access to good health care and good programs and our success rate is still less than stellar. Even people who WANT to get clean and sober struggle immensely.

Mayor Bass, please consider my words. Let's not throw more band-aids at this problem. Let's do it right from the ground up. I know it takes time and costs a lot of money, but do we want to waste our hard-earned tax dollars on programs that are not going to work? Governor Newsom needs to get on board and back off on immediate fixes and look at the big picture.

P.S. On the corner of Cotner and Pico is a brand-new Community service center, just up the street is a V.A. homeless service center, and there is homeless housing on Greenfield and Santa Monica. We are doing our part.

With all due respect,

Tony Malinda, LMFT

[REDACTED]



cd5.lacity.gov

Leo Daube
COMMUNICATIONS DIRECTOR
O: (213) 473-7005
C: (630) 460-3854

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Fernando Morales <fernando.morales@lacity.org>

Mon, Jul 31, 2023 at 4:55 PM

To: Leo Daube <leo.daube@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>

Thanks, Leo - Agreed and happy to give this constituent a call - including Vanessa here as well for her awareness.

Fernando



cd5.lacity.gov

Fernando Morales
Deputy Chief of Staff
Housing/Homelessness, Operations, and Special Projects
City Hall: (213) 473-7005
District: (323) 866-1828
Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

[Quoted text hidden]



Kristen Pawling <kristen.pawling@lacity.org>

Fwd: MAYOR BASS' EVENTS, 7/22 - 7/24

Kristen Pawling <kristen.pawling@lacity.org>

Mon, Jul 24, 2023 at 7:38 AM

To: Leo Daube <leo.daube@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>

I recommended she be there but it conflicts with LifeArk so she's not attending.

On Fri, Jul 21, 2023 at 9:26 PM Leo Daube <leo.daube@lacity.org> wrote:

Is Katie supposed to be at the event on Monday? It's not on her calendar so I wasn't sure.

Leo

----- Forwarded message -----

From: **Mayor News** <lamayornews@lacity.org>

Date: Fri, Jul 21, 2023 at 9:22 PM

Subject: MAYOR BASS' EVENTS, 7/22 - 7/24

To: Mayor News <lamayornews@lacity.org>

MAYOR KAREN BASS

CITY OF LOS ANGELES

Contact: Communications Office, (213) 978-0741

MAYOR BASS' EVENTS FOR SATURDAY, JULY 22 - MONDAY, JULY 24

SATURDAY, JULY 22 - SUNDAY, JULY 23

No public events are scheduled.

MONDAY, JULY 24

9:00 AM (Union Station)

Mayor Bass will deliver Metro's annual State of the Agency address marking the transition of power from outgoing Board Chair Ara Najarian to Mayor Bass as incoming Board Chair. In her remarks, Mayor Bass will discuss her vision and priorities for Metro in the coming year.

Media can RSVP to lamayornews@lacity.org

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cd5.lacity.gov

Leo Daube

COMMUNICATIONS DIRECTOR

O: (213) 473-7005

C: (630) 460-3854

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012



Kristen Torres Pawling

DEPUTY CHIEF OF STAFF - POLICY AND PLANNING

O: (213) 473-7005

PRA-01-000147-SUPP2-09/29/23



cd5.lacity.gov

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.

123 S. Robertson Blvd, Los Angeles, CA 90048

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #703, a three-story parking structure with ground floor commercial space that provides 334 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is located on a commercial street. The rear of the property abuts a residential street with multifamily buildings. It is one block from Cedars-Sinai Medical Center.

There are three supermarkets and four pharmacies within half a mile of the site. There is one park and two schools within half a mile from the site. There are two homeless service providers within one mile of the site.

The site is served by several bus lines: Metro 14, 16, 105, 617; West Hollywood CityLine Shuttle's Local West and Local East; and LADOT Fairfax.

Owner: City of Los Angeles (LADOT)

Zoning: [Q]C2-1VL-O

APN: 4334001900, 4334001901

Lot Size: 23,669 SF



PRA-01-000149-SUPP2-09/29/23

123 S. Robertson Blvd, Los Angeles, CA 90048

Council District (5): Katy Yaroslavsky



PRA-01-000150-SUPP2-09/29/23

1036 Broxton Avenue, Los Angeles, CA 90024

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #680, a parking structure that provides 365 public parking spaces, and ground floor commercial space. LADOT may require replacement public parking in exchange for use of this site.

The site is located in Westwood Village and is surrounded by commercial uses and parking lots.

There are four supermarkets and five pharmacies within half a mile of the site. There is one park and two schools within half a mile from the site. The homeless services providers at the VA are less than one mile from 1036 Broxton.

Numerous bus lines from Metro, Big Blue Bus, Culver City Bus, LADOT, Santa Clarita Transit and Antelope Valley Transit serve this location.

Owner: City of Los Angeles (LADOT)
Zoning: C4-2D-O
APN: 4363018904
Lot Size: 29,877 SF



PRA-01-000151-SUPP2-09/29/23

1036 Broxton Avenue, Los Angeles, CA 90024
Council District (5): Katy Yaroslavsky



PRA-01-000152-SUPP2-09/29/23

2367 Prosser Avenue, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #698, a surface parking lot that provides 25 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is on a residential street, behind the commercial buildings on Pico Boulevard, south of Westwood.

There is one supermarket within half a mile of the site, and three pharmacies. There are three parks and two schools within half a mile from the site. The homeless services at the VA are roughly 1.5 miles from the site.

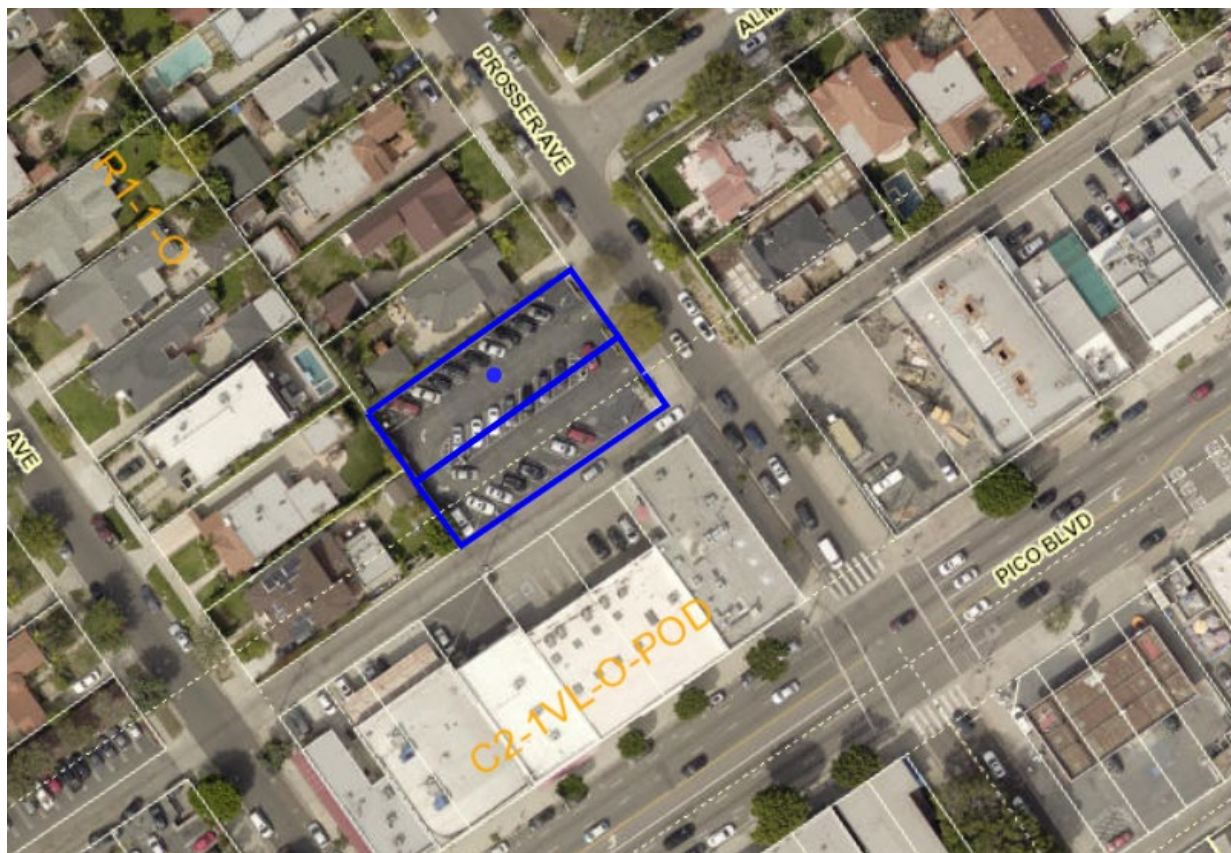
The site is well served by transit, with Big Blue Bus, Culver City Bus, and LADOT buses stopping less than one quarter mile from the site.

Owner: City of Los Angeles (LADOT)

Zoning: R1-1-0

APN: 4320013900, 4320013901

Lot Size: 12,035 SF



PRA-01-000153-SUPP2-09/29/23

2367 Prosser Avenue, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky



PRA-01-000154-SUPP2-09/29/23

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #707, a surface parking lot that provides 41 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is divided by an alleyway. On one side of the alley is an R1-1 zoned, 6,794 square foot parcel adjacent to a single family house on a residential street. The parcel that fronts Pico Blvd. is 10,666 square feet and zoned NMU(EC). The surrounding uses are commercial.

There are two schools and two parks within roughly one half mile. There are two supermarkets within one mile of the site and two pharmacies within the same distance. The homeless services at the VA are roughly one mile from the site.

A Metro Expo station is within one quarter mile of the site, in addition to stops for Big Blue Bus lines 7, R7, 8, R12 and Culver City bus line CC3.

Owner: City of Los Angeles (LADOT)

Zoning: NMU(EC) [Pico parcels]; R1-1 [rear parcel]

APN: 4322004902; 4322004903

Lot Size: 16,860 SF



PRA-01-000155-SUPP2-09/29/23

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064
Council District (5): Katy Yaroslavsky



PRA-01-000156-SUPP2-09/29/23

Olympic and Crenshaw, Los Angeles, CA 90024

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site includes an unimproved section of 10th Street and is bisected by an active driveway used by the adjacent business, a Rite Aid pharmacy. The portion of the site located west of the Rite Aid driveway is ~9,860 square feet.

The site is located in the Wilshire Park neighborhood. It is surrounded by a mix of commercial and residential uses.

There is one supermarket and two pharmacies within half a mile of the site. There are three parks and six schools within half a mile of the site. There are homeless services providers roughly one mile from the site.

Metro buses #R7, 20, 28, 210, and 720 and Big Blue Bus #7 stop within one quarter mile of the site.

Owner: City of Los Angeles
Zoning: None
APN: None
Lot Size: ~15,900 SF



PRA-01-000157-SUPP2-09/29/23

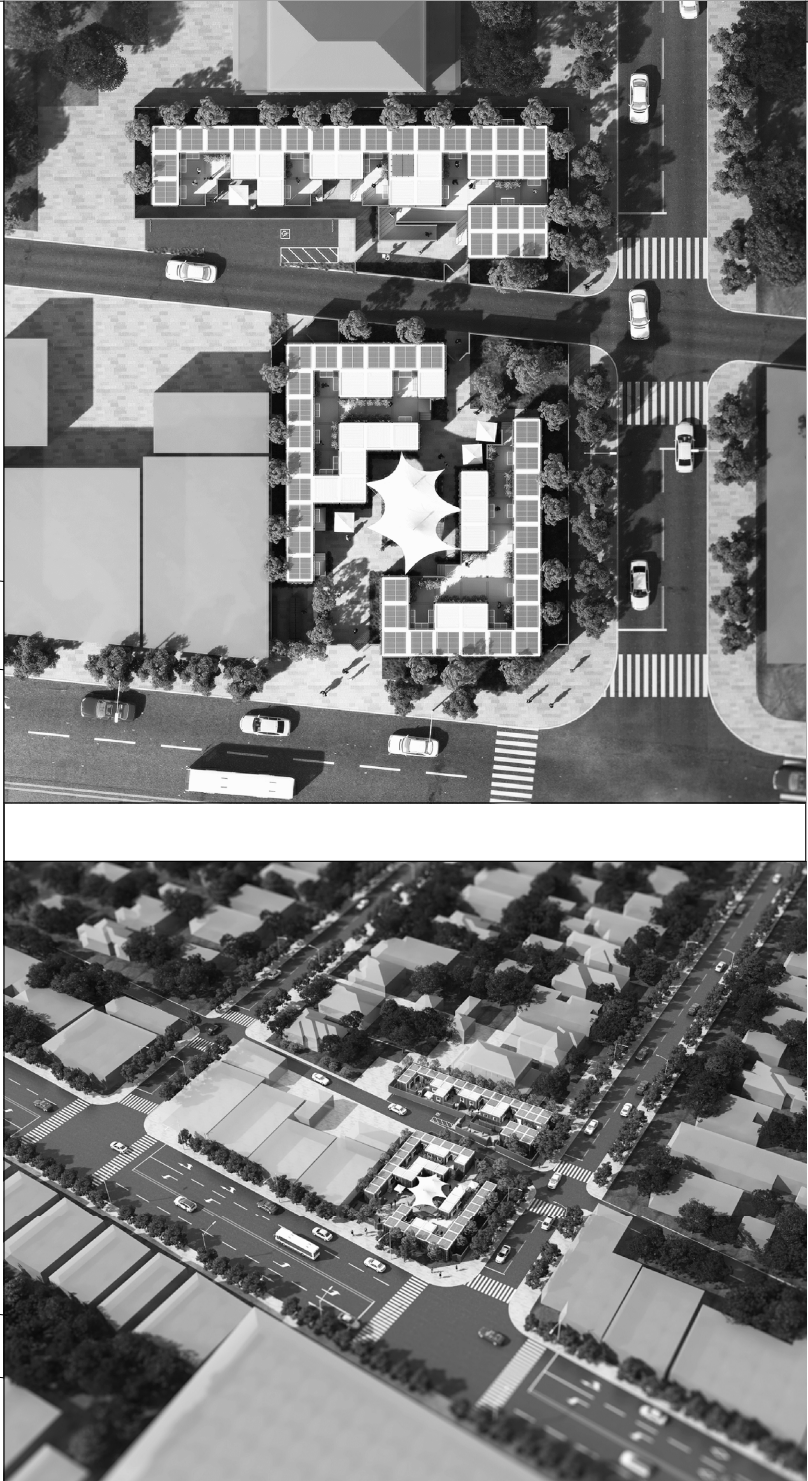
Olympic and Crenshaw, Los Angeles, CA 90024
Council District (5): Katy Yaroslavsky



PRA-01-000158-SUPP2-09/29/23



SITE PLAN SCALE: 1/32" = 1'-0"



PROJECT SUMMARY

CD-5 PICO-MIDVALE INTERIM HOUSING PROJECT

ARCHITECTURAL SUMMARY:

- | | |
|------------------------|--|
| 1. SITE AREA: | 16,340 SF |
| 2. BUILDING AREA: | 5,136 SF |
| 2.1. ENSUITE UNITS | 4,136 SF (31 BEDS) |
| 2.2. ADA ENSUITE UNITS | 400 SF (2 BEDS); (33 X 5% = 1.65 REQUIRED) 2 UNITS PROVIDE |
| 2.3. ADMIN/ OFFICE | 400 SF (1 UNIT) |
| 2.4. LAUNDRY | 200 SF (4 UNITS) |
| 3. NUMBER OF BEDS: | 33 TOTAL |
| 4. OCCUPANCY: | R2 |

- THE HCD APPROVED PROJECT REPRESENTS A HOMELESS SHELTER OF CONGREGATE RESIDENCE FOR 33 NON-TRANSIENT OCCUPANTS. IT INCLUDES PROVISIONS FOR SLEEPING AND SANITATION BUT DOES NOT INCLUDE PROVISION FOR EATING AND COOKING. THE MODEL PROVIDES 31 SINGLE SLEEPING UNITS AND TWO ADA UNITS WITH ENSUITE BATHROOM WITH ADA ROLL-IN SHOWER PER UNIT.

