





HokchiChiu (Central Str. Eng)

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE**DATE:** July 28, 2023**TO:** Bertram Moklebust, Division Engineer
Permit Case Management Division
Bureau of Engineering**FROM:** Kwasi Berko, Division Manager
Clean Water North Conveyance Division
LA Sanitation & Environment**SUBJECT:** 2377 SOUTH MIDVALE AVE AND 10901 TO 10909 WEST PICO BLVD –
LADOT MUNI LOT 707

Our office has reviewed the sewer/storm drain lines serving the subject tracts/areas. LA Sanitation and Environment (LASAN) has no further objection to the Tract at 2377 South Midvale Ave and 10901, 10903, 10907, and 10909 West Pico Blvd – LADOT Muni Lot 707, so long as an Acknowledgement of Easement recorded with the LA County Registrar and the conditions below are adhered to.

1. No structure shall encroach into the City's existing or proposed easement(s). The existing site contains a 12 ft. storm drain easement (C.E. 87-27). The alley which bisects the project site contains a 5 ft. public utility easement (C.E. 40-180).
2. No structure shall impart a load onto the City's storm drain pipe or sewer pipe. The plans shall be reviewed and signed-off by a Bureau of Engineering Structural Engineer.
3. If the alley will be vacated, an easement for the sewer shall be reserved (width no less than 12 feet) for operation and maintenance purposes.
4. Any additional costs to restore the property owner's structures or improvements as a result of the maintenance, repair, or replacement of the LASAN's sewer or storm drain pipe shall be borne by the property owner.
5. Any additional costs associated with the maintenance, repair, or replacement of the LASAN's storm drain pipe due to damages resulting from the property improvements being located in close proximity to the storm drain and within the City's easement shall be borne by the property owner.
6. Adherence to any permitting requirements such as pre- and post-construction Closed Circuit Television (CCTV) of the sewer and storm drain pipe.
7. Adherence to requirements in the Bond release arrangement.

8. An easement acknowledgement will be needed for the storm drain easement through the lot. Should the alley be vacated, an easement acknowledgement would be needed for the sewer easement of no less than 12 feet.
9. Construction over the existing sewer or storm drain shall be determined on a case by case basis by LASAN. In such cases where permission is granted, a damage waiver will be recorded and carried with the improvements and land over the storm drain or sewer.

These conditions shall apply to the current property owner(s) and shall be passed on to any succeeding property owners.

Note: This Approval is for the Tract Map only and represents the office of LA Sanitation/Clean Water Conveyance Divisions (CWCD). The applicant may be required to obtain further necessary Clearances/Permits from LA Sanitation and other appropriate offices of the Bureau of Engineering.

If you have any questions, please contact Rafael Yanez of my staff at Rafael.Yanez@lacity.org or (323) 342-1563.

CC: Rowena Lau – Division Manager, Wastewater Engineering Services Division, LA Sanitation
Oscar Gutierrez – B-Permit Supervisor, West LA District Office, Bureau of Engineering
Nathan Ho – Civil Engineering Associate, Architectural Division, Bureau of Engineering
Susan Shu – Sr. Civil Engineer, Clean Water Division, Bureau of Engineering

KB:cm:ry

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Base Maps +

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- ☐ Substructure Maps
- ☐ Aerial Photos 2011
- ☐ Aerial Photos 2014
- ☐ Aerial Photos 2017
- ☒ Aerial Photos 2020



Report Window

Results Report

Storm Pipes Report

| | |
|-------------------|--------------------------------|
| Plan Number | 28962 |
| Sheet Number | 7 |
| Storm Drain Type | Main Line |
| Ownership | City of Los Angeles |
| Diameter (Inches) | 90 |
| Width (Inches) | 90 |
| Shape | Arch |
| Material | Reinforced Concrete Arch (RCA) |
| Slope (%) | 0.0105 |
| Length (Ft) | 195.80 |



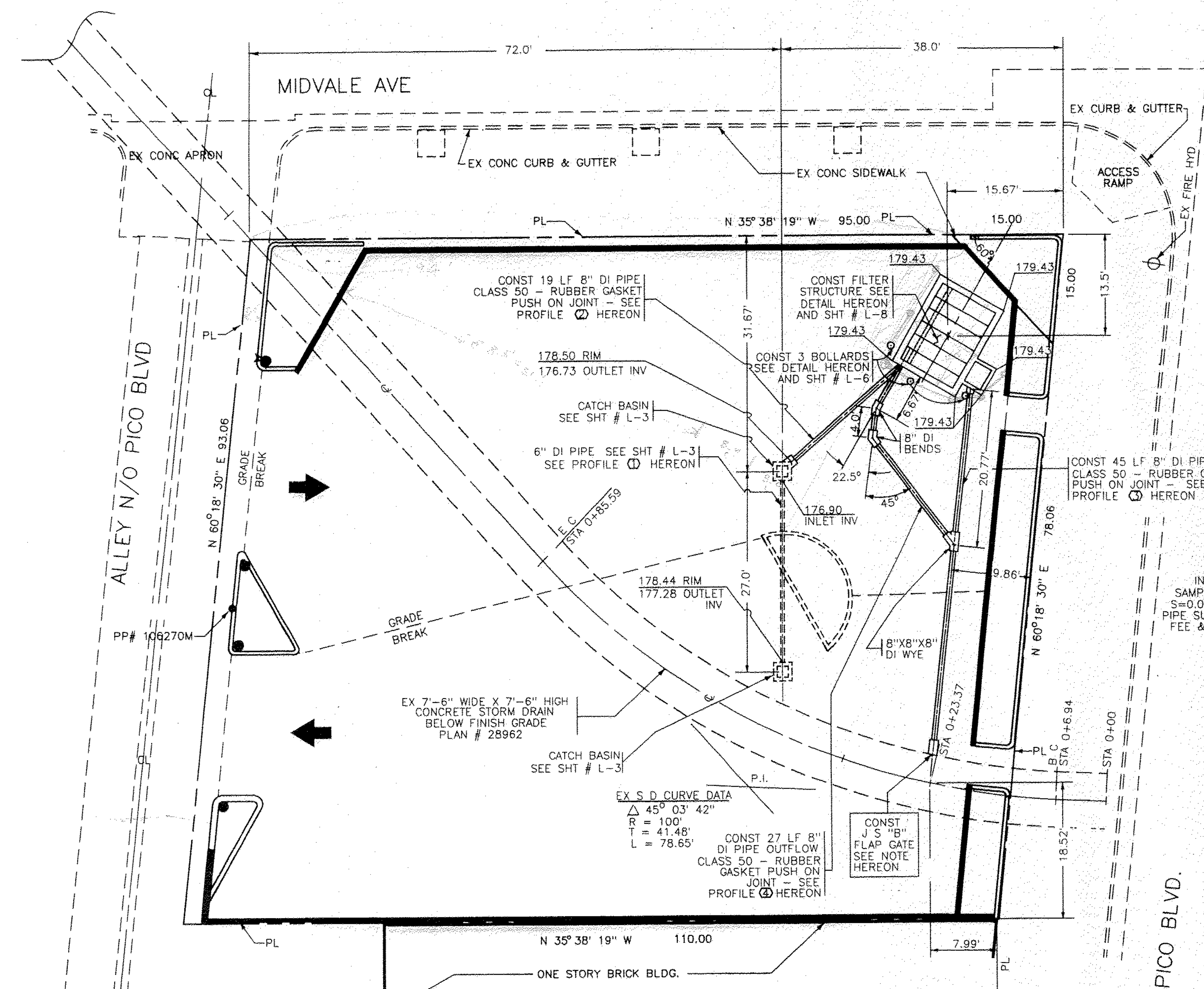
| |
|----------------------|
| CITY ENGINEER |
| DEPUTY CITY ENGINEER |
| COMMISSION ENGINEER |

| | |
|------------------|--|
| ARCHITECT | |
| STRUCTURAL ENG. | |
| BLDG. MECH. ENG. | |
| BLDG. ELEC. ENG. | |

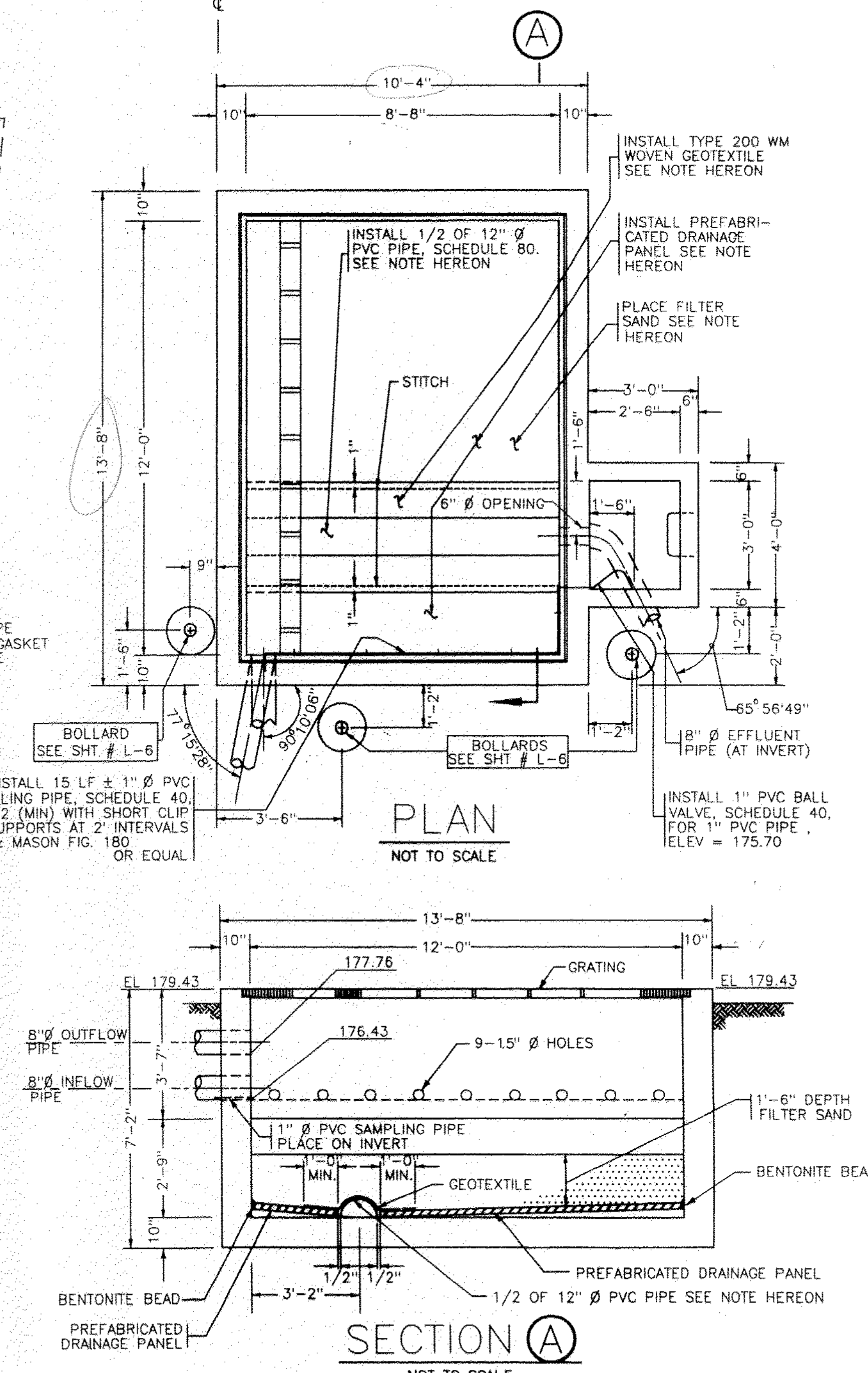
STRIP FILTERS CONSENT DECREE CONSTRUCTION PLAN

| | | |
|----------------------------|--|--|
| | | |
| BLDG. NO. 42/707 | | |
| WORK ORDER NO. E1560012 | | |
| PLAN NO. 7988 | | |
| DATE 11-22-91 | | |
| JOB CAPTAIN : CN | | |
| DRAWN BY : NPP | | |
| CHECKED BY : JAG | | |
| SHEET NO. | | |

L-7



SCALE 1" = 10'-0"



STANDARD PLANS FOR THIS PROJECT

CITY OF LOS ANGELES

- | | |
|---------|---------------------------------------|
| S-610 | NOTICE TO CONTRACTORS - COMPREHENSIVE |
| S-251-1 | PIPE LAYING IN TRENCHES |
| S-302-1 | JUNCTION STRUCTURE "B" |
| S-331-1 | MONOLITHIC CONNECTION |
| S-348-1 | STEEL STEP FOR CONCRETE STRUCTURES |

LACFCE

- 2-D192 AUTOMATIC FLAP GATE INLETS TO
-
- STORMDRAINS

J S "B" DATA AT STA 0 + 23.37

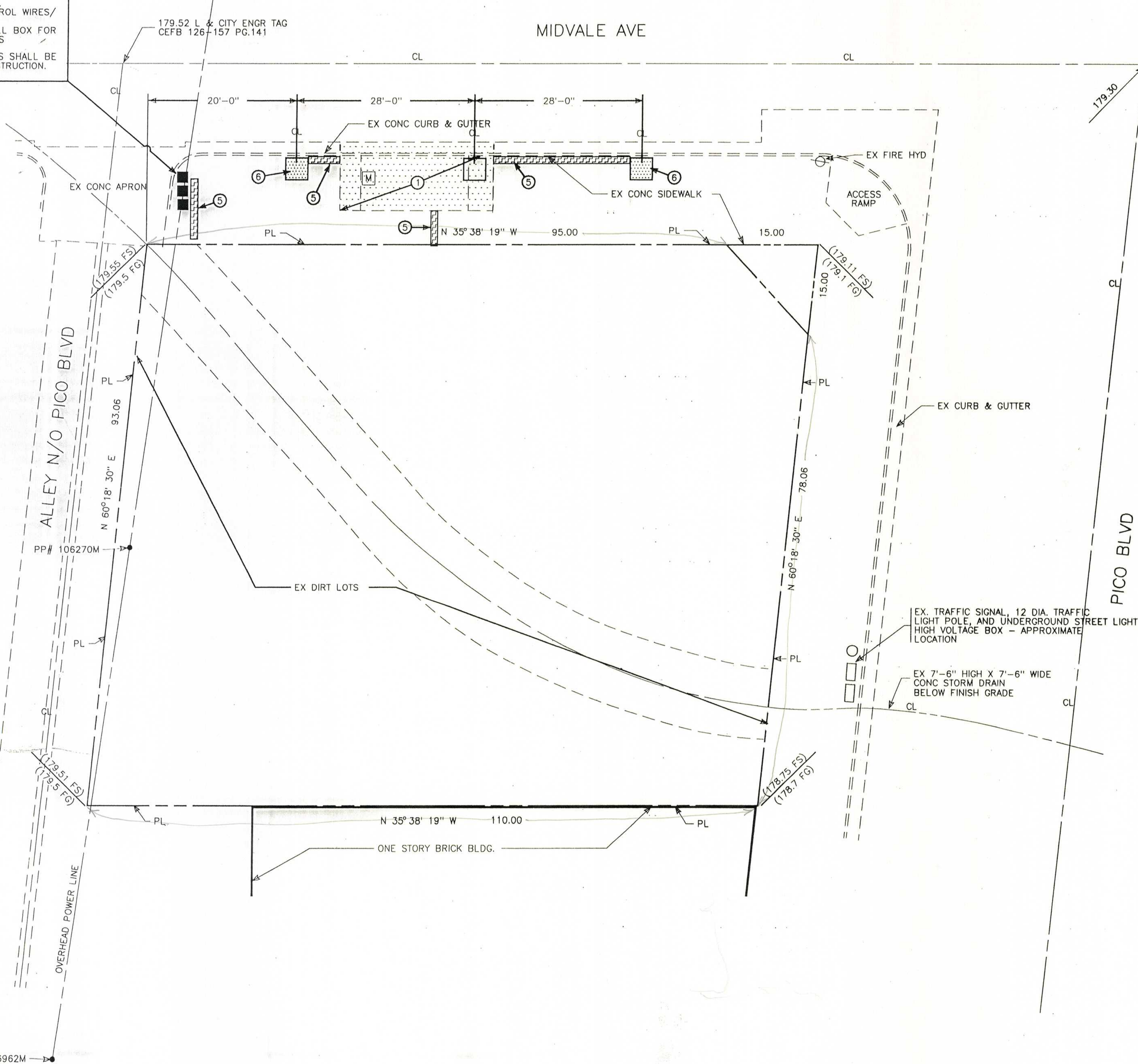
A = 83° 49' 08" B = 21" C = 7.87' D = 7.50'
E = 1.83' F = 4.88' G = 3.75' L = 2.60'