- PROJECT INCLUDES 400 SF ADMIN/ OFFICE UNIT FOR THE USE BY THE WRAP-AROUND SERVICE ORGANIZATION.

- PROJECT SHALL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF 2022 CBC ADDRESSING SLEEPING UNITS. PROVISIONS ADDRESSING DWELLING UNITS SHALL NOT APPLY.

- PROJECT PROVIDES THE FOLLOWING FIRE SAFETY MEASURES WHICH COMPLIES WITH THE THE REQUIREMENTS OF 2022 CBC

- AUTOMATIC FIRE SPRINKLER SYSTEM ACCORDING TO NFPA 13R
- FIRE ALARM SYSTEM
- SMOKE AND CO ALARM SYSTEM
- COMMUNICATION ACCESSIBLE FEATURES FOR THE SIGHT AND HEARING IMPAIRED

PRELIMINARY SITE CONDITION:

- SITE PLAN SHOWN IS CONCEPTUAL ONLY AND ALL SITE INFORMATION IS TO BE VERIFIED BY A SITE SURVEY AND OTHER SITE STUDIES.
- ELECTRICAL
 - 400A, 480/277V, 3 PHASE, OVERHEAD ELECTRIC SERVICE
- DOMESTIC/ FIRE WATER
 - (E) 6" WATER MAIN ON MIDVALE AVE . (N) 2" DOMESTIC WATER METER INSTALLED BY LADWP; APPROXIMATELY (N) 70 FT OF 2" DOMESTIC WATER LINE WITHIN THE PROPERTY LINE
- SANITARY SEWER
 - (E) 10" SEWER MAIN (PIPE ID:5191009951910116A) ON ALLEY.; APPROXIMATELY (N)20 FT OF 6" HOUSE CONNECTION LINE TO THE PROPERTY LINE. APPROXIMATELY (N)60 FT OF 4" SANITARY SEWER LINE WITHIN THE PROPERTY LINE



MODULAR HOUSING MANUFACTURER	
NAME	LIFEARK SPC
PHONE	(626) 535-9370
EMAIL	info@lifeark.net
WEB	www.lifeark.net

PLANT LOCATIONS	MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET.
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GDS

ARCHITECTS INC.

831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



Revision Schedule

#	Description	Date
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PROFESSIONAL STAMP



CLIENT

COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #

PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE

PROJECT SUMMARY

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE

SHEET NO.

A1.01



CA FACTORY BUILT HOUSING PROGRAM NOTES

1. THESE PLANS ARE SUBMITTED TO CALIFORNIA HCD DEPARTMENT UNDER THE CALIFORNIA FACTORY-BUILT HOUSING PROGRAM, IN ACCORDANCE WITH CALIFORNIA HEALTH AND SAFETY CODE - HSC, DIVISION 13 — HOUSING, PART 6 — FACTORY-BUILT HOUSING AND CALIFORNIA CODE OF REGULATIONS, TITLE 25, CHAPTER 3, SUBCHAPTER 1.
2. FBH MODEL PLANS ARE NOT LIMITED TO A SPECIFIC SITE AND CAN BE INSTALLED WITHIN THE STATE OF CALIFORNIA WHEREVER THE DESIGN CRITERIA MATCH OR EXCEED SITE CRITERIA, PURSUANT TO PROVISIONS AND LIMITATIONS SET FORTH IN CALIFORNIA HEALTH AND SAFETY CODE, ARTICLES 19981 AND 19993.
3. PURSUANT TO SECTION 19981(A) OF THE HEALTH AND SAFETY CODE: ALL FACTORY-BUILT HOUSING BEARING AN INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE DEEMED TO COMPLY WITH THE REQUIREMENTS OF ALL ORDINANCES OR REGULATIONS ENACTED BY ANY CITY, CITY AND COUNTY, COUNTY, OR DISTRICT WHICH MAY BE APPLICABLE TO THE CONSTRUCTION OF HOUSING. NO CITY, CITY AND COUNTY, COUNTY, OR DISTRICT SHALL REQUIRE SUBMITTAL OF PLANS FOR ANY FACTORY-BUILT HOUSING MANUFACTURED, OR TO BE MANUFACTURED, PURSUANT TO THIS PART FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS PART OR THE REGULATIONS PROMULGATED THEREUNDER, OR FOR DETERMINING COMPLIANCE WITH ANY LOCAL CONSTRUCTION REQUIREMENT, EXCEPT AS PROVIDED IN SECTION 19993.
4. PURSUANT TO SECTION 19981(B) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING BEARING A DEPARTMENT INSIGNIA OF APPROVAL PURSUANT TO SECTION 19980 SHALL BE IN ANY WAY MODIFIED PRIOR TO INSTALLATION UNLESS APPROVAL IS FIRST OBTAINED FROM THE DEPARTMENT.
5. PURSUANT TO SECTION 19981(C) OF THE HEALTH AND SAFETY CODE, NO FACTORY-BUILT HOUSING SHALL BE IN ANY WAY MODIFIED DURING INSTALLATION UNLESS APPROVAL FOR SUCH MODIFICATION IS FIRST OBTAINED FROM THE LOCAL ENFORCEMENT AGENCY.
6. PURSUANT TO SECTION 19993 OF THE HEALTH AND SAFETY CODE: (A) LOCAL USE ZONE REQUIREMENTS, LOCAL SNOW LOAD REQUIREMENTS, LOCAL WIND PRESSURE REQUIREMENTS, LOCAL FIRE ZONES, BUILDING SETBACK, SIDE AND REAR YARD REQUIREMENTS, SITE DEVELOPMENT AND PROPERTY LINE REQUIREMENTS, AS WELL AS THE REVIEW AND REGULATION OF ARCHITECTURAL AND AESTHETIC REQUIREMENTS ARE HEREBY SPECIFICALLY AND ENTIRELY RESERVED TO LOCAL JURISDICTIONS NOTWITHSTANDING ANY REQUIREMENT OF THIS PART.
- (B) LOCAL REQUIREMENTS IMPOSED ON FACTORY-BUILT HOUSING PURSUANT TO THE AUTHORITY GRANTED BY THIS SECTION SHALL NOT VARY SUBSTANTIALLY FROM THE REQUIREMENTS IMPOSED ON OTHER RESIDENTIAL BUILDINGS OF SIMILAR SIZE.

ACCESIBILITY NOTES

11B-233.3 PUBLIC HOUSING FACILITIES
PUBLIC HOUSING FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.

NOTE: SENIOR CITIZEN HOUSING MAY ALSO BE SUBJECT TO CIVIL CODE, DIVISION 1, PART 2, SECTIONS 51.2, 51.3 AND 51.4.

11B-233.3.1 MINIMUM NUMBER: NEW CONSTRUCTION
NEWLY CONSTRUCTED FACILITIES WITH RESIDENTIAL DWELLING UNITS SHALL COMPLY WITH SECTION 11B-233.3.1.

EXCEPTION:
WHERE FACILITIES CONTAIN 15 OR FEWER RESIDENTIAL DWELLING UNITS, THE REQUIREMENTS OF SECTIONS 11B-233.3.1.1 AND 11B-233.3.1.3 SHALL APPLY TO THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS THAT ARE CONSTRUCTED UNDER A SINGLE CONTRACT, OR ARE DEVELOPED AS A WHOLE, WHETHER OR NOT LOCATED ON A COMMON SITE.

11B-233.3.1.1 RESIDENTIAL DWELLING UNITS WITH MOBILITY FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, AT LEAST 5 PERCENT, BUT NO FEWER THAN ONE UNIT, OF THE TOTAL NUMBER OF RESIDENTIAL DWELLING UNITS SHALL PROVIDE MOBILITY FEATURES COMPLYING WITH SECTIONS 11B-809.2 THROUGH 11B-809.4 AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

11B-233.3.1.2 RESIDENTIAL DWELLING UNITS WITH ADAPTABLE FEATURES
IN FACILITIES WITH RESIDENTIAL DWELLING UNITS, ADAPTABLE RESIDENTIAL DWELLING UNITS COMPLYING WITH SECTIONS 11B-809.6 THROUGH 11B-809.12 SHALL BE PROVIDED AS REQUIRED BY SECTIONS 11B-233.3.1.2.1 THROUGH 11B-233.3.1.2.6.

ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.

EXCEPTION: THE NUMBER OF REQUIRED ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE REDUCED BY THE NUMBER OF UNITS REQUIRED BY SECTION 11B-233.3.1.1.

PROJECT DESCRIPTION

MODEL DESCRIPTION

- THE HCD APPROVED PROJECT REPRESENTS A HOMELESS SHELTER OF CONGREGATE RESIDENCE FOR 33 NON-TRANSIENT OCCUPANTS. IT INCLUDES PROVISIONS FOR SLEEPING AND SANITATION BUT DOES NOT INCLUDE PROVISION FOR EATING AND COOKING. THE MODEL PROVIDES 31 SINGLE SLEEPING UNITS AND TWO ADA UNITS WITH ENSUITE BATHROOM WITH ADA ROLL-IN SHOWER IN EACH UNIT.
- PROJECT INCLUDES 400 SF ADMIN/ OFFICE UNIT FOR USE BY THE SERVICE ORGANIZATION.
- THE MODEL PROVIDES THE FOLLOWING FIRE SAFETY MEASURES THAT COMPLIES WITH THE REQUIREMENTS OF 2022 CBC
 - AUTOMATIC FIRE SPRINKLER SYSTEM ACCORDING TO NFPA 13R
 - FIRE ALARM SYSTEM
 - SMOKE AND CO ALARM
 - COMMUNICATION ACCESSIBLE FEATURES FOR THE SIGHT AND HEARING IMPAIRED

DESIGN INFORMATION

Occupancy	R-2	Type of Construction	VB
Use	Emergency Housing		
Main Floor Sq Ft	5,136 sf	Building Height	10'-11"
Basement Sq Ft	N/A	Number of Stories	1
Patio & Decks Sq Ft	N/A	Auto. Fire Sprinkler System	13R
Garage Sq Ft	N/A		

APPLICABLE CODES

National	2022 California Building Code
Electrical	2022 California Electrical Code
Plumbing	2022 California Plumbing Code
Energy	2022 California Energy Code (Title 24)
Other	2022 California Green Bldg Std. Code
Other	2022 California Mechanical Code

DESIGN CRITERIA

Roof Live/Snow Load	20 PSF	Ss	2.0g
Roof Dead Load	5 PSF	S1	1.0g
Floor Live Load	50 PSF	Sds	1.0g
Wind Speed	100 MPH \EXP C	Sd1	1.13g
Seismic Design	E	Frost Depth	N/A
Site Class	D	Climate Zone	9
Thermal Resistance	35.3 ft².hr.°F/Btu (IAPMO-ER560-3.3.5 02/2020)		
Building is not designed for wild-land urban interface fire area.			

IAPMO ER-560 NOTES

* NOTE: REFER TO PRODUCT CERTIFICATION AS RECOGNIZED BY IAPMO UNIFORM EVALUATION REPORT (UES ER 560) PUBLISHED 02/28/2020 (EXPIRATION 02/28/2024) FOR ALL DESIGN AND CODE COMPLIANCE.



MODULAR HOUSING MANUFACTURER	
NAME	LIFEARK SPC
PHONE	(626) 535-9370
EMAIL	info@lifeark.net
WEB	www.lifeark.net
PLANT LOCATIONS	MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET.



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



Revision Schedule		
#	Description	Date



CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
HCD MODEL
DESCRIPTION

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE

SHEET NO.

A1.02



Andrew Deblock <andrew.deblock@lacity.org>

Holds for KY's Calendar

5 messages

Fernando Morales <fernando.morales@lacity.org>

Thu, Jun 29, 2023 at 5:35 PM

To: Jenelle Henderson <jenelle.henderson@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Jenelle,

Could we place the following holds on KY's calendar?

7/17, 7/18, and 7/19 - One hour holds whenever convenient for Midvale IH community calls

7/26 - 3-5pm - Block for Midvale community canvassing with DO

7/29 - 7pm-8:30pm - Midvale Virtual Community Meeting

8/2 - 7:00-8:30pm - Midvale Virtual Community Meeting #2

8/3 - 7:00-8:30pm - Midvale In-Person Community Meeting

8/8 - 5-7pm - Drag Queen Bingo at Council Forecourt

Thanks again,

Fernando



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

Fernando Morales <fernando.morales@lacity.org>

Fri, Jul 7, 2023 at 11:14 AM

To: Jenelle Henderson <jenelle.henderson@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Jenelle,

I just wanted to confirm if all of these holds were placed? Thanks!