MODIFIED FLAP GATE DATA:
D = 8" Z = 5"

STRIP FILTER DRAINAGE SYSTEM:

1. FABRICATE THE 1/2" OF 12" Ø PVC PIPE PER NOTE NO. 9 ON SHEET L-9 AND PLACE ON THE INVERT OF THE FILTER STRUCTURE AS SHOWN HEREON AND ON SHEET L-8. SEAL AT BOTH ENDS WITH MATERIAL APPROVED BY ENGINEER TO PREVENT LEAKAGE.
2. INSTALL APPROX 94 SF PREFABRICATED DRAINAGE PANEL PER SPECIAL PROVISIONS DIRECTLY ON THE INVERT OF THE FILTER STRUCTURE WITH FABRIC SIDES UP. INSTALL 1.0 LB TWO' OF BOTH SIDS OF 12" OF 12" Ø PVC PIPE, SEAL AT THE WALLS OF THE FILTER STRUCTURE WITH 1" BENTONITE BEAD IN ORDER TO PREVENT LEAKAGE.
3. PLACE APPROX 31 SF TYPE 200 WM WOVEN GEOTEXTILE OVER THE 1/2" OF 12" Ø PVC PIPE. OVERLAP THE WOVEN GEOTEXTILE 1'-0" MIN ONTO THE PREFABRICATED DRAINAGE PANEL. STITCH BOTH SIDES OF PIPE AND STITCH TO PREFABRICATED DRAINAGE PANEL 1" FROM EDGE ON BOTH SIDES WITH STITCHING MATERIAL TO BE APPROVED BY THE ENGINEER.
4. PLACE APPROX 5.8 CY FILTER SAND OVER THE PREFABRICATED DRAINAGE PANEL, WOVEN GEOTEXTILE AND PIPE TO A DEPTH OF 1'-6". THE FILTER SAND SHALL HAVE AN EFFECTIVE SIZE OF 0.5 MM AND A FINIMUMITY COEFFICIENT NOT GREATER THAN 1.4. THE EFFECTIVE SIZE IS THE 10 PERCENTILE DIAMETER. UNIFORMITY COEFFICIENT IS THE RATIO OF THE 60 PERCENTILE DIAMETER TO THE 10 PERCENTILE DIAMETER.

3 EX. VALVE BOXES FROM
PHASE 1 CONSTRUCTION.
BOX #
1. IRRIGATION P.O.C.
2. IRRIGATION CONTROL WIRES/
PULL BOX
3. ELECTRICAL PULL BOX FOR
LIGHTING STANDARDS
ALL PULL BOXES SHALL BE
UTILIZED FOR CONSTRUCTION.



DEMOLITION NOTES

1. SAW CUT AND REMOVE CONCRETE APPROACH, CURB, AND GUTTER. SEE CONSTRUCTION PLAN FOR REPLACEMENT. (SHEET L-3)
2. SEE CONSTRUCTION PLAN FOR TREE WELL INSTALLATION. (SHEET L-3)
3. EXISTING DIRT LOTS ARE AT 90% RELATIVE COMPACTION.
4. PROVIDE THE DEPARTMENT OF TRANSPORTATION - OFF-STREET PARKING DIVISION • (213) 485-2120 7 WORKING DAYS NOTICE FOR EXISTING CHAIN LINK FENCE REMOVAL.
5. SAW CUT AND REMOVE CONCRETE FOR IRRIGATION AND ELECTRICAL WORK AS REQUIRED (SEE SHEETS L3, L4, E1)
6. SAW CUT AND REMOVE CONCRETE FOR TREE WELL INSTALLATION. (SEE SHEETS L3, L4) FOR SOIL REMOVAL SEE SHEET L3 - NOTE 15.

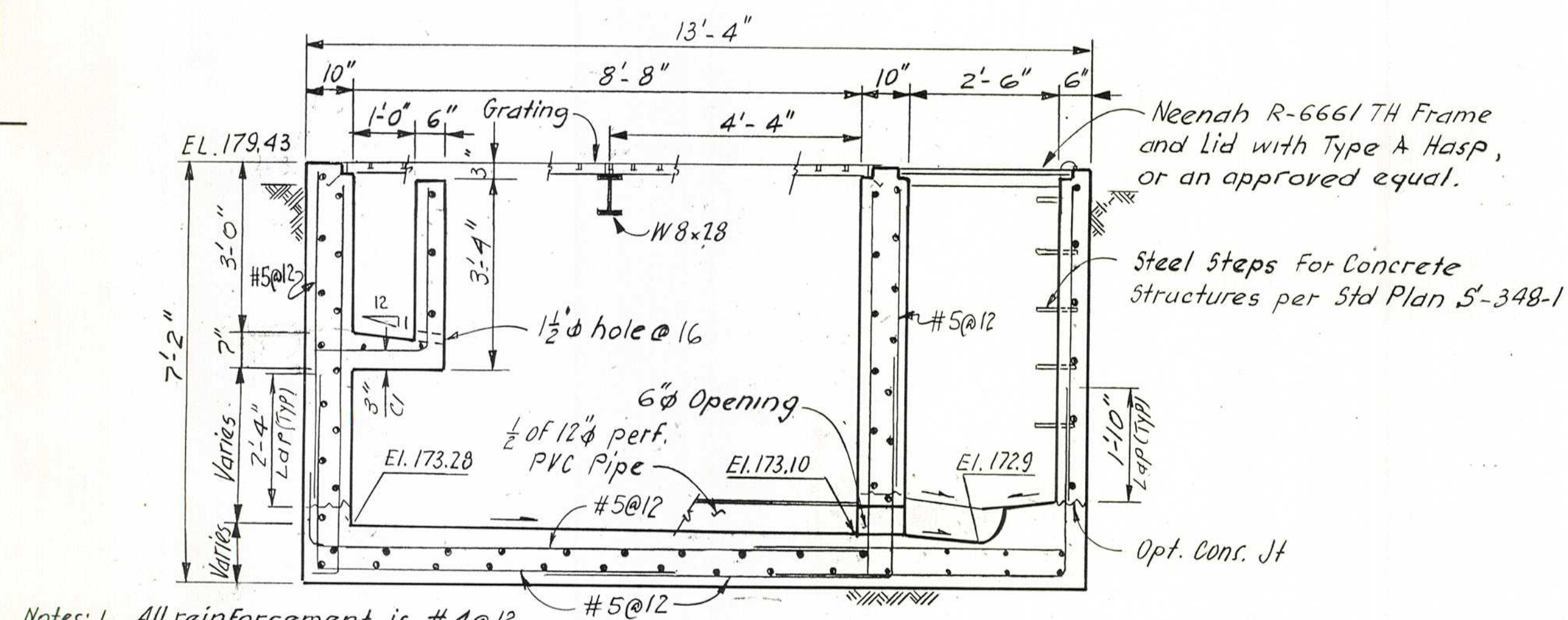
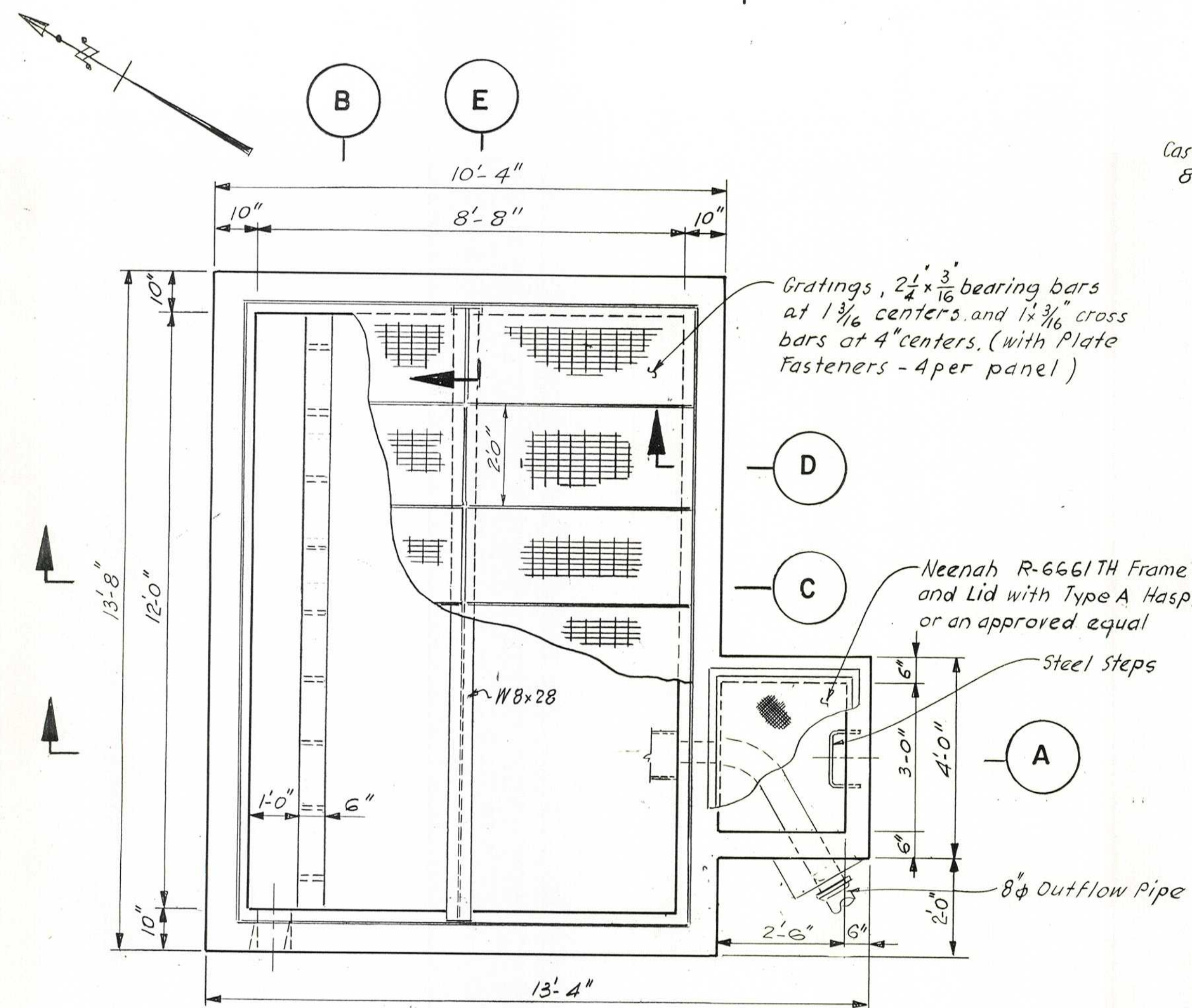
DEMOLITION PLAN
SCALE 1" = 10'-0"