Fernando



cd5.lacity.gov

PRA-01-000161-SUPP2-09/29/23

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

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200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]

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Cc: Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

Oops - I didn't see your previous email. KY agreed to make the Midvale IH calls during her vacation. Thanks!

cd5.lacity.gov**Fernando Morales**

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]

Jenelle Henderson <jenelle.henderson@lacity.org>

Fri, Jul 7, 2023 at 11:44 AM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Fernando! I spoke to Vanessa about the Midvale calls. I told her I would check with Katy when she returns to narrow down a time. Since she'll be on vacation, I don't know what time will work best on her end. All other holds were placed.

- Jenelle

[Quoted text hidden]

--

Jenelle Henderson*Executive Assistant & Scheduler*

Office of Councilwoman Katy Young-Yaroslavsky

Councilwoman, Fifth District

City Hall, Room 440

[200 N Spring Street, Los Angeles, CA 90012](https://200NSpringStreet.com)

Tel: (213) 473-7005

**Fernando Morales** <fernando.morales@lacity.org>

Fri, Jul 7, 2023 at 11:54 AM

To: Jenelle Henderson <jenelle.henderson@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Leo Daube <leo.daube@lacity.org>, Gary Gero <gary.gero@lacity.org>

Awesome. Thank you so much, Jenelle! Sounds good!

PRA-01-000162-SUPP2-09/29/23

Fernando



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]

From: Zachary Warma <zachary.warma@lacity.org>
Sent: Tuesday, July 18, 2023 4:29 PM
To: Stephanie Klasky-Gamer; Kimberly Roberts; Kelsey Madigan; Charles Wee; Paul Cho; Jonathan Dilworth; Elda Mendez; Gary Gero; Rebecca Wee; Nkena Lawrence; Fernando Morales
Subject: Re: Exciting update re: Hope Pavilion's service provider; team meeting to discuss site plan layout/design

Afternoon, all!

Quickly, I just want to share a number of updates I just received from BOE (and from earlier in the day, the City Administrative Officer) re: the project -

- **Survey completion:** The final site survey will be completed by the end of this week; we have directed BOE to send it over promptly to the group.
- **ROM / BOE project budget:** BOE noted that they can have a ROM / project budget completed by the end of next week, based on the current layout. I have noted our 7/26 design meeting and the potential for some site tweaks; while I await a response as to whether they are going to hold off until the final layout is submitted, it seems that this process will take approx. 1.5-2 weeks for BOE to complete.
- **LifeArk - commodities contract with GSD:** BOE met with the Department of General Services (GSD) today to discuss the process for sole sourcing a commodities contract, the mechanism by which the City will acquire the LifeArk modules. We have already requested a checklist of all needed documentation (final quote, insurance, warranties, etc).
- **LAFH - service provision contract with GSD:** Once the LAFH budget is completed, that will be transmitted to both GSD and CAO; the August motion will direct the city to enter into a contract with LAFH the on-site service provision; prior to the motion's passage, we will facilitate a meeting with CAO and GSD to walk through the budget and ensure everyone is on the same page.
- **GGA A+E proposal:** BOE has a contractual relationship with GGA. By the end of this week we should be receiving a proposal from the group for A+E services.

If anyone has any questions, please don't hesitate to reach out!

Regards,

Zack Warma

On Tue, Jul 18, 2023 at 10:19 AM Rebecca Wee <rwee@lifeark.net> wrote:
Hi Kimberly,

We are also very excited to get into the details with this project! 7/26 at 2PM will work great for us. Looking forward to it!

Thanks,

On Mon, Jul 17, 2023 at 1:10 PM Kimberly Roberts <KRoberts@lafh.org> wrote:

Hello Charles,

We are very excited to tour the LifeArk site in El Monte on Monday. I expect the visit will facilitate ideas and feedback that will support the design conversation. Given the urgency to move this forward, our team was able to identify a few times next week (after the tour) that work for the LAFH team for a meeting—would either 7/26 at 2 or 3 work for you and your team? We can send a zoom invite to the group once a time is confirmed.

Thank you and look forward to connecting next week!

Kim

Kimberly Roberts, LCSW

Chief Programs Officer | [LA Family Housing](#)

c. 619-944-1125 | a. 7843 Lankershim Blvd. N. Hollywood, CA 91605

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From: Charles Wee <cwee@lifeark.net>

Sent: Friday, July 14, 2023 12:30 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Kimberly Roberts <KRoberts@lafh.org>; Stephanie Klasky-Gamer <stephanie@lafh.org>; Kelsey Madigan <kmadigan@lafh.org>; Gary Gero <gary.gero@lacity.org>; Paul Cho <pcho@lifeark.net>; Rebecca Wee <rwee@lifeark.net>; Jonathan Dilworth <jdilworth@lifeark.net>

Subject: Re: Exciting update re: Hope Pavilion's service provider; team meeting to discuss site plan layout/design

Hi Zach,

Thanks for reaching out with the great news about LAFH! I also learned that having the right service provider is the most important part of the success of any project like this.

Sounds good, infact as I was getting started on the revised layout, I wanted to have everyone involved have an input on the design and layout to make sure we cover everything especially under these challenging site conditions. Let me know when it will work for everyone next week and we will make ourselves available for a good design session.

Have a great weekend!

Thanks,

Charles

213-324-7228



On Fri, Jul 14, 2023 at 12:05 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Charles:

A very happy Friday to you. I am writing to first let you know the incredibly exciting news that LA Family Housing (LAFH) has formally agreed to come on as the service provider for Hope Pavilion / Midvale Interim Housing Project!

While I expect a good portion of the 7/24 El Monte tour will involve discussions around design/layout, we also would like to set up a time prior to the submission of the final site plan layout for the full team - CD5, LifeArk, and LAFH - to really dig into details, and for LAFH to offer feedback based on the knowledge they've gleaned from overseeing numerous IH facilities.

Know that our office so deeply appreciates your and LifeArk's willingness to incorporate LAFH's insights into the plan, to further maximize the ultimate success of this project in supporting its residents' transition to permanent housing.

Hope you have a restful weekend!

- ZW

--



Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

200 North Spring Street, Room 440

Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

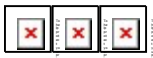
Email: zachary.warma@lacity.org

--

Rebecca H. Wee

LifeArk, SPC.

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

From: Rebecca Wee <rwee@lifeark.net>
Sent: Tuesday, July 18, 2023 10:19 AM
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Sent: Friday, July 14, 2023 12:30 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Kimberly Roberts <KRoberts@lafh.org>; Stephanie Klasky-Gamer <stephanie@lafh.org>; Kelsey Madigan <kmadigan@lafh.org>; Gary Gero <gary.gero@lacity.org>; Paul Cho <pcho@lifeark.net>; Rebecca Wee <rwee@lifeark.net>; Jonathan Dilworth <jdilworth@lifeark.net>

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- ZW

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Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org

--

Rebecca H. Wee
LifeArk, SPC.

Controlling Dept/Bureau/Office	Site Address	APN	Name	Controlling Department	Council District
LADOT	123 S Robertson Blvd	4334001900; 4	Parking Structure #70	DOT	5
LADOT	2377 Midvale Avenue	432204902; 43	Parking Lot # 707	DOT	5
LADOT	1036 Broxton Ave	4363018904	Parking Structure #68	DOT	5
LADOT	2513 S Sepulveda	4256011901	Henry Medina BUildin	DOT	5
GSD	2055 S Sepulevda	4323024902	Odyssey Theater	GSD	5
GSD	N/W Corner of Olympic and Crenshaw	N/A	Vacated triangle at N/	GSD	5

Underutilized City-Owned Property

Current Use	Total Size of Property	Size of Underutilized Area	Restrictions on Use	Source of Acquisition Funds
Parking Structure	23,770	The whole lot could be redeveloped		
Parking Lot	16,860	16,860		
Parking Structure	29,876	The whole lot could be redeveloped		
Henry Medina Parking Enforcem	133,531	40,000		
Non-Profit Lease - Theater Comp	48,270	20,000		
Vacant	16,220	16,220		

Additional Information
3 story parking garage with ground floor retail
The three lots have an alley running between them
3 story parking garage with ground floor retail
Surface parking portions can be better utilized; whole property could also be considered for redevelopment
Surface parking portions can be better utilized
This land was vacated and filled in, is not currently being used.



Dylan Sittig <dylan.sittig@lacity.org>

Identification of City-owned underutilized property

10 messages

Eve Bachrach <eve.bachrach@lacity.org>
Bcc: dylan.sittig@lacity.org

Fri, Feb 10, 2023 at 4:42 PM

To All Council Offices,

On January 13, the attached memo was sent to all Departments and Council Offices requesting the identification of underutilized property under their control by January 31, 2023. Today, Executive Directive 3 on the emergency use of viable City-owned property was released.

Our records indicate that we have not yet received a reply from your Council Office. We respectfully ask that you provide a list or a negative response promptly.

Thank you for your cooperation and please let me know if I may answer any questions.

Eve

--

Eve Bachrach

Administrative Analyst - Group 15/Asset Management
Office of the CAO
200 N. Main Street, Suite 1500
Los Angeles, CA 90012
eve.bachrach@lacity.org
(213) 978-7682 (cell)



20230113 IDENTIFICATION OF CITY-OWNED UNDERUTILIZED PROPERTY.pdf
154K

Dylan Sittig <dylan.sittig@lacity.org>

Fri, Feb 10, 2023 at 4:45 PM

To: Gary Gero <gary.gero@lacity.org>, Kristen Pawling <Kristen.Pawling@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hi all,

Please see below from the CAO's Office. I wasn't aware of this request until just now. Is there a status update on this information? Please let me know if I can be of further assistance as well.

Dylan

[Quoted text hidden]

--



Dylan Sittig

Pronouns: he, him, his

Senior Planning Deputy

Councilwoman Katy Yaroslavsky, Fifth District

200 North Spring Street, Room 440, Los Angeles, CA 90012

(213) 473-7005 Los Angeles City Hall Office

Email: dylan.sittig@lacity.org

PRA-01-000175-SUPP2-09/29/23

All e-mail correspondence with the office of Councilwoman Katy Yaroslavsky (including any attachments), along with any associated personal identifying information, is considered a public record under the California Public Records Act and may be subject to public disclosure.



20230113 IDENTIFICATION OF CITY-OWNED UNDERUTILIZED PROPERTY.pdf
154K

Gary Gero <gary.gero@lacity.org>

Fri, Feb 10, 2023 at 4:54 PM

To: Dylan Sittig <dylan.sittig@lacity.org>

Cc: Kristen Pawling <Kristen.Pawling@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

I guess I must have missed it as well. I presume they're only interested in underutilized property which we (the Council office) own or control since departments are being asked to report separately. If so, I think the answer is we do not have any (unless I am mis-reading/mis-understanding the request)

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>

Tue, Feb 14, 2023 at 6:07 PM

To: Gary Gero <gary.gero@lacity.org>

Cc: Kristen Pawling <Kristen.Pawling@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hi Gary,

The issue may have been on the CAO's side actually. They might not have our office's contact info in the system they used to send out the initial request.

I agree that the main ask, per Eve's email, is for property under each Department's control. However the letter she attached didn't have that same specificity. Zach and I compiled [this list](#) of parcels that may be responsive to their request. Would you be fine with us sending this list so that we can sort of double check that parcels we think might have some potential opportunities don't get passed over by other Departments?

Please advise.

Best,
Dylan

[Quoted text hidden]

Kristen Pawling <kristen.pawling@lacity.org>

Wed, Feb 15, 2023 at 8:48 AM

To: Dylan Sittig <dylan.sittig@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Agreed that it's a good idea. I'd just make it clear that those are parcels we are aware of, but that it is not a comprehensive list.

[Quoted text hidden]

--



Kristen Torres Pawling

Pronouns: she/ella

Deputy Chief of Staff for Policy & Planning

Councilwoman Katy Yaroslavsky, Fifth District

[200 North Spring Street, Room 440, Los Angeles, CA 90012](#)

(213) 473-7005 Los Angeles City Hall Office

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Gary Gero <gary.gero@lacity.org>

Wed, Feb 15, 2023 at 9:35 AM

To: Kristen Pawling <kristen.pawling@lacity.org>

PRA-01-000176-SUPP2-09/29/23

Cc: Dylan Sittig <dylan.sittig@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

okay, go ahead and send it to her - I had already responded that we didn't have property of our own so just clarify that these are properties that we are aware of, thanks

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>

Wed, Feb 15, 2023 at 4:17 PM

To: Eve Bachrach <eve.bachrach@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Kristen Pawling <Kristen.Pawling@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hi Eve,

I hope you are well. Thank you for reaching out about this matter.

I understand that Gary has let you know that Council District 5 does not have any properties under our control.

That said, we have taken a look at some of the properties other Departments control within the geographic boundaries of CD 5 and have compiled some that we think might have potential for other uses; this is not a comprehensive list of all City owned sites in CD 5. Please see this list attached and let me know if you have any questions.

Best,
Dylan

[Quoted text hidden]

[Quoted text hidden]



CD 5 - UnderutilizedProperty.xlsx
13K

Eve Bachrach <eve.bachrach@lacity.org>

Wed, Feb 15, 2023 at 4:25 PM

To: Dylan Sittig <dylan.sittig@lacity.org>

Thank you, Dylan! For the LADOT lots, are you suggesting that the public parking there would not need to be replaced?

[Quoted text hidden]

Dylan Sittig <dylan.sittig@lacity.org>

Wed, Feb 15, 2023 at 4:34 PM

To: Eve Bachrach <eve.bachrach@lacity.org>

Right, certainly for the short term we don't believe that any parking would need to be replaced at those sites. If we do longer term construction at those sites then we can have a more nuanced conversation about potential replacement options, but are open to not replacing.

Best,
Dylan

[Quoted text hidden]

Eve Bachrach <eve.bachrach@lacity.org>

Wed, Feb 15, 2023 at 4:38 PM

To: Dylan Sittig <dylan.sittig@lacity.org>

Understood, thank you!

Eve

[Quoted text hidden]



Andrew Deblock <andrew.deblock@lacity.org>

Midvale Calls

2 messages

Vanessa Saldana <vanessa.saldana@lacity.org>

Thu, Jul 13, 2023 at 4:47 PM

To: Jenelle Henderson <jenelle.henderson@lacity.org>

Cc: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Leo Daube <leo.daube@lacity.org>

Hi Jenelle,

Here's a list of individuals that Katy can call for the Midvale Project, but at her discretion to skip any.