| | | | |
|---|--|--|--|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | | BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825 | |
| CITY ENGINEER | | DEPUTY CITY ENGINEER | |
| ARCHITECT | | PRINCIPAL ARCHITECT | |
| STRUCTURAL ENG. | | BLDG. MECH. ENG. | |
| BLDG. ELEC. ENG. | | BLDG. ELEC. ENG. | |
| DEMOLITION PLAN & NOTES | | CONSTRUCT OFF-STREET PARKING LOT - PHASE 2 | |
| BLDG. NO. | | 42/707 | |
| WORK ORDER NO. | | E1560012 | |
| PLAN NO. | | 7988 | |
| DATE | | 5-29-92 | |
| JOB CAPTAIN | | LO | |
| DRAWN BY | | BSL | |
| CHECKED BY | | LO | |
| SHEET NO. | | L-2 | |
| BLDG. NO. | | 42/707 | |
| SHEET | | OF SHEETS | |
| INDEX NUMBER | | | |

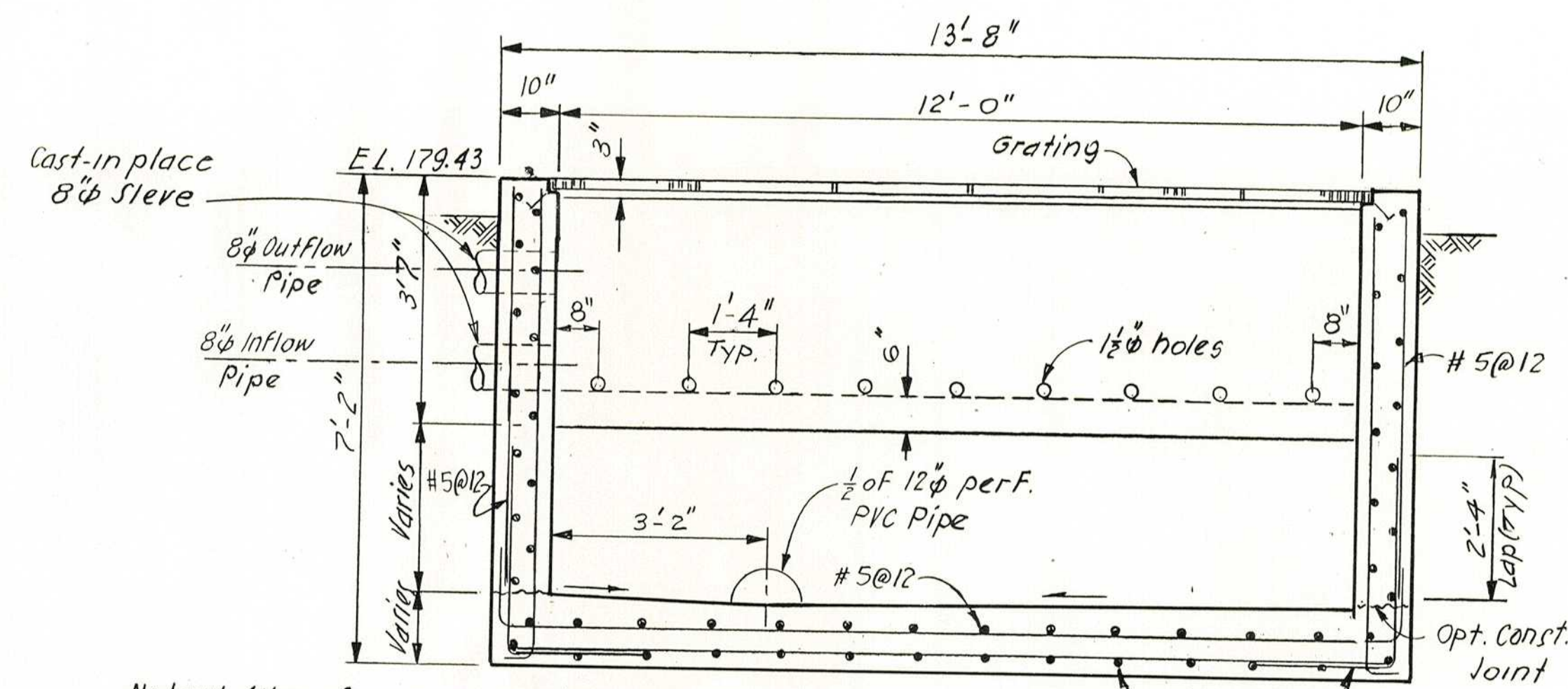
5-29-92

OF 11 SHEETS

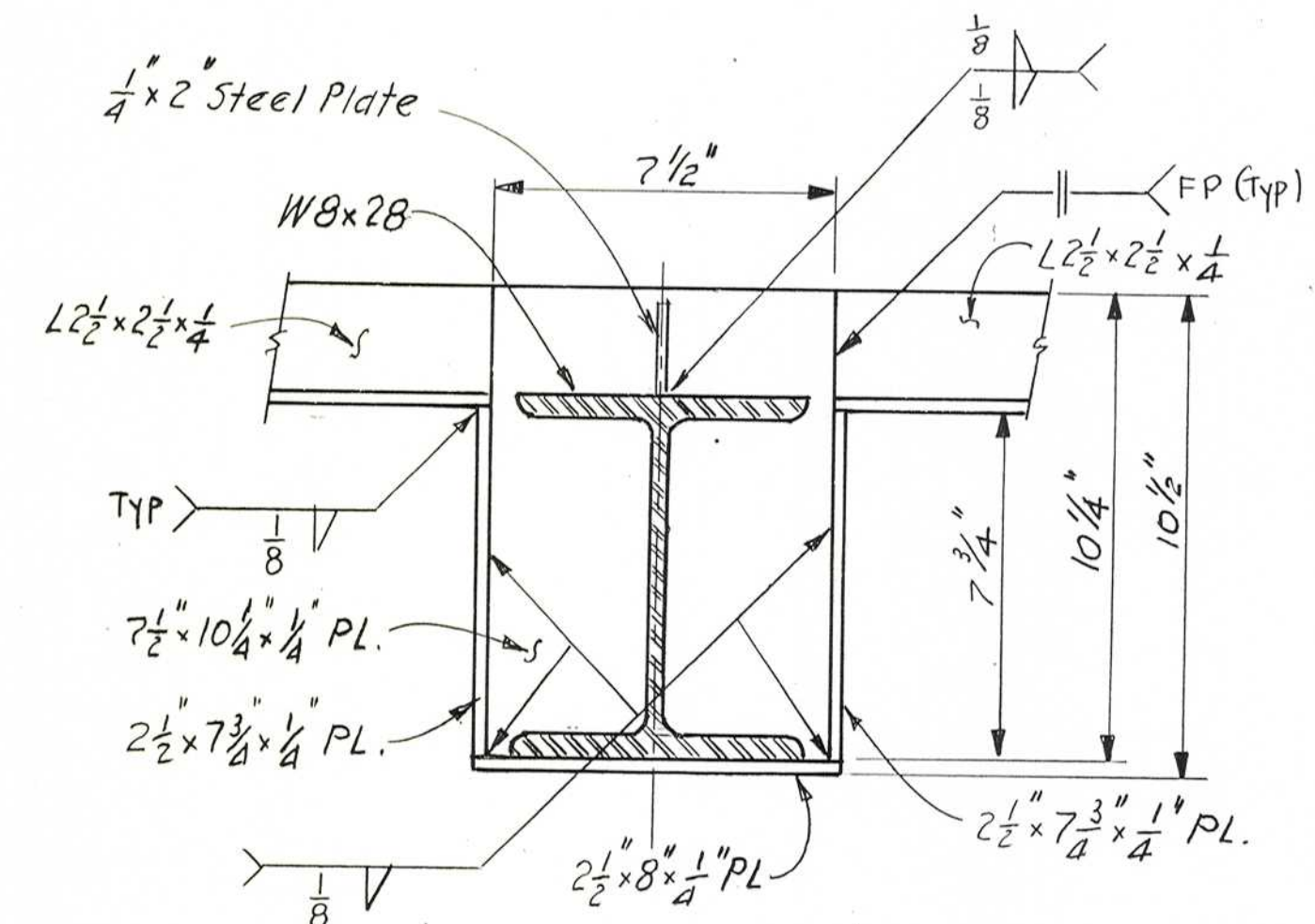
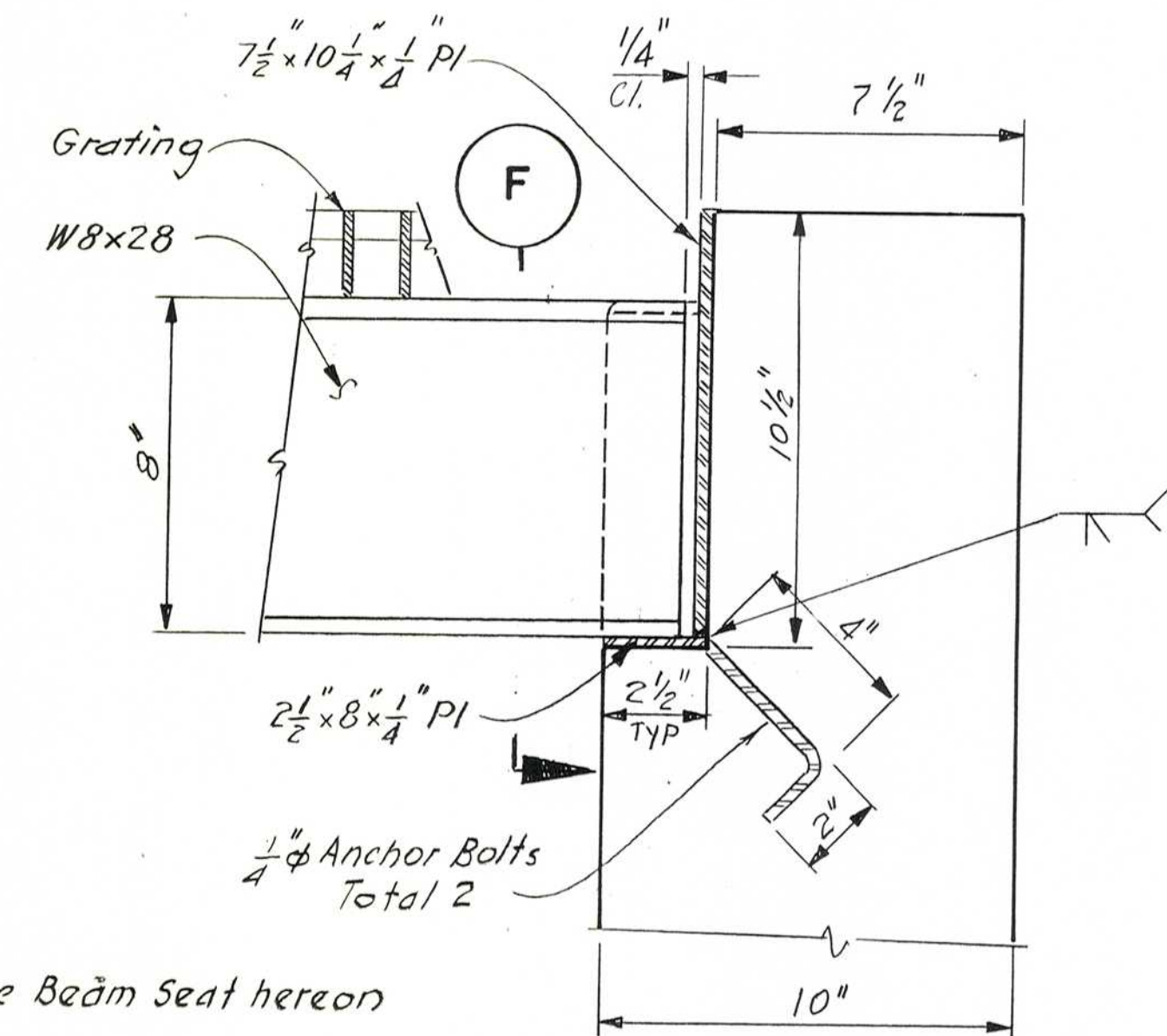
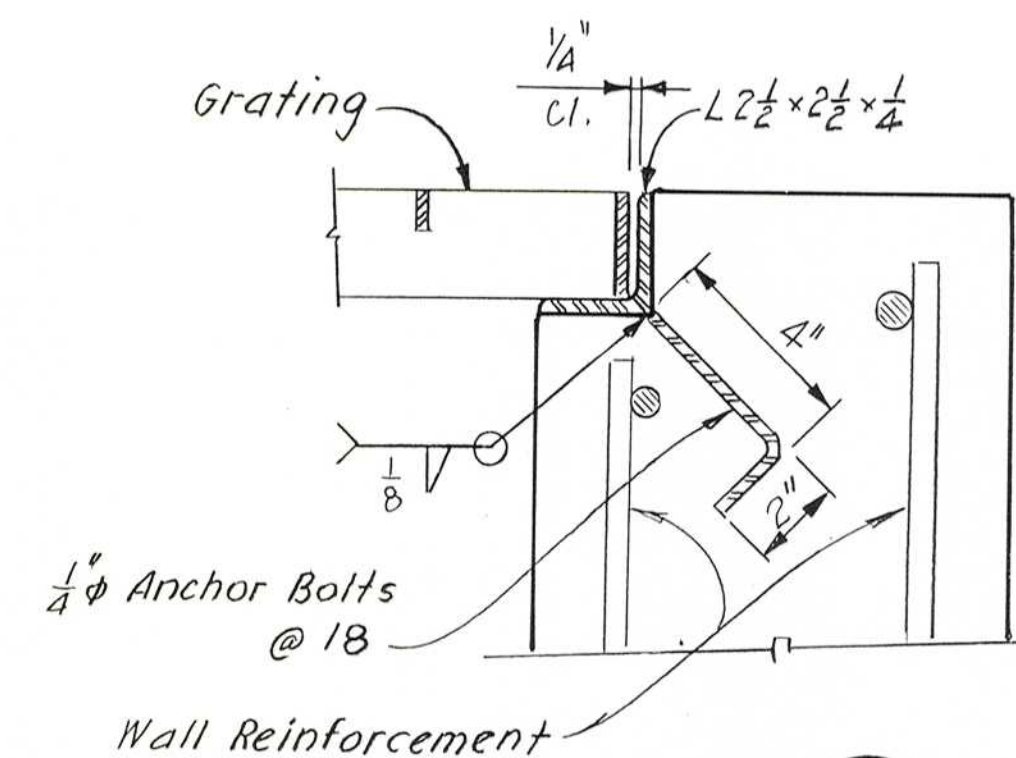
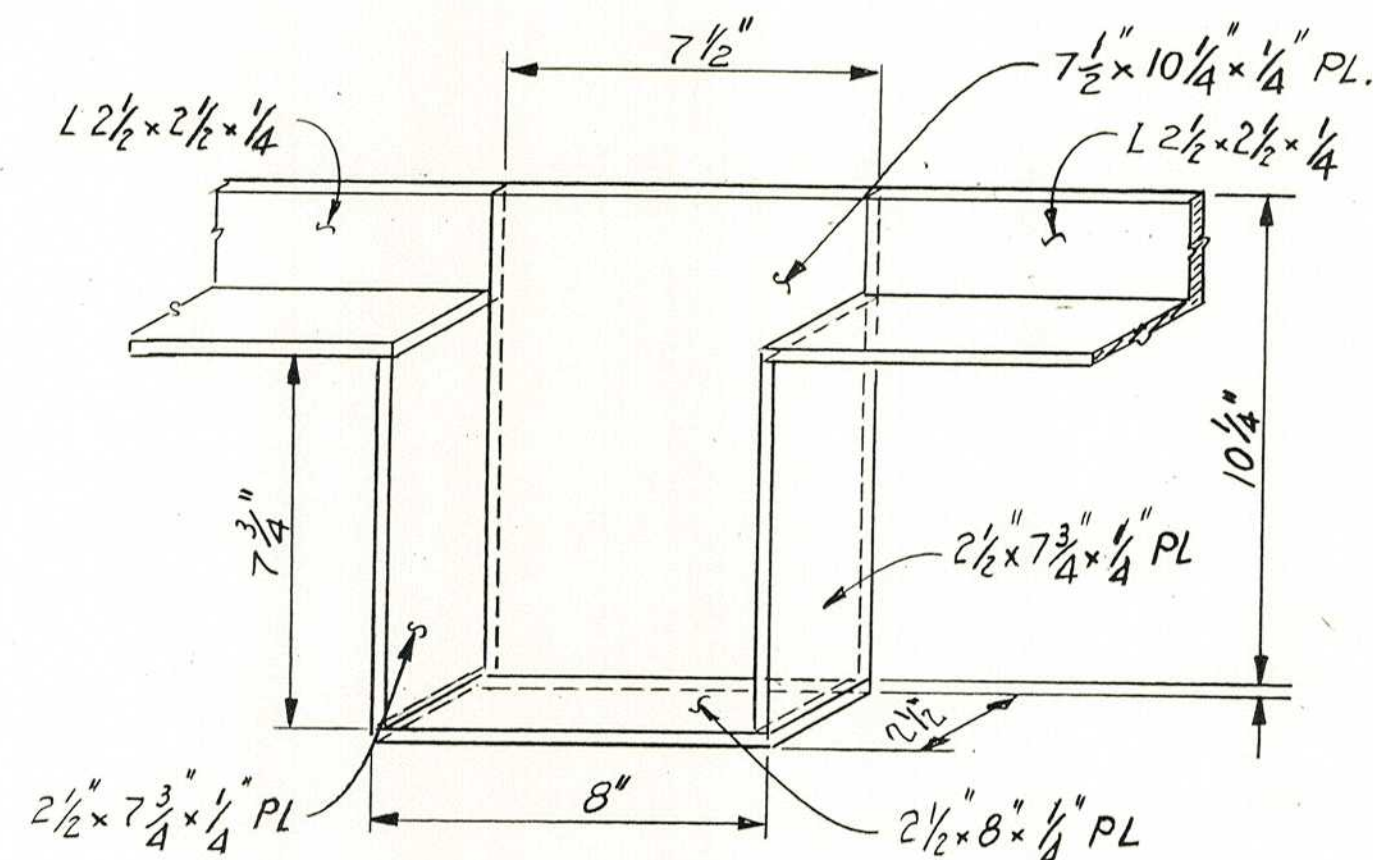
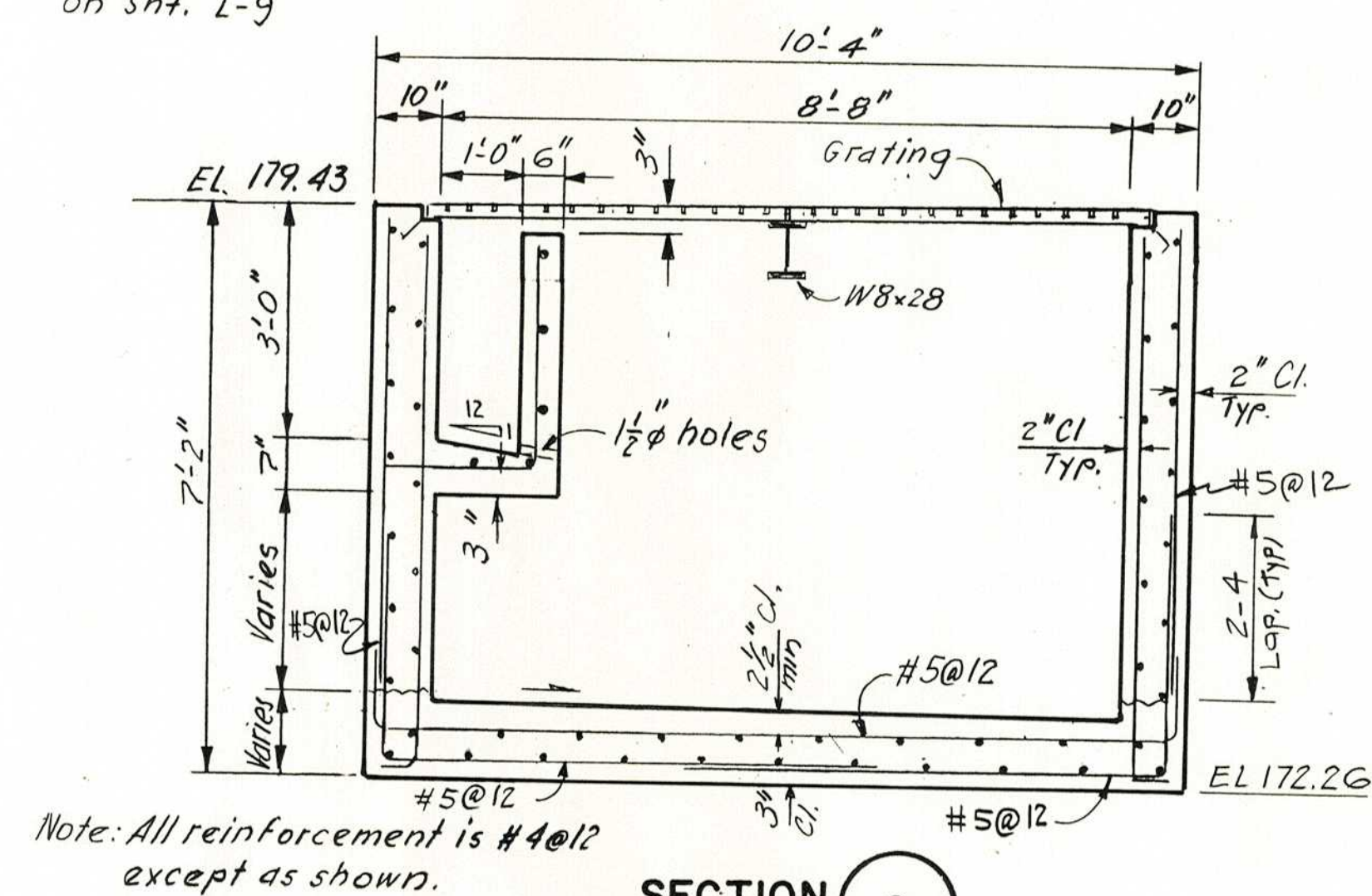
ENG. 6.104 4/88RF