1. Terri Tippit
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
2. [Lisa Morocco](#)
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
3. Barbara Broide (Midvale Project will be on her HOA)
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
4. [Sean McMillan](#)
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
5. [Margaret Gillespie](#)
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
6. Vicki Curry
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
7. Jae Wu (Optional, Sean McMillan colleague)
 - a. Phone Number: [REDACTED]
8. Mary Williams
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]
9. Craig Rich, WSSM (optional, but willing to show support for interim housing)
 - a. Email: [REDACTED]
 - b. Phone Number: [REDACTED]

Sincerely,

--



cd5.lacity.gov

Vanessa Saldana

Field Deputy, Palms & Westside

O: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

PRA-01-000178-SUPP2-09/29/23

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Jenelle Henderson <jenelle.henderson@lacity.org>

Thu, Jul 13, 2023 at 4:48 PM

To: Vanessa Saldana <vanessa.saldana@lacity.org>

Cc: Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Leo Daube <leo.daube@lacity.org>

Thank you so much for the info.

[Quoted text hidden]

--

Jenelle Henderson***Executive Assistant & Scheduler***

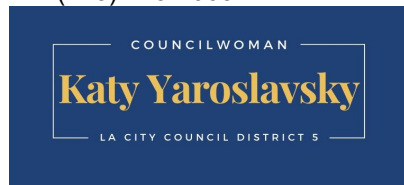
Office of Councilwoman Katy Young-Yaroslavsky

Councilwoman, Fifth District

City Hall, Room 440

[200 N Spring Street, Los Angeles, CA 90012](#)

Tel: (213) 473-7005



Run-Of-Show, Midvale IH Community Meeting

8/3/2023

5:30pm-7:00pm; 4:30pm arrival for presentation partners

Participants:

- Councilwoman Yaroslavsky's Office: Gary Gero, Fernando Morales, Andrew Deblock, Leo Daube, Analiz Marmolejo, George Hakopiants, Allen Zipper, Vanessa Saldana, Matthew Tenchavez, Perla Urzua, Loren Jackson
- Mayor's Office:
- LAHSA:
- LA Family Housing: Stephanie Klasky-Gamer, Kelsea Madigan
- LifeArk: Charles Wee, Paul Cho

Project Background:

- Opportunity to learn, provide feedback, and work in partnership to create an interim housing site on the Northwest corner of Pico Blvd and Midvale Ave that will provide immediate relief by bring indoors people experiencing homelessness in the immediate neighborhood
- Service Planning Area (SPA) 5 has the lowest number of beds for single adults
- CD 5 currently has zero interim housing beds for single adults
- In the last decade, homelessness in Los Angeles has more than doubled, with more than 46,000 Angelenos lacking a stable and secure place to sleep on a given night
- Over 70% of those individuals and families are unsheltered, meaning they are sleeping in tents, parks, on sidewalks and in cars, because of the city's ongoing lack of both interim and permanent housing
- While many neighbors experiencing homelessness are connected to some services, and a vast majority are ready for housing, we do not have the units to bring folks indoors that are ready to re-establish stable lives
- The goal of the project is to act as a link between street homelessness and permanent housing, with a team of mental health and substance use disorder specialists, permanent housing navigation support, and employment assistance to aid people in re-establishing stable lives
- Participants will be provided with ensuite bathrooms, storage and laundry facilities, and three meals per day
- Facility will feature 24/7 security, additional public safety resources, and a 500 ft radius that prohibiting encampments (sensitive use site)
- Have conceptual drawings that currently project 34 beds, but purely conceptual at this point
- Project will be constructed by LifeArk, the winner of the LA County Homeless Initiative Innovation Challenge and will feature prefabricated structures that are both quickly built and very durable
- Operations will be led by LA Family Housing, a national leader in helping people transition out of homelessness and poverty.

- In its dual role as a homeless service provider and affordable housing developer, LA Family Housing delivers well-managed housing enriched with a suite of supportive services that enable people to transition out of homelessness and regain personal stability long-term.
- We are at the beginning of the process and eager for community feedback

Open House

- 4:30pm- Setup and arrival of presenters
- 5:30pm-6:00pm - Participant sign-in and opening welcome by Rabbi Jaclyn
- 6-6:20pm- Short remarks by Rabbi Jaclyn, WLA Captain Gabaldon, CM Yaroslavsky, MO Bass, and Dr. Adams-Kellum
- 6:20-7:00pm - Open House continues

Table Set Up

- Welcome table/Sign In (CD 5 - Allen Zipper/Analiz Marmolejo)
 - Will be provided with a map of the room (layout) and feedback card
 - Sign-up for future project updates
- Table 1: Interim Housing need in CD 5 and General Project Information (CD 5 - George Hakopiants/Matthew Tenchavez/Vanessa Saldana)
 - Can help folks understand what homelessness looks like in CD 5
 - Share findings of the CD 5 Homelessness Team
 - Information on identification of site, manufacturer, and service provider
 - Why here? How will this better our community?
 - Information on how this will make the community more safe
 - Feedback re: local encampments or neighbors in need of housing
- Table 2: What is Interim Housing/Overview of Continuum of Care and Housing Resources (LAHSA - ?)
 - Need to meet folks where they're at by building solutions in all communities
 - Efforts/commitment toward addressing homelessness
 - Community specific numbers for SPA 5 area around Pico/Midvale
 - What is interim housing?
 - What purpose does interim housing serve?
 - Why is interim housing needed in SPA 5?
- Table 3: How is Interim Housing Operated (LAFH - Stephanie Glasky-Gamer, Kelsey Madigan)
 - Helpful for people to understand how interim housing is operated
 - Feel free to include information on what "low barrier" means and what specific services are provided
 - Information about security
 - Interim housing sites are safe - no deaths have occurred at IH sites in the City of Los Angeles (please fact check)
 - Information on LAFH's track record of communicating/working with nearby housed communities

- Protocols for substance use, serious mental illness, or dangerous items
 - Common question- how long do people stay in interim housing/how long are people **allowed** to stay in interim housing?
- Table 4: How is Interim Housing Designed/How will this “fit character of neighborhood”
 - LifeArk (Charles Wee, Paul Cho)
 - Renderings/layout information
 - Fire safety
- Table 5 – Inside Safe/Ongoing work by the City of LA on Homelessness (MO Bass’s Office)

2377 MIDVALE INTERIM HOUSING PROJECT

CALENDAR OF OFFICE-LED ACTIONS

JULY

- **7/17, 7/18, 7/19:** KY initial community 1-1 calls (FM/VS)
- **7/21:** All public-facing collateral finalized
- **7/24:** Beginning of Public Engagement Process - Snail Mail, Emails, Virtual Mtg Dates, and Website (LD)
- **7/24, 7/26, 7/27:** DO Team Canvassing w/project materials (FM/GH/VS)
- **7/29 or 7/30:** First Virtual Meeting (FM/GH/VS)

AUGUST

- **8/3:** In Person Meeting (FM/GH/VS)
- **8/8:** Introduce motion for GSD to execute contract with LifeArk, CAO to contract with service provider (ZW)
- **8/10:** Transportation Board of Commissioners Motion (FM to attend)
- **8/16:** Housing & Homelessness Committee hearing (ZW)
- **Week of 8/21:** Council vote (ZW)

OCTOBER

- **10/15 (approx):** Design-build set finalized (4-6 week process once funding is available)

DOCUMENT LINKS

- Public Event Checklist
- FAQ
- Hope Pavilion Proposal



Andrew Deblock <andrew.deblock@lacity.org>

Midvale Prep - Next Week - Confidential

4 messages

Fernando Morales <fernando.morales@lacity.org>

Fri, Jun 30, 2023 at 12:25 PM

To: Vanessa Saldana <vanessa.saldana@lacity.org>

Cc: Patricia Macias <patricia.macias@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Good morning, Vanessa!

As we move forward with finalizing the community engagement plan for Midvale, could you work on the following items prior to COB Thursday of next week?

- Work with Jenelle, George, and Andrew to schedule time for KY to make 15 minute calls through the following community leaders on 7/17, 7/18, and 7/19 (make sure that KY has the best mobile number to reach them, general TPs and the FAQs in the notes from Leo) - I have asked for Jenelle to place an hour block on all three days (but it may have to be a longer block). Please track on the [midvale outreach document](#).
 - Sean McMillan
 - Margaret Gillespie
 - Mary Williams
 - + other appropriate members of the West LA Homeless Board
 - Terri Tippit
 - Lisa Morocco
 - + other appropriate members of the NC
 - HOA presidents from any HOAs within the 1,000ft of the site
 - Genevieve Riutort (Westside Foodbank)
 - Abundant Housing LA (Andrew connection)
 - Forward LA (Andrew connection)
 - St. Timothys/Temple Isaiah
- Confirm the location for the In Person Townhall on the night of 8/3 from 6-7:30pm (we can keep it general that it is a community meeting re: housing/homelessness)

I will be out next week, but I'll set up some time for all of us to check in on Friday to help bridge any contacts/help finalize the scheduling of these first engagement calls. Thank you!

Fernando



cd5.lacity.gov

Fernando Morales

Deputy Chief of Staff

Housing/Homelessness, Operations, and Special Projects

City Hall: (213) 473-7005

District: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

Vanessa Saldana <vanessa.saldana@lacity.org>

Fri, Jun 30, 2023 at 12:53 PM

To: Fernando Morales <fernando.morales@lacity.org>

Cc: Patricia Macias <patricia.macias@lacity.org>, George Hakopiants <george.hakopiants@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Sure thing!

[Quoted text hidden]

--

PRA-01-000184-SUPP2-09/29/23



cd5.lacity.gov

Vanessa Saldana

Field Deputy, Palms & Westside

O: (323) 866-1828

Los Angeles City Hall

200 North Spring St., Room 440

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George Hakopiants <george.hakopiants@lacity.org>

Fri, Jun 30, 2023 at 12:57 PM

To: Vanessa Saldana <vanessa.saldana@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Patricia Macias <patricia.macias@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Thanks, Vanessa!

I will be there to support you throughout the process. Please feel free to include me in your meetings with stakeholders.

[Quoted text hidden]



George Hakopiants

District Director

[Quoted text hidden]



cd5.lacity.gov

Fernando Morales <fernando.morales@lacity.org>

Fri, Jun 30, 2023 at 1:28 PM

To: George Hakopiants <george.hakopiants@lacity.org>

Cc: Andrew Deblock <andrew.deblock@lacity.org>, Patricia Macias <patricia.macias@lacity.org>, Vanessa Saldana <vanessa.saldana@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Thanks, Vanessa!

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Committees:

Chair

Personnel, Audits,
and Animal Welfare

Vice Chair

Transportation

Member

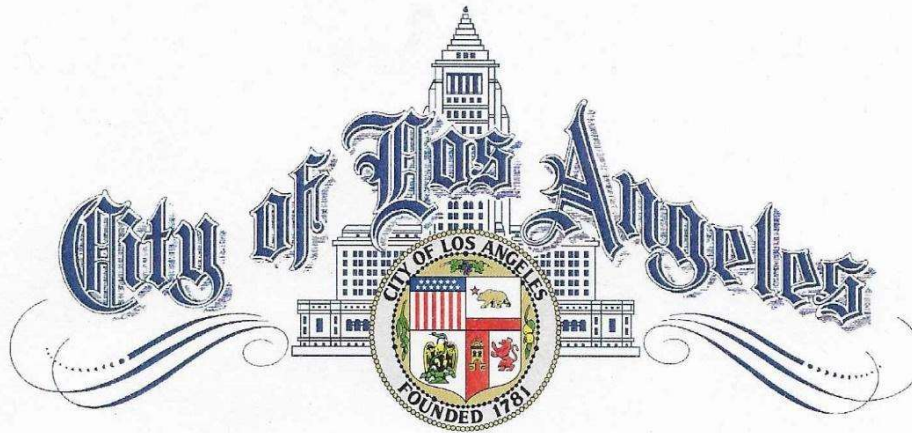
Energy, Climate Change,
Environmental Justice
and River

Public Works

Ad Hoc Committee
on 2028 Olympics
and Paralympics Games

Website: <http://cd5.lacity.org>

Email: Paul.Koretz@lacity.org



PAUL KORETZ
Councilmember, Fifth District

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6380 Wishire Blvd.
Suite 800
Los Angeles, CA 90048
(323) 866-1828
(323) 852-1129 Fax

June 28, 2022

Councilmember Kevin de Leon
Chair, Homelessness and Poverty Committee
200 N Spring Street, Suite 425
Los Angeles, CA 90012

Re: Council File 21-0052, 2025 Homeless Housing Goal

Dear Councilmember de Leon and committee members,

Homelessness is without question the overarching crisis of our time, and I thank you for your continued efforts to push the envelope to secure additional housing interventions for our city's most vulnerable residents.

The Chief Legislative Analyst's report in response to the above-referenced motion is illustrative of the tremendous work that has been done to bring more than 22,500 new interventions online. But, it also highlights the significant challenges the City continues to encounter in responding to the need for substantial amounts of new housing suitable for persons currently experiencing homelessness or living in any one of several forms of interim housing or shelter.

Even before the City crafted its Homeless Strategy and, in 2016, successfully placed Measure HHH before the voters to generate \$1.2 billion for Supportive Housing and other facilities to serve persons experiencing homelessness, the Mayor and the several City departments responsible for managing the City's land holdings began reviewing the inventory of those properties. The goal was to identify any that might be suitable for affordable or homeless housing. Emphasis was placed on surplus and underutilized properties.

The City had employed a "low-hanging fruit" strategy that pursued the easiest to acquire or repurpose properties first and foremost. This strategy resulted in the City being able to bring dozens of interventions to fruition in relatively quick order. But it also created significant geographic disparities in the siting of these interventions, with notable deficiencies being found in high-land-cost areas of the city.

Despite these constraints, over the course of some three years, intense negotiations and a major renovation, in 2020 an aging motel on South La Cienega finally became the district's first A Bridge Home site. And I'm proud to say that two HHH projects, one on a private lot on North La Brea and another in West Los Angeles are now under construction, with the latter being one of the first HHH projects to employ more cost-effective modular construction techniques. But, much, much more is needed.

As Councilmember for one of the City's highest-land-cost districts (see attached map), I know firsthand the difficulties associated with finding usable sites. Council District Five's neighborhoods almost all fall into the high-cost category and typically attract expensive development projects.

The Los Angeles Alliance litigation has also emerged as a focal point for the City's efforts to find shelter and housing for the unhoused. Unfortunately, the Council has chosen to structure its response on an "each district is responsible for its own" basis, heightening the challenge several high-land-cost districts have faced. In light of this settlement, we have no choice but to implement strategies - including spending more money if necessary - that will enable us to meet our obligations.

Unfortunately, my efforts to build on these admittedly modest beginnings have been continually thwarted by those same high-land-costs, the lack of sufficient City or other public funds, property unavailability, square footage deficiencies, and losing out to private sector buyers/developers. More than 100 potential sites (see attachment) have either fallen through or been rejected by City coordinators because the property is too expensive or the parcels are too small.

Moreover, the public's perception of our efforts has not been complimentary, which is understandable considering conditions on our City's streets. The specter of per-unit costs in the \$600,000-\$700,000 range for many HHH projects (even though the City's direct investment is strictly limited to \$140,000 per unit) has understandably drawn criticism.

The time it takes to develop projects, slowed by convoluted financing processes and City permitting, along with construction time (which slowed during the pandemic) has the public wondering where its billion dollars-plus went. They'll see soon enough, but in the meantime, our affordable housing shortage, inflation, and pandemic disruptions to employment have increased the number of unhoused persons in Los Angeles.

As the City moves forward with a resource allocation plan in the wake of the Alliance settlement, I encourage this committee and all of the City's decision-makers to re-evaluate the methodology and system of prioritization used to site homeless housing, and move in a direction that takes into consideration the variable sizes and costs of property in the City of Los Angeles, and the need to equitably distribute homeless interventions and services throughout the city (see Council File 22-0045).



Councilmember Kevin de Leon

June 28, 2022

Page Three

As my tenure on the City Council winds down, I remain committed to doing everything I can to create long-term solutions to homelessness. I am no more satisfied with my district's progress - or lack thereof - than are my constituents, critics and colleagues. If we are to continue to try to address these issues district-by-district, I must look to all of the City's decision makers to seek solutions that are realistic and which take into account the unique obstacles and needs of each district in this diverse city.

Thank you,

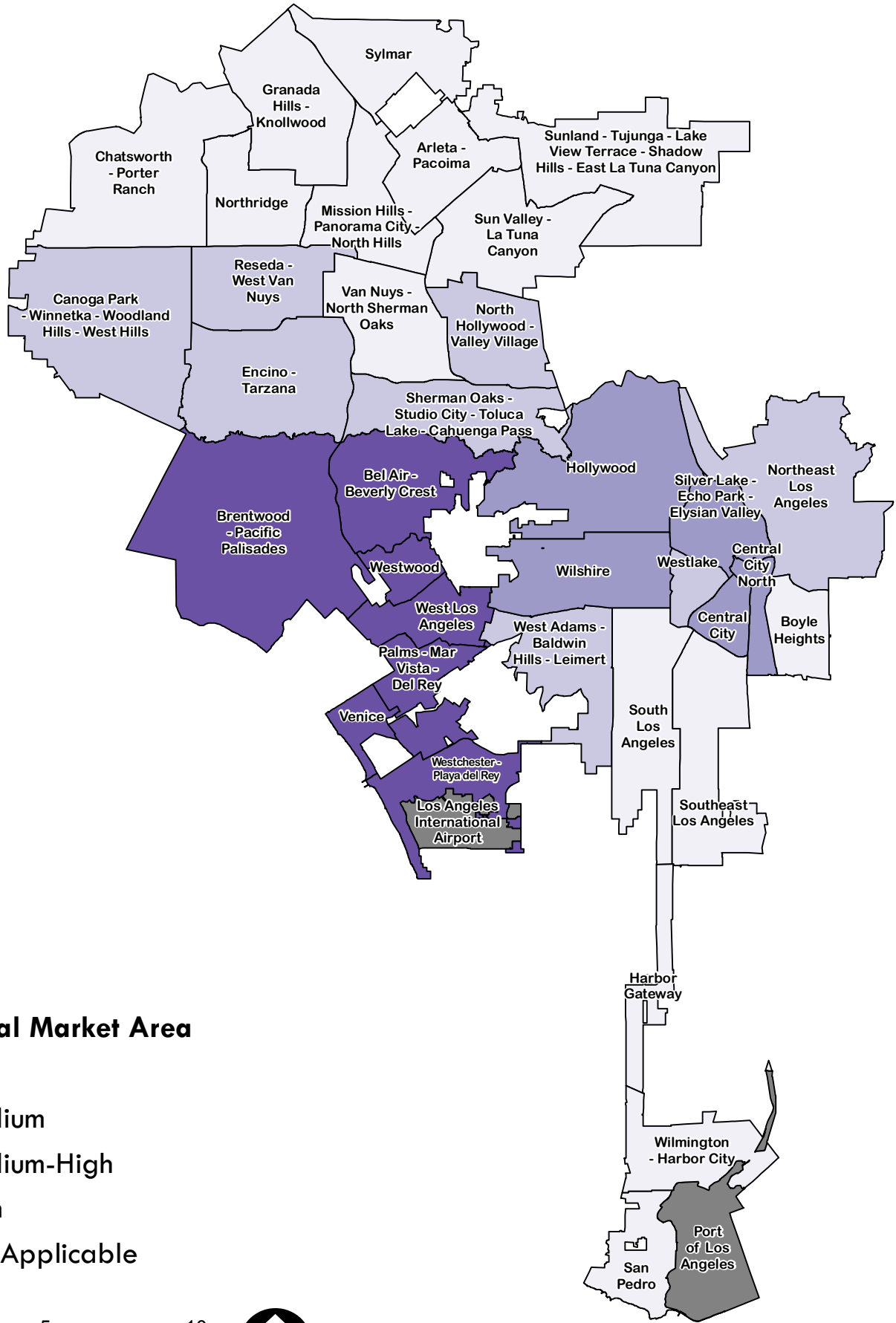


PAUL KORETZ

Councilmember, 5th District

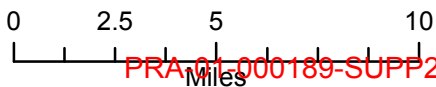


Affordable Housing Linkage Fee Residential Market Areas



Residential Market Area

- Low
- Medium
- Medium-High
- High
- Not Applicable



MASTER LIST											
CD	Ownership	Site Name	Parcel Number	Zip Code	Address	Sq. Ft.	Zoning	Site Visit	Status/Feasible?	Project Type (for Roadmap)	Notes
5	City	LA DOT Lot 680	4363018904	90024	1036 Brodton Ave	29,070	C4-2D-O				Commercial uses on the first floor, two blocks from UCLA campus. TOC Tier 3
5	City	LA DOT Lot 748	4323013900	90025	11050 - 11010 Santa Monica Blvd	10,500	C2-1VL-O, TOC Tier 3		Motion issued 5/1/18; not good for interim housing.		LADOT lot adjacent to a 4-story office building (C2) and a 2-story residential (R3). Adjacent property is underutilized (Santa Monica Collision); very close to bus routes; alley access in the rear of site. Site dimensions for the lot are 88 ft x 120 ft.
5	Private				10320 Olympic Blvd	32,963			No	Interim Housing	Owner not interested in leasing for interim housing.
5	Private				10612 National Blvd.	10,273			No	Interim Housing	Too small for interim housing.
5					1070 Veteran Ave.				No	Interim Housing	parking structure; unsafe for safe parking
5					10833 La Conita Ave.				No	Interim Housing	parking structure; unsafe for safe parking
5	Private				11161 W. Pico Blvd.	20,000			No	Interim Housing	Too small for interim housing
5	Private				1977 Sepulveda Blvd.	39,000			No	Interim Housing	Not open to lease, only sale, and multiple bids are pending
5	Private	CF 21-0437			200 S. La Brea	49,932			No	Interim Housing	Owner not interested in leasing for interim housing because of mixed-use building.
5	Private				2347 Pontius Ave.	6,536			No	Interim Housing	Too small for interim housing
5	Private	CF 21-0437			2352 S. Sepulveda Blvd.	12,729			No	Interim Housing	Owner is in negotiation with a long-term client. Site not available for lease.
5	Private				371 S. Fairfax	9,338			No	Interim Housing	Too small for interim housing.
5	Private				401 S. Robertson (Beverly Hills)	15,831			No	Interim Housing	Outside of City of Los Angeles jurisdiction
5	Private				411 S. Fairfax	4,400			No	Interim Housing	Too small for interim housing.
5	Private				477 S. Fairfax	4,400			No	Interim Housing	Too small for interim housing.
5	Private				543 N. Fairfax Ave.	22,164			No	Interim Housing	Proposed rent ~\$150,000; GSD to inquire if parking lot can be leased for no cost for safe parking.
5	Private				6423 Wilshire Blvd.	17,712			No	Interim Housing	Per GSD, owner is not interested in leasing for interim housing; BC did initial review, and concerned about location (busy intersection, next to new luxury apartments)
5		Former Montessori school			650 N San Vicente	13,650			No	Interim Housing	Pending lot size parameters
5	Private	CF 21-0437			8765 Burton Way 90048	13,962			No	Interim Housing	Owner not interested in leasing for interim housing.
5	Culver City				9415-9427 Venice Blvd.	12,500			No	Interim Housing	Too small for interim housing.
5	RAP	L-Shaped parking lot that would require coordination with RAP field operations			Bad News Bears Baseball Park 1401/1411 S. Sepulveda	42,562			No	Interim Housing	Actively used park, not compatible with interim housing
5	RAP	Relocate trailers to locations that allow restored public access to park facilities.			Cheviot Hills Park 2551 Motor Ave				No	Interim Housing	Actively used park, not compatible with interim housing
5	LADWP	Parking scattered throughout site, and world require coordination with DWP operations.			LADWP West LA Commercial Office 1394 S. Sepulveda Blvd.	95,000			No	Interim Housing	Active LADWP Office
5	RAP	L-Shaped parking lot that would require coordination with RAP Rac Center operations			Westwood Recreation Center 1350 S. Sepulveda Blvd.	102,000			No	Interim Housing	Actively used park, not compatible with interim housing
5	US Government				Wilshire Federal Building 11000 Wilshire Blvd				No	Interim Housing	4/30 letter from GSA, lot is highly used
5	Private	Former swim school			2810 S. Robertson Blvd.	10,125			No	Interim Housing	Too small for interim housing, challenging to design around multiple in ground pools
5	Metro				Irene and Motor	8,766			No	Interim Housing or Safe Parking	Too small for interim housing and not recommended for safe parking because of low need
5	Private	Church parking lot, privately owned, owner reached out to offer the lot a couple of years ago.			St. John's Presbyterian Church 11000 National Blvd. LA 90064				No	Safe Parking	Because of community pushback, the owner does not want to proceed at this time and the CD agreed. CD looking for a different lot to use instead.
5					1018 Hilgard Ave.				On Hold	Interim Housing	UCLA property; spoke with CD on 9/4, waiting on CA to review deed
5	Private	Former Staples store			10830 W. Santa Monica Blvd.	15,498			On Hold	Interim Housing	
5	Private				6739 W. Olympic and 933 Schumer	22,212			On Hold	Interim Housing	
5	Private				9616 W. Pico Blvd	52,655			On Hold	Interim Housing	4/5 AW to send to GSD to call for availability of Ralob's
5	Private				10330 Olympic Blvd	23,392			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				157 S. Fairfax Blvd	12,194			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				1975 S. Sepulveda Blvd	32,800			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				2929 S. Sepulveda Blvd	54,413			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				640 N. Sepulveda Blvd	31,130			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	Private				8339 W. 3rd St.	19,132			Pending Clearance	Interim Housing	Hold until LAHD responds on PHK options
5	U.S. Gov't (Federal)				Burbank Blvd.	40,000			Pending Clearance	Interim Housing	GSA-owned, likely leased to RAP; sent to RAP for clearance and pending response
5		CF 21-0437			9415-9427 Venice Blvd.				TBD	Safe Sleeping	Site is owned by Culver City and is pending direction by Culver City
5	Caltrans				1981 Cotner Ave.	72,834			With BOE	Interim Housing	9/14 sent to BOE for review
5	Private	CF 21-0437			10755 Venice Blvd	31,765			With Brilliant Corners	Interim Housing	Lower priority
5	Private	CF 21-0437			8755 Olympic Blvd	17,171			With Brilliant Corners	Interim Housing	Higher priority; pending inspection recommendation from BC; ADA inspection planned for 10/8 and physical needs inspection planned for 10/21
5	Private				3115 S. Sepulveda Blvd.	56,934			With GSD	Interim Housing	7/12: Pending response from broker if available for interim housing
5	Private	10 single family homes with 3 bedrooms, 3 bathrooms each			853-869 Detroit St.	13,227			With GSD	Interim Housing	Sent to Housing for PHK consideration & GSD for leasing inquiry; Owner open to leasing for 5 years. COO expected 9/21, asking \$7250/mth per home (10 3br/3ba homes); Send to LAHSA to inquire on leasing
5	Private				10830 Santa Monica Blvd.	15,498			With LAHD	Interim Housing	Sent to LAHD for PHK consideration
5	Private	Apartment complex listed as for sale			8377-8387 Blackburn Ave.	21,194			With LAHD	Interim Housing	For sale, bidding period ended 5/28. 13 vacant apartment units being marketed for long-term redevelopment of up to 50 units.
5	ABH				1479 S. La Cienega				Yes	A Bridge Home	
5					7253 Melrose Ave				Yes	Interim Housing	
5	Private	3-story assisted living facility, proposed by Brilliant Corners. Site has 31 rooms for up to 62 beds. Sprinklered and fire alarm system. Available for lease, 30k MG for min 5 years.			7253 Melrose Ave	12,240 sq ft (bldg) + 5,989 sq ft (lot)			Yes	Interim Housing	Approved for funding, pending lease agreement
5					Coalition to Abolish Slavery and Human Trafficking (CAST) Shelter - Address Withheld				Yes	Interim Housing	
5	Private	Chabad of UCLA	4363007028	90024	741 S. Gayley Avenue	13,314	[O]R4-1VL, TOC Tier 3				This property is owned by Chabad of California. It is a four story brick apartment building with parking on the ground level. The building may be historic - each front window is stained glass. The building s.f. is unknown. The building is just off the southeast edge of the UCLA campus, in the heart of the Westwood neighborhood. This is a dense residential area with student-serving shops and services, including grocery and restaurants. There is good bus service in the area, five lines are available at a bus stop half a block away.
5	City	Bel Air Bureau of Street Services Yard Bldg 8/14	4323026900	90025	1826 Cotner Ave	48,972	PF-XL				Owner has indicated he is not interested in meeting with CAO to discuss the use of this site for interim housing (6/11/18). Lot situated off the 405 freeway amongst M2-1 zones. Adjacent to the lot (corner of Nebraska Ave/S Sepulveda) are sections of commercial improvements.