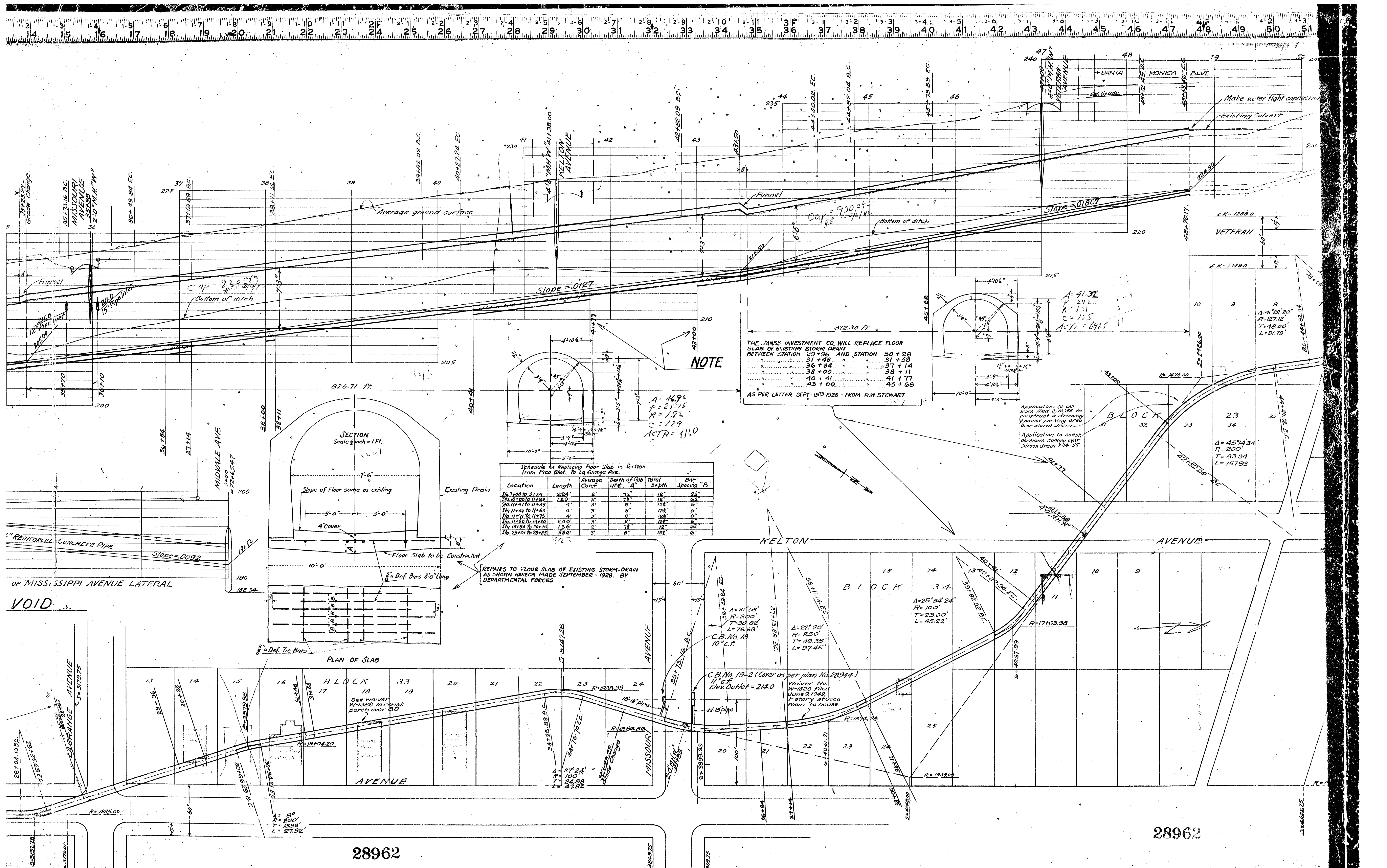


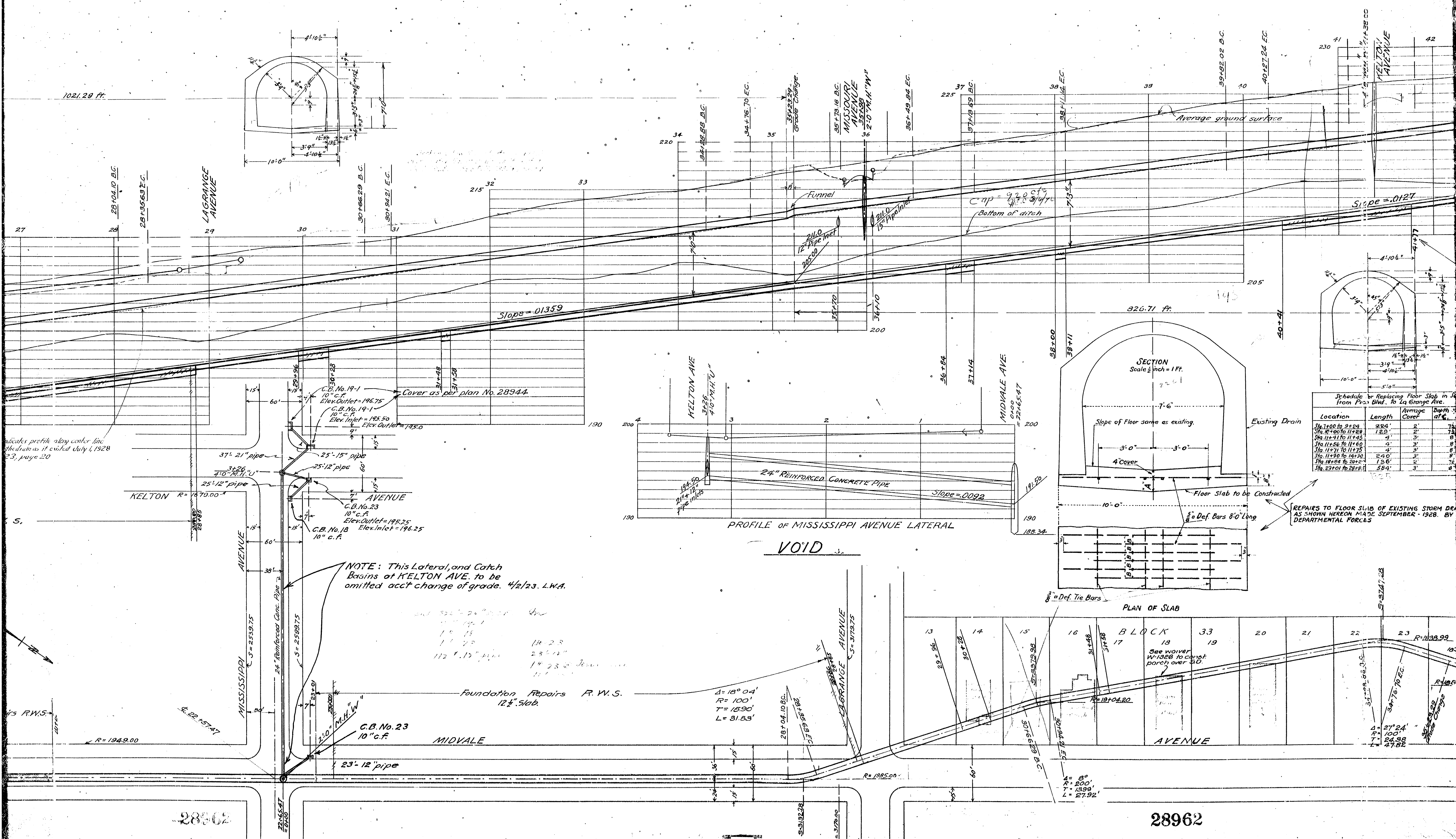
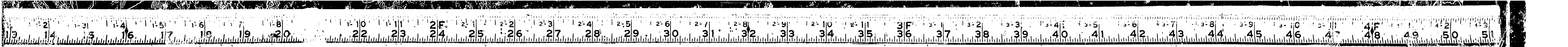
- Notes: 1. All reinforcement is #4@12 except as shown.
2. For PVC pipe see Note 9 on Sht L-9.