5	Private		4251015006	90034	3443 S. Sepulveda	121,067	C2-1VL			Owner not interested- the site is a former Albertson's that is currently unoccupied. It is on a busy commercial corridor with shops and four story multifamily housing, directly across the street from a Trader Joe's. It is located one block from an elementary school, and very close to but across the freeway from the Mar Vista Recreation Center. Directly to the north of the site is a surface parking lot and a parking structure that serve the adjacent 12 story office building. The entire site is 121,000 s.f. The store itself is about 40,000 s.f. There is a parking area to the north (adjacent to the parking structure and lot of the office building) that is about 36,000 s.f. The dimensions are 125 feet x 290 feet. Internet searching leads us to believe that it is used to sell pumpkins at Halloween, and so it may have other seasonal uses as well. Physically this location would certainly work for a temporary bridge housing shelter, as it is rectangular and paved. It might have a slight slope. It would not have impact on the immediately adjacent neighbors, but it does have proximity to some uses that would be considered sensitive, such as an elementary school and the recreation center.
5	City		4309002901	90034	2317 S Beverwill Dr	80,170	R1V2-O			Nuisance abatement property. Land includes part of Benedict Channel (paved river), space between the channel and single-family homes, and a patch of trees and plants between the channel and Beverwill Dr (about 25,000 square feet). A golf course is also nearby. Note from GSD: "Clean up, fencing repair (est tant)"
5	City	LA DOT Lot 689	4305014903	90035	8866 Pico Blvd	14,400	C4-1VL-O, TOC Tier 3	y		On a commercial street, residential adjacent - an additional 26 parking spaces is under construction at the Pico Robertson Senior Community Apartments project. The motion indicates that the senior center requested additional parking spaces and through the SPRF (Special Parking Revenue Fund), it is currently under construction
5	City	LA DOT Lot 688	4332014901	90035	1156 Clark Dr	12,750	R3-1-O			The parking lot is at the bottom floor of a 5 story apartment building. The lot abuts a narrow alleyway along with commercial improvements facing Pico Blvd. Metro buslines are located adjacent to Robertson Blvd.
5	Private	Sunny Hills Assisted Living	4333011025	90035	8755 W. Olympic Blvd.	17,531	[Q]R3-1-O			Privately owned site, added at request of Council office. Owned by Jewish Education Movement. Unused licensed care facility could be converted to bridge housing. Located amongst residential zones. On the corner of Olympic Blvd and Robertsons Blvd are Metro buslines. Further down Olympic Blvd is La Cienega Park.
5	City	LA DOT Lot 642	4303001BRK	90035	1421 S Wooster St	14,800	[Q]R3-1-O			Appears to be part of Pico Wooster Senior Housing? Actual address seems to be 1417 S WOOSTER ST, and DOT lot is zoned for medium residential, lot connected to alley, very narrow, most definitely not 14,800 sq ft. part of parking might be under the senior
5	City	LA DOT Lot 703	4334001900	90048	123 S Robertson Blvd	23,620	[Q]C2-1VL-O			Robertson Parking Structure, commercial uses on the first floor. Lot sandwiched between both commercial improvements and residential zones.
5	Private		5088001001	90048	6739 W Olympic Blvd	22,212	[Q]C2-1-O- HPOZ, TOC Tier 3			Privately-owned lots at the corner of Olympic Blvd and La Cienega Blvd. Three parcels in total: 17,000 SF in vacant land. A fire damaged single-family home is located on one of the parcels. The site borders the City of Beverly Hills, as it is adjacent to La Cienega Park, which has baseball fields, a children's playground, and a community center. Across La Cienega Blvd are more City of Beverly Hills facilities, such as the Margaret Herrick Library and the La Cienega Tennis Center. The lot is adjacent to residential and commercial zones. There are four bus lines the site's intersection. The site also has a billboard on the site; it is unclear whether or not the billboard owner has rights regarding the site. Water, sewer, stormdrains, and power are readily available from Schumacher Street. BOE estimates that a facility on this site could house 45 total beds, 30 men and 15 women
5	Private		5527035027	90048	7951 W Beverly Blvd	12,847	C2-1VL, TOC Tier 3		Review requested by CD 5. Property Profile complete 05/09/18	Interim housing - Property being sold. Current owner not interested in discussing- this site has been recommended for use as a Temporary Shelter by CD 5 staff, who have observed people experiencing homelessness in the area. The building sits on a corner property located on Beverly Blvd, a street with commercial uses, and N Hayworth Ave, a street with many multi-family residences. The lot measures 12,847 SF and behind the building, across an alley way, is an Assisted Living Facility
5	City		2293010902	90049	16465 W MULHOLLAND DR	9,045	RE15-1-H			Site appears to be in use as an overlook - "The Groves Overlook". Parcel located across the street from Fire Station No. 109. Site adjacent to is single-family homes with pools and tennis courts
5	City		4369007900	90049	11381 CHALON RD	65,844	RE20-1-H-HCR		Transfer to Rec and Parks?	(In between Bel Air estates and Brentwood) Obtained through inversion condemnation (CF-96-2139) A large home was on the site, which has since been demolished. Parcel adjacent to high-end, single-family homes. Street access off of Chalon Road. Across the street from John Thomas Dye School
5	City		4255019900	90064	EXPOSITION BLVD/SELBY AVE	28,671	R1-1		Vacant Land	According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders street for Metro Expo Line
5	City		4255019901	90064	EXPOSITION BLVD/SELBY AVE	10,189	R1-1		Bike path	Parcel appears to be part of Exposition Corridor Bike Path
5	City		4255020900	90064	2657 S OVERLAND AVE	30,477	R1-1			According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders street for Metro Expo Line
5	City		4255021900	90064	EXPOSITION BLVD/WESTWOOD BLVD	23,117	R1-1			According to Council File 16-0011-518, this parcel is part of the Westwood Greenway project. Site borders street for Metro Expo Line
5	City		4318033901	90064	3195 S MOTOR AVE	6,896	PF-1XL, TOC Tier 3		Residential Vacant Land?	Narrow, sloping lot located between the 10 freeway and the back of the Chabad of Cheviot Hills. 25' of street frontage to Motor Ave. Lot dimensions: 33ft x 230 ft.
5	City	LA DOT Lot 685	4320004900	90064	2386 Malcolm Ave	6,450	R1-1-O	y	2/27/18 (Site Visit Sherilyn/Daniel)	Lot located in residential neighborhood across the street from Westside Pavilion (large commercial improvement) (corner of Pico Blvd/Westwood Blvd).
5	City	LA DOT Lot 715	4320005902	90064	2371 Overland Ave	10,887	R1-1-O, TOC Tier 3	y	2/27/18 (Site Visit Sherilyn/Daniel)	Parcel is bisected by an alley. Parking Lot not highly utilized. Chase bank is adjacent. In high-end residential neighborhood. Site dimensions about 85ft x 120ft
5	City	LA DOT Lot 698	4320013901	90064	2367 Prosser Ave	12,050	R1-1-O, TOC Tier 2	y	2/27/18 (Site Visit Sherilyn/Daniel)	Behind commercial uses and adjacent to high end single family neighborhood. Alley access. Lot dimensions are about 90 ft by 150 ft. Less than one mile from Midvale.
5	City	LA DOT Lot 707	4322004903, 4322004902	90064	2377 Midvale Ave	16,860	R1-1, TOC Tier 3	y	2/27/18 (Site Visit Sherilyn/Daniel)	Corner lot and adjacent area behind alley. One parcel is approx. 10k SF and fronts Pico Blvd. Adjacent to single family homes (R1), the rear lot is approx. 7k SF and can be used for replacement parking. Access from Westside mall.
5	City		4371001900	90077	10535 W FORUM LN	3,316	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. No adjacent homes, though there are adjacent private property owners
5	City		4371006900	90077	10427 W LARNED LANE	12,601	RE40-1-HCR		Vacant Land	Hillside lot behind single family homes in upscale residential area. No street access to lot, only unpaved Larned Lane. Adjacent parcels are single family homes
5	City		4371007900	90077	10533 E LISBON LN	7,500	RE15-1-HCR		Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only to unpaved Lisbon Lane
5	City		4371008900	90077	10465 W LISBON LN	5,232	RE15-1-HCR		Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only to unpaved Lisbon Lane. All adjacent property owners are private
5	City		4371009900	90077	1540 N Crater Lane	5,185	RE15-1-HCR		Vacant Land	Hillside vacant lot next to high-end single family homes. Street access along Crater Lane, which is unpaved in that section. No Google Street view for site.
5	City		4371015901	90077	1526 N YONKERS LN	14,999	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, only access to unpaved Yonkers Lane. Land located behind 1437 N BEVERLY GLEN BLVD
5	City		4371016900	90077	1207 N BEVERLY GLEN BLVD	3,079	RE15-1-HCR		Vacant Land	Hillside, vacant lot Street access off of Beverly Glen Blvd. Adjacent to one single-family home
5	City		4371020900	90077	BEVERLY GLEN BLVD/HOLLYBUSH LN	14,166	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot behind single family homes in upscale residential area. No street access to lot, not even an unpaved road
5	City		4371023900	90077	919 N HOLLYBUSH LN	2,415	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4371024900	90077	969 N HOLLYBUSH LN	3,080	RE40-1-H-HCR		Vacant Land	Vacant lot up and behind to one single-family home in exclusively high-end single family neighborhood
5	City		4371024901	90077	1013 N HOLLYBUSH LN	11,604	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access, only to unpaved Hollybush Ln. One adjacent property owner is the State of California, Santa Monica Mountains Conservancy. Land behind home at address: 936 N BEVERLY GLEN BLVD

5	City		4371024902	90077	1029 N HOLLYBUSH LN	2,737	RE40-1-H-HCR		Vacant Land	Nuisance abatement property. Hillside, vacant lot. No street access. Behind one single-family home
5	City		4371024903	90077	1037 N HOLLYBUSH LN	2,874	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4371025902	90077	Hollybush Lane	2,629	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access. No adjacent homes, though adjacent property is privately owned
5	City		4371027901	90077	1044 N FERNBUSH LN	10,317	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access, only to unpaved Fernbush Lane. No adjacent homes. Some adjacent parcels owned by Mountains Recreation and Conservation Authority
5	City		4371028901	90077	1215 N ARIMO LN	2,670	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371030900	90077	1401 N ARIMO LN	2,541	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031902	90077	1243 N BASIL LN	2,551	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031903	90077	1307 N BASIL LN	2,552	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031904	90077	1313 N BASIL LN	2,735	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371031905	90077	BEVERLY GLEN / FERNBUSH	2,571	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371032900	90077	1319 N BASIL LN	2,552	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371032903	90077	ARIMO / BEVERLY GLEN	2,379	RE15-1-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access.
5	City		4371032907	90077	ARIMO / BEVERLY GLEN BLVD	2,757	RE15-1-HCR		Vacant Land	Vacant lot up and behind to one single-family home in exclusively high-end single family neighborhood
5	City		4371033900	90077	1423 N BASIL LN	35,900	RE40-1-HCR		Vacant Land	Vacant hillside in high end single family residential area. No street access, except to unpaved Basil Ln and Langtry Ln. Adjacent property owners are private, though across the "street" from Langtry Ln are parcels owned by the Mountains Recreation and Conservation Authority
5	City - RAP		4371033902	90077	1517 N MIRABEL LN	26,193	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371033903	90077	1446 N LANGTRY LN	10,887	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. No adjacent homes
5	City		4371034900	90077	1553 N CULEBRA LN	5,039	RE40-1-H		Vacant Land	Vacant hillside in high end single family residential area. No street access, only to unpaved Culbra Ln. No adjacent homes, all adjacent property owners private. Some nearby properties owned by Mountains Recreations and Conservation Authority
5	City		4371034903	90077	1600 N DESSERTY LN	7,447	RE40-1-HCR			Vacant hillside in high end single family residential area. No street access, only to unpaved Desserty Ln and Culbra Ln. No adjacent homes, all adjacent property owners private. Some nearby properties owned by Mountains Recreations and Conservation Authority
5	City		4371035901	90077	1628 N MIRABEL LN	2,564	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371035902	90077	1611 N DESSERTY LN	2,552	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371035903	90077	1559 N DESSERTY LN	2,554	RE40-1-H-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371037900	90077	1529 N LANGTRY LN	2,678	RE15-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371038901	90077	1707 N CRATER LN	2,541	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371038902	90077	1721 N CRATER LN	2,621	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371039900	90077	1729 N ELM TREE LN	2,714	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371039902	90077	1737 N ELM TREE LN	2,922	RE15-1-H-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access. Adjacent to one single family home
5	City		4371039903	90077	10201 W LELIA LN	2,627	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041900	90077	1753 N Wild Rose Lane	2,501	RE40-1-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041901	90077	1814 N ELM TREE LN	2,559	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041905	90077	1734 N CALGARY LN	2,532	A2-1&K		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371041906	90077	1722 N CALGARY LN	2,535	R1-1		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4371046900	90077	10328 W CARIBOU LN	2,519	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4377013900	90077	2081 N ROSCOMARE RD	14,294	RE15-1-H-HCR		Vacant Land	Hillside vacant lot. Lot is L-shaped, sitting between two single-family homes, and has street access along Roscomare Road. The lot is in a high end single family residential area, far from transit. Dimensions of lot are 58 ft x 211 ft. Nuisance abatement property
5	City		4378014900	90077	2660 N ROSCOMARE ROAD	15,254	RE15-1-H-HCR		Vacant Land	Hillside, vacant lot. No street access; property landlocked by adjacent properties, which are high-end single family homes with private owners. According to Google Maps, parcel appears to be in use by one of these adjacent properties: 2900 N Antelo View Dr (or 2728 N Roscomare Rd). One parcel away is open spaced managed by Department of Water and Power
5	City		4379003905	90077	BUSHROD LN/MANASQUAN LN	2,527	R1-1		Vacant Land	Small lot off dirt road in single family residential area. Most surrounding parcels are owned by Department of Water and Power, near Stone Canyon Reservoir
5	City		4379004907	90077	LATIMER LN/MANASQUAN LN	2,500	R1-1		Vacant Land	Small lot off dirt road in single family residential area. Most surrounding parcels are owned by Department of Water and Power, near Stone Canyon Reservoir
5	City		4379004910	90077	LATIMER LN/MANASQUAN LN	2,496	RE40-1-H-HCR		Vacant Land	Hillside, vacant lot in high end single family residential area. No street access. Adjacent to four single family homes
5	City		4379004912	90077	LATIMER LN/LOUVAN LN	2,499	RE40-1-H-HCR		Vacant Land	Vacant, hillside lot between two single family homes. Street access along Basil Lane. Many adjacent properties are managed by DWP
5	City		4379004914	90077	LATIMER LN/LOUVAN LN	2,935	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4379004915	90077	2647 N BASIL LANE	2,496	RE40-1-H-HCR		Vacant Land	Vacant lot adjacent to one single-family home in exclusively high-end single family neighborhood
5	City		4379006902	90077	LATIMER LN/MANASQUAN LN	2,490	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4379015907	90077	POINTER LN/BONPAS LN	2,660	RE40-1-H-HCR		Vacant Land	Vacant hillside lot not near any development. No street access
5	City		4379020902	90077	BUSHROD LN/DEVORE LN	2,588	RE40-1-H-HCR		Vacant Land	Vacant hillside lot not near any development. No street access. Most adjacent landowners are private, but very close to LADWP properties.
5	City		4380003900	90077	2312 N DELLWOOD LN	2,642	RE15-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Adjacent to one single-family home
5	City		4380006900	90077	2247 N ELK	2,690	RE40-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4380009900	90077	10587 W SCENARIO LN	2,515	RE15-1-HCR		Vacant Land	Hillside, vacant lot. Street access off of Scenario Ln. Adjacent to two single-family homes
5	City		4380016900	90077	2038 N DELLWOOD LN	2,802	RE15-1-H-HCR		Vacant Land	Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4380019900	90077	1910 N DELLWOOD LN	2,668	RE15-1-HCR		Vacant Land	Hillside, vacant lot. No street access. Behind one single-family home
5	City		4380021900	90077	1948 N SPRUCEWOOD LN	45,390	RE40-1-HCR		Vacant Land	Hillside, vacant lot up and behind single family residential homes. No street access, except to unpaved Lillis Ln. Some adjacent properties are owned by the State of CA Mountain Recreation and Conservation Authority. Part of land appears to be in use by one adjacent property: 1916 N Sprucewood Ln.

5	City		4380021902	90077	10222 W ORTIZ LN	10,072	RE40-1-H-HCR		Vacant Land		Vacant hillside in high end single family residential area. Most nearby property owners are private, though some owned by Mountains Recreations and Conservation Authority. On adjacent property owner is the State of California Santa Monica TNS Conservation. No street access, except to unpaved Ortiz Ln
5	City		4380022900	90077	1917 N SPRUCEWOOD LN	2,709	RE40-1				Appears to be used as part of driveway for two single family homes, land located in hilly single family residential neighborhood
5	City		4380028900	90077	2164 N POINTER LN	2,629	RE15-1-HCR		Vacant Land		Hillside, vacant lot in high end single family residential area. No street access. One adjacent parcel is owned by State of CA Mountains Recreation and Conservation Authority. Other adjacent landowners private
5	City		4380031901	90077	2329 N LATIMER LN	15,599	RE40-1-HCR		Vacant Land		Rocky hillside, vacant lot. Street access along Beverly Glen Blvd. All adjacent properties are high-end single family homes (across the street from 2355 N BEVERLY GLEN BLVD)
5	City		4380032900	90077	2353 N BASIL LN	41,494	RE40-1-HCR		Vacant Land		Vacant lot on rocky hillside. No street access, except to unpaved roads. All adjacent properties are high-end single family homes, though across the unpaved "street" Basil Ln is land owned by the City, contiguous to land managed by RAP, which forms Beverly Glen Park
5	City		4382029900	90077	2502 N BEVERLY GLEN BLVD	612,484	OS-1XL-HCR		Open Space		Vacant hillside, marked for open space, part of Beverly Glen Park. Transfer to Recreation and Parks?
5	City		4356011900	90210	1318 BENEDICT CANYON DR	52,606	RE15-1-H-HCR		(94-1495)		Hillside lot next to high end single family homes. There appears to be the foundation of a since demolished single family home on the property. Street access on Benedict Canyon Dr. In 1994 there was a motion to sell the site (94-1495)
5	City		4357015901	90210	11080 CIELO DRIVE	5,916	RE15-1-H-HCR		Vacant Land		Vacant, hillside lot in high-end, single family neighborhood. Street access along Cielo Dr.
5	City		4384033900	90210	9509 HIGH RIDGE	31,054	RE15-1-H-HCR		Vacant Land		Hillside, vacant lot up and behind single family residential homes, driveway access to High Ridge Dr. All adjacent property owners are private
5	City	Abandoned Fire Station 83	2258016901	91316	5001 Balboa Boulevard	15,921	[Q]PF-1XL	y	Public Facility		Abandoned Fire Station No. 83, CF-13-0476 allows the Armenian Cultural Foundation to negotiate a lease with the CLA; plans for the site include cultural center, recreation, senior center. Nuisance abatement property.
5	Private		APNTBD4, 2287009019	91436	16654 W CALNEVA DR	25,258	RE15-1-H		Vacant Land		Flat in a high end single family residential area (UNABLE TO LOCATE APN, or PARCEL) Address in ZIMAS returns a private owner
5	City		4371041903		ELM TREE LN/CALGARY LN	2,543	RE40-1-HCR		Vacant Land		Hillside in high end single family residential area. Most nearby property owners are private, some owned by Mountains Recreations and Conservation Authority
5	City		4379013903		RIDGETOP LN/POINTER LN	2,487	RE40-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access. Some adjacent property owners are private, most are DWP
5	City		4379015903		BUSHROD LN/BONPAS LN	2,585	A1-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access. Some adjacent property owners are private, most are DWP
5	City		4379020903		BUSHROD LN/DEVORE LN	2,588	A1-1-HCR		Vacant Land		Vacant hillside lot not near any development. No street access
5	City- DWP	Reservoir	4379027900	90068	DWP STONE CANYON RESEVOIR	7,011,931	[Q]OS-1XL		Reservoir		Square footage = very large. This APN contains the Stone Canyon Reservoir, as well as surrounding open space. There is a road that goes through the site: Lake Hollywood Dr. Surrounding neighborhoods are wealthy, middle-family residential
5	City	CA Traditional Music Society	2258017900	91316	16953 W Ventura Blvd				Non-profit lease (C-111481)		Facility located on Encino Park (RAP-owned).
5	City	Career Planning Center	4303028900	90035	1623 S La Cienega Blvd	7,022	C2-1-O		Non-profit lease with Career Planning Center for workforce development services		built out, in use, minimal parking
5	City	The Odyssey Theater	4323024902	90025	2055 S Sepulveda Blvd	37,060	M2-1VL		Non-profit lease (C-097172) with The Odyssey Theater Foundation		performing arts theater on 37,000 SF site, approximately half parking. Housing development would require joint venture. Zoned for manufacturing, across the street from auto shop and yard; multifamily apartment buildings farther down the block.
5	City	Encino Community Center	2258018900	91316	4935 N. Balboa Blvd						over 40,000 sf across 11 parcels, all owned by rec and park. Community center has underutilized parking space, may be viable for redevelopment. Zoned for public facility.
5	Private	Goodwill Store and Donation Center	5527036024	90048	7915 W Beverly Blvd	27,792	C2-1VL, TOC Tier 3		CF 18-0825		Potential Interim Housing – This privately-owned site is a former Goodwill Store and Donation Center. The address also includes a parking lot to the rear, about 9,750 square feet in size (150' x 65'). Adjacent uses on Beverly Blvd are commercial, and to the rear are multi-family apartments. There is an alleyway to the east. A bus stop on the corner of Beverly Blvd and N Fairfax Ave serves six bus lines, including DASH Fairfax. It is a .3 mile walk to the Grove shopping center, and .5 miles to the Pan Pacific Park Recreation Center.
5	Private	Twenty-Eighth Church of Christ, Scientist	4360002021	90024	1018 S Hilgard Avenue	50,603	[Q]R3-1-O, TOC Tier 3		CF 18-0825		Potential Interim Housing – The parcel is home to the Twenty-Eighth Church of Christ, Scientist. The main building (the lower three parcels, around 25,700 square feet) has been demolished. UCLA has purchased this land, to develop into student housing. The Church is retaining the smaller building on the other half of the property, the top two parcels. A temporary shelter would be located on the vacant land owned by UCLA before they develop their housing. Across a rear driveway is a parking lot owned by the Church; it is approx. 13,700 square feet in size, with dimensions approx. 125' x 106'. Nearly all adjacent uses are multi-family residential, though the Italian Cultural Institute is across the street. Commercial uses are nearby on Westwood Blvd, a 2 mile walk away; UCLA is the same distance away. At the intersection of Westwood Blvd and Lindbrook Dr. there is a bus stop which serves 8 bus lines.
5	Private		4323025005	90025	1977 S Sepulveda	65,600	M2-1VL, TOC Tier 3	y	site no longer available (9.28)		Three, single-story industrial buildings for lease. Located between Public Storage and car wash. Adjacent to other commercial and light manufacturing uses. Across the street is an animal Hospital with parking garage. Single-family and multi-family residential uses a block away down La Grange Ave. Many government facilities in the area: LA County Probation, LSNV Yard, LADWP. Seven bus lines are available: 3 miles away at S Sepulveda Blvd/Santa Monica Blvd. From Paul Burke's List. Lease information: (310)- 899-2704, Bob Dubbins. Broker sent Brochure – \$2.25/SF, plus –\$0.15/SF in operating expenses, 25,000 SF Paul Burke prepared comps.



Dylan Sittig <dylan.sittig@lacity.org>

Re: CD5 Sites

3 messages

Zachary Warma <zachary.warma@lacity.org>

Wed, Jan 11, 2023 at 12:11 PM

To: Alex Whitehead <alex.whitehead@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>

Alex:

Thank you so much for sending this list over! I'm including Dylan Sittig, CD's 5 killer Planning Deputy, in this thread. Unfortunately, I obviously have some follow up questions.

Can you shed some color on who assembled this list / did this come from the previous office? Dylan flagged the attached 6/28/22 letter from former CM Koretz that also included a list of 100+ sites that were partially reviewed. Additionally, can you provide some context on comments indicating that parcels "are too small"? Is there a minimum unit threshold that was contemplated in that calculation? I also am curious as to what FAR was considered.

Lastly - as Dylan has now heard me say multiple times, I am *very* intrigued to know the impact of AB 2011 (and less so, SB 6) on permitting affordable housing development at these sites (and either). Is there any mechanism - besides a motion - to be furnished a list that reflects new state legislation and updates for these parcels?

Again, really appreciate your partnership and insights!

Cheers,

Zack

On Wed, Jan 11, 2023 at 8:44 AM Alex Whitehead <alex.whitehead@lacity.org> wrote:

Hello,

Nice to speak to you both the other day! I have compiled a likely incomplete list of CD5 property suggestions for homeless projects. A lot of these were deemed infeasible, or put on the backburner because there wasn't funding. This list may end up having some gems, so please don't hesitate to ask LAHSA/CAO about any of these if you think they might be an option.

371 S. Fairfax - Not feasible because it is too small for interim housing at only 9,338 SF
 411 S. Fairfax - Not feasible because it is too small for interim housing at only 2,500 SF
 477 S. Fairfax - Not feasible because it is too small for interim housing at only 3,000 SF
[1975/1977 Sepulveda](#) - GSD inquired and owner is not interested in leasing for interim housing
 8377-8387 Blackburn - Referred to LAHD for Project Homekey consideration
 2347 Pontius - Not feasible because it is too small for interim housing at only 6,536 SF
[6423 Wilshire](#) - GSD inquired and owner is not interested in leasing for interim housing
[1981 Cotner](#)
[10320/10330 W. Olympic Blvd.](#)
 640 N. Sepulveda
 157 S. Fairfax
[14141 Ventura Blvd.](#)
[2929 S. Sepulveda](#)
[8339 W. 3rd St.](#)
[10830 Santa Monica Blvd.](#)
 853 Detroit
[3115 S. Sepulveda](#)
[Good Nite Inn West Los Angeles, 10740 Santa Monica Blvd., LA 90025](#)
[Best Western Royal Palace Inn, 2528 S. Sepulveda Blvd., LA 90064](#)
[Royal Santa Monica Motel: 10811 Santa Monica Blvd., LA 90025](#)
[Sky Hotel on Westwood Blvd. - 2352 Westwood Blvd., LA 90064](#)

PRA-01-000194-SUPP2-09/29/23

Park Cienega Motel- [1777 S. La Cienega Blvd., LA 90035](#)
Annes Motel- [1755 S. La Cienega Blvd., LA 90035](#)
[La Cienega Inn, 1725 S. La Cienega Blvd., LA 90035](#)
A soon-to-be closing Ralphs - [9616 W. Pico Blvd., LA 90035](#)
Palms Westminster Presbyterian Church, [2908 Robertson Place](#)
The Venice Hotel, [8686 Venice Blvd](#)
[2612 S Robertson Blvd.](#) Former swim school. C zone.
[10830 W Santa Monica Blvd, LA 90025.](#) Former Staples store. C zone.

Please let me know if you'd like any additional information!

Thanks,
Alex

--

Alex Whitehead

Office of the Chief Legislative Analyst

cell: [\(323\) 206-8061](#)

phone: [\(213\) 473-5744](#)

fax: [\(213\) 680-0085](#)

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Zachary Warma

Housing & Homelessness Policy Director

Councilwoman Katy Yaroslavsky, Council District 5

[200 North Spring Street, Room 440](#)

[Los Angeles, CA 90012](#)

Tel: (213) 473-7005 - Los Angeles City Hall Office

Email: zachary.warma@lacity.org



06.28.22 List of Sites in CD 5.pdf
1634K

Alex Whitehead <alex.whitehead@lacity.org>

Wed, Jan 11, 2023 at 12:19 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hello,

These sites were suggested generally by staff of CD5, to be considered by the CAO. Those comments come from the CAO. I can't remember the exact number, but there was a minimum site size for consideration; this may be amended, as it was a matter of CAO policy based on usefulness of the site.

As to AB 2011/ SB 6, I'd say a Motion would be your best bet. A simple ask on this type of info typically gets thrown by the wayside.

Let me know if you have any follow-ups.

Thanks,
Alex

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Wed, Jan 11, 2023 at 12:23 PM

To: Alex Whitehead <alex.whitehead@lacity.org>

Cc: Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

This is so clutch, Alex.

Thanks so much!

- ZW

PRA-01-000195-SUPP2-09/29/23

7/27/23, 6:01 PM

City of Los Angeles Mail - Re: CD5 Sites

[Quoted text hidden]

PRA-01-000196-SUPP2-09/29/23



Andrew Deblock <andrew.deblock@lacity.org>

Re: Interim Housing: THV: Midvale

7 messages

Zachary Warma <zachary.warma@lacity.org>

Tue, May 9, 2023 at 6:24 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
 Cc: Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

The CD5 team would very much like a broader City Family discussion on next steps for the Midvale Interim Housing project.

Please let me know whether any of the following time slots might work for this group (and whomever else should be party to this discussion):

- **Thursday 5/11:** 9-10:30am
- **Friday 5/12:** 10am-onward
- **Monday 5/15:** 11am-1pm; 3-4pm
- **Tuesday 5/16:** 1-2pm; 3pm-onward
- **Thursday 5/18:** 12pm-onward
- **Friday 5/19:** 1-3pm

Looking forward to chatting more soon!

Cheers,

Zack Warma

On Tue, May 9, 2023 at 1:08 PM Annabelle Gonzales <annabelle.gonzales@lacity.org> wrote:

Hi everyone,

May I suggest that we have a meeting with everyone on this thread to have a thorough discussion on next steps for this project?

Thank you!

Respectfully,
 Annabelle Gonzales
 Office of the City Administrative Officer
 E: annabelle.gonzales@lacity.org
 P: (213) 978-2752

On Tue, May 9, 2023 at 10:13 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Hi Zack,

We will follow up with our Real Estate Group and let you know as soon as possible.

Please let us know if we can assist in community outreach by providing boards or assisting community meetings.

Thank you

Marina Quiñónez, AIA
 Architectural Division I Senior Architect
 Bureau of Engineering| Department of Public Works
 1149 S. [Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)

PRA-01-000199-SUPP2-09/29/23

O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Mon, May 8, 2023 at 2:35 PM Zachary Warma <zachary.warma@lacity.org> wrote:
Marina:

Hope you had a pleasant weekend. Quickly, I want to check in on whether you've gotten any update from BOE permit staff regarding what steps are necessary for closing the alley at Midvale Ave in order to link the two LADOT parcels for an interim housing facility.

To make all of you aware - our office will shortly be contacting two vendors to request updated proposals for 2377 Midvale, which we will then bring forward in June for community feedback and input. The Council motion directing the execution of the contract for the purchase of the units will ideally be introduced before the July recess and then passed sometime in early August.

It's the Councilwoman's stated hope that construction will commence on-site during Q4 of this year.

Thank you all for your expertise and support of our office through this process so far!

Regards,

Zack Warma

On Tue, May 2, 2023 at 9:57 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:
Hi Anabelle, I will discuss this with our permit counterparts

Marina Quiñónez, AIA
Architectural Division I Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. [Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Tue, May 2, 2023 at 9:53 AM Annabelle Gonzales <annabelle.gonzales@lacity.org> wrote:
Good morning everyone,

According to LADOT, the alleyway in the site plan is under the purview of BOE since it's an active public alleyway. Will an agreement with BOE need to be in place to utilize that portion?

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

PRA-01-000200-SUPP2-09/29/23

On Mon, May 1, 2023 at 3:00 PM Zachary Warma <zachary.warma@lacity.org> wrote:
Annabelle:

I would recommend sending an email to the following four individuals:

Ken Husting <ken.husting@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Fernando Navarrete <fernando.navarrete@lacity.org>, Brian Lee <brian.k.lee@lacity.org>

Please feel free to cc me on the correspondence. I will note that it's our office's preference that the alleyway be sealed off, as is contemplated in the rendering.

- ZW

On Mon, May 1, 2023 at 2:57 PM Annabelle Gonzales <annabelle.gonzales@lacity.org> wrote:
Good afternoon Marina and team,

Thanks for all of your work on this!

Since the lot is owned by LADOT, we'll need to find out if they have jurisdiction over the alleyway as well, since the site plan incorporates that area as communal space. @Zachary Warma Can you please advise on who your LADOT contact is?

Thank you!
Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

On Mon, May 1, 2023 at 2:37 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:
Hi Annabelle,

Sending over the layout and ROM for Midvale. Please let us know if you have any questions.

We removed some concrete curbs but kept all the trees, based on the required separation for the cabins, the space is limited.

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. [Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



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**Zachary Warma**

Housing & Homelessness Policy Director
 Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
 Tel: (213) 473-7005 - Los Angeles City Hall Office
 Email: zachary.warma@lacity.org

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**Zachary Warma**

Housing & Homelessness Policy Director
 Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
 Tel: (213) 473-7005 - Los Angeles City Hall Office
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**Zachary Warma**

Housing & Homelessness Policy Director
 Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
 Tel: (213) 473-7005 - Los Angeles City Hall Office
 Email: zachary.warma@lacity.org

Marina Quinonez <marina.quinonez@lacity.org>

Wed, May 10, 2023 at 3:41 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

I have the following time slots:

- **Thursday 5/11:** 10-11, 1-2pm
- **Monday 5/15:** 10-2pm
- **Tuesday 5/16:** 2pm-3pm
- **Thursday 5/18:** 12pm-3pm
- **Friday 5/19:** 1-3pm

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Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, May 11, 2023 at 10:38 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Good morning everyone,

Unfortunately, the CAO team isn't available at noon on Monday 5/15. Would it be possible to meet a little earlier, maybe 11 or 11:30 am?

Respectfully,

PRA-01-000202-SUPP2-09/29/23

Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

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Marina Quinonez <marina.quinonez@lacity.org>

Thu, May 11, 2023 at 10:43 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

I'm available at either time.

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[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, May 11, 2023 at 11:08 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

I'll recirculate the 5/15 calendar invite with an 11am start time when I'm back in the office.

Thank you, all!

Sent from my iPhone

On May 11, 2023, at 10:44 AM, Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Fri, May 12, 2023 at 3:54 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Good afternoon all,

Attached is a revised concept layout for the Tiny Home Village at Midvale Ave.

A few items to point out:

- 1) We will not be able to close off the alley, so we will need to separate the two areas and provide gates to connect them.
- 2) A large storm drain and it's respective easement runs through the lower portion of our site, shown dashed in red in the plan view. We have to keep that area clear of any structures, which impacts our Pallet count. We now have approx. 23 Tiny Homes (44 beds).
- 3) We are also keeping a 10' setback from adjacent properties and structures for Fire Life safety for now. However, we will review this with LADBS and LAFD to see if we can reduce this setback.

Thank you and look forward to discussing further on Monday.

Have a great weekend,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

PRA-01-000203-SUPP2-09/29/23

1149 S. Broadway, Suite 830, Mail Stop 507
Los Angeles, CA 90015
Phone: 213.485.4488

ENGINEERING

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CD5 Midvale THV_051223.pdf
2958K

Zachary Warma <zachary.warma@lacity.org>

Fri, May 12, 2023 at 4:17 PM

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Erik:

Thank you so much for this information. I'll admit our office is desirous of more information of why the alley can't be closed, as it's very much our hope to create a singular campus. If this is a matter that requires Council action, please let us know.

But we'll look forward to discussing this matter, among others, with you and this group next Monday.

Regards,

Zachary Warma

[Quoted text hidden]



Zachary Warma <zachary.warma@lacity.org>

Re: THV information for Transportation Committee hearing

2 messages

Ken Husting <ken.husting@lacity.org>

Tue, Jul 18, 2023 at 4:38 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Sontue Beacham <sontue.beacham@lacity.org>, Brian Lee <brian.k.lee@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Thanks for the information, Zack.

The draft report from staff will likely be complete around July 31, then going through management review. The report will be transmitted to your office after Connie reviews and signs off which I estimate is August 2 or 3. The report should be posted for the public on August 4.

Ken Husting, P.E.

Principal Transportation Engineer
Parking Management

Los Angeles Department of Transportation
213.972.8430

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On Tue, Jul 18, 2023 at 2:31 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Sontue:

Hope you had an incredibly relaxing vacation!

There's several key updates re: the Midvale project we want to share, for inclusion in the staff report:

- **Service Provider / on-site service provision:** LA Family Housing (LAFH) has agreed to be the service provider for the facility. LAFH is one of the largest homeless service providers and affordable and supportive housing developers in Los Angeles County, having connected 13,427 people with lifesaving housing resources and supportive services in 2022. You can [find more about LAFH here](#). In the coming days we should have more information on the exacts of the specific services that will be offered on-site.
- **Community Engagement Process:** On Monday, August 24th, the Councilwoman and the CD-5 office will be formally launching our Community Engagement Process. This will include letters, emails, and texts to the surrounding communities, which will notify people both of the project website and invitations to an in-person community forum on Thursday, 8/3 (which will feature: remarks from Councilwoman Yaroslavsky, LAHSA CEO Dr. Va Lecia Adams Kellum, and hopefully Mayor Bass; presentations from LifeArk and LAFH; open house for community members to engage reps from CD-5, LAHSA, LifeArk, LAFH) and a virtual forum on Sunday, 8/6. Both the Councilwoman and the CD-5 Field Team are also directly engaging key community stakeholders.
- **Timing:** It is the Councilwoman's full intent that we begin site work by year end 2023, and that we might be able to schedule an opening date during Spring 2024. But that will be contingent on a number of different factors.

On a related note, do you have a sense of when the staff report will: a) be completed; b) be transmitted to our office; and c) made available to the public?

Thank you again for all your work on this!

- Zack

On Tue, Jul 18, 2023 at 1:36 PM Sontue Beacham <sontue.beacham@lacity.org> wrote:

Thanks, Zack. I was on vacation last week so this works out perfectly. Have a good afternoon.
Sontue

On Tue, Jul 11, 2023 at 4:23 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Sontue:

First, my apologies for the tardy response. To your queries:

PRA-01-000205-SUPP2-09/29/23

1. Tiny Home Village description: When we embarked on this process, our office was initially using "Tiny Home Village" to describe the project, though from the onset we have been planning on this being a more robust facility.

At this current juncture, however, we have resolved that the moniker is insufficient, and does not adequately or accurately capture the project. Therefore, our office requests that the project not be referred to as a Tiny Home Village, but rather a "modular interim housing facility." So in terms of an explanation, we are constructing an interim housing facility utilizing the modular vendor LifeArk. You can find a [recent article on LifeArk in LAist](#). You can find here a link to the region's [Practice Standards for Interim Housing](#), as included on the LAHSA website.

2. Parking: You are correct in that the current proposal has that one location for parking. I need to confirm with LifeArk how many spaces they estimated could fit there. Of greater import, though - as we are hopefully getting close to bringing on a service provider, we will work jointly with them and LifeArk to determine the correct mix of parking that accounts for staff needs while ensuring every square foot of the site is utilized for housing. So again, the parking is exclusively going to be dictated by the needs of maximizing the service provision/potential success of the facility.

If you have any additional questions or requests, please don't hesitate to reach out.

- Zack Warma

On Sat, Jul 8, 2023 at 12:23 PM Sontue Beacham <sontue.beacham@lacity.org> wrote:

Hi Zach,

I hope all is well. I have a couple of questions for you...

1. We're working on the board report and would like to include a description of the Tiny Homes Village. Can you provide me with some quick facts about the Tiny Homes Village that will give the Board an idea, in case they are unfamiliar with Tiny Homes Villages? Some bullet points or a few sentences are good.

2. For Hope Pavilion, do you know how many parking spaces will be onsite? The drawings only indicate #5 as "Parking". It looks like two spaces with one being ADA but I want to make sure. You mentioned that the space will be maximized for housing but we want to understand the onsite parking.

Thanks.

Sontue

On Wed, Jun 7, 2023 at 12:24 PM Zachary Warma <zachary.warma@lacity.org> wrote:

Sontue:

Please also see below for a list of the Tiny Home Villages currently located in the city, as well as an attachment from LAHSA explaining the intervention.

Additionally, here is a [link to the 2022 Homeless Count figures for CD5](#).

Once again, let me know what additional information might be helpful for you.

Regards,

Zachary Warma

----- Forwarded message -----

From: **Annabelle Gonzales** <annabelle.gonzales@lacity.org>

Date: Mon, Jun 5, 2023 at 1:43 PM

Subject: Re: THV information for Transportation Committee hearing

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zach,

I hope you had a great weekend, and apologies for the delay! Here's a list of the current THVs that are open within the City:

CD	Address / Location	Bed Count	Open/ Occupiable Date	Service Provider
2	11471 Chandler Blvd.	75	2/1/2021	Hope of the Valley
2	6099 Laurel Canyon Blvd. / aka Alexandria Park	200	4/27/2021	Hope of the Valley
2	12600 Saticoy	150	9/21/2021	Hope of the Valley
3	19040 Vanowen / aka Vanalden / aka Sycamore	101	6/10/2021	Hope of the Valley
3	6073 N Reseda Blvd / aka Topham	148	7/7/2021	Hope of the Valley
6	9710 San Fernando Rd.	161	2/9/2023	VOALA
13	1455 Alvarado St	74*	6/8/2021	Urban Alchemy
13	2301 W. 3rd St	107*	12/16/2021	Urban Alchemy
14	Arroyo Drive at Ave 60	224	11/2/2021	Hope of the Valley

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14	7570 N Figueroa St aka Eagle Rock	93	3/29/2022	Union Station Homeless Services
15	1221 S. Figueroa Pl. / aka Harbor Park	75	6/14/2021	The Salvation Army

The programmatic description can be found in LAHSA's Scope of Required Services for Roadmap Interim Housing (Attached). If you have any questions or need more information, please let me know.

Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

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Zachary Warma
Housing & Homelessness Policy Director
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Zachary Warma <zachary.warma@lacity.org>

Tue, Jul 18, 2023 at 4:43 PM

To: Ken Husting <ken.husting@lacity.org>

Cc: Sontue Beacham <sontue.beacham@lacity.org>, Brian Lee <brian.k.lee@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Really appreciate you, Sontue, and your team providing such clarity around the process, Ken.

So thank you again!

- ZW

[Quoted text hidden]