- Notes: 1. All reinforcement is #4@12 except as shown.
2. For Invert Elevations see Invert Plan on Sht. L-9
3. For PVC pipe see Note 9 on Sht. L-9







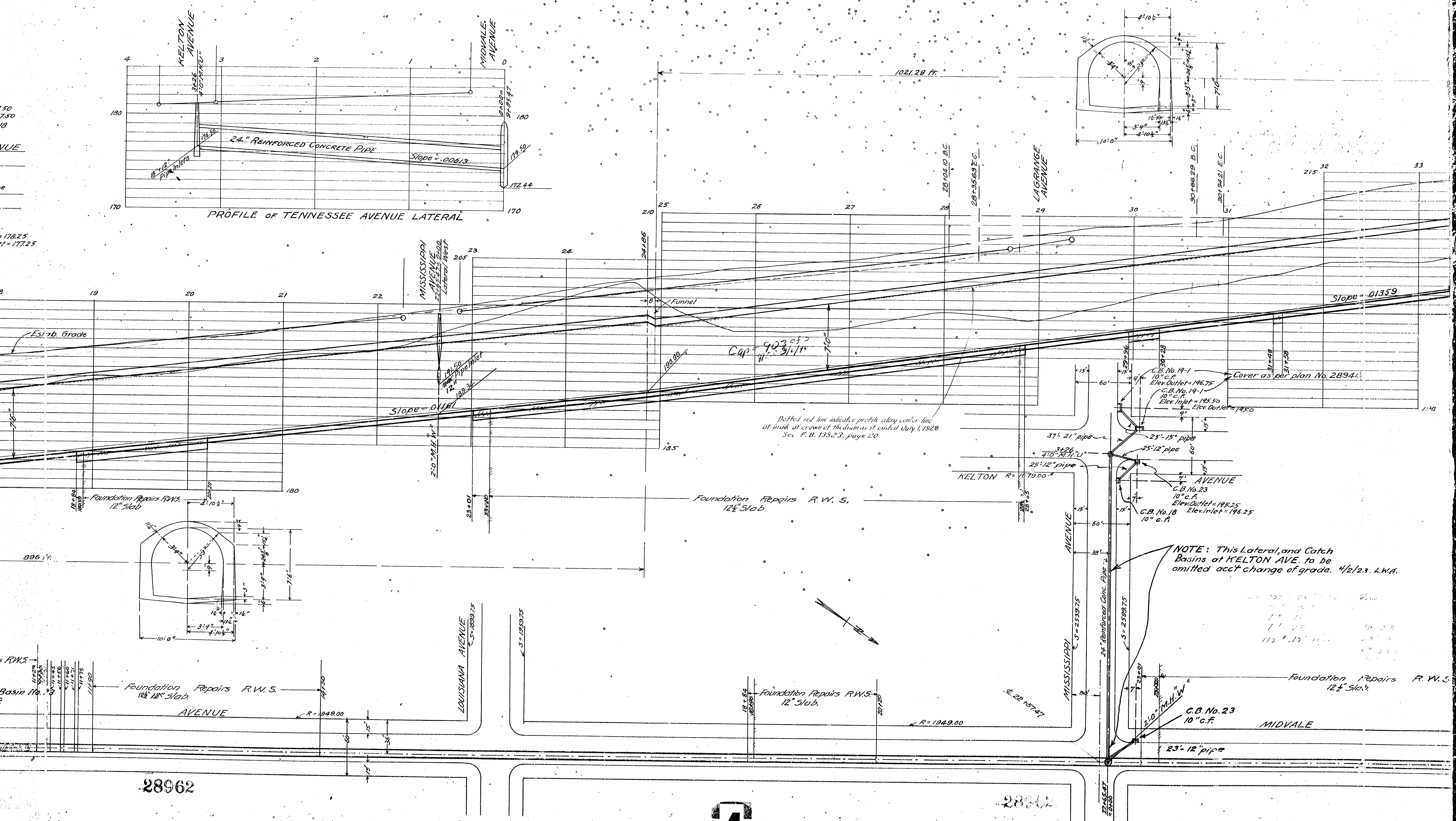
Schedule of Replacing Floor Slab in Block 23 from Paved Blvd. to La Grange Ave.

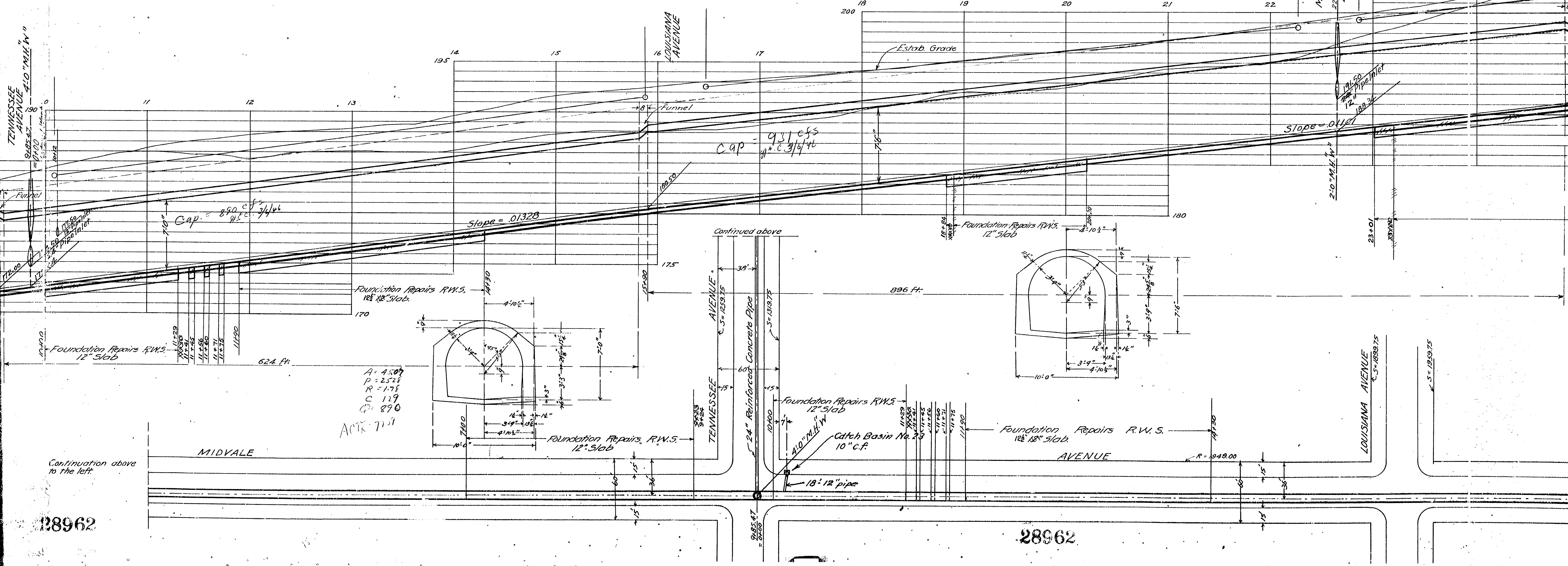
| Location | Length | Average Cover | Depth at 6' |
|--------------------|--------|---------------|-------------|
| Sta 11+00 to 11+25 | 25' | 2' | 7 1/2' |
| Sta 11+25 to 11+45 | 20' | 2' | 7 1/2' |
| Sta 11+45 to 11+60 | 15' | 2' | 7 1/2' |
| Sta 11+60 to 11+75 | 15' | 2' | 7 1/2' |
| Sta 11+75 to 11+90 | 15' | 2' | 7 1/2' |
| Sta 11+90 to 12+00 | 10' | 2' | 7 1/2' |
| Sta 12+00 to 12+15 | 15' | 2' | 7 1/2' |
| Sta 12+15 to 12+30 | 15' | 2' | 7 1/2' |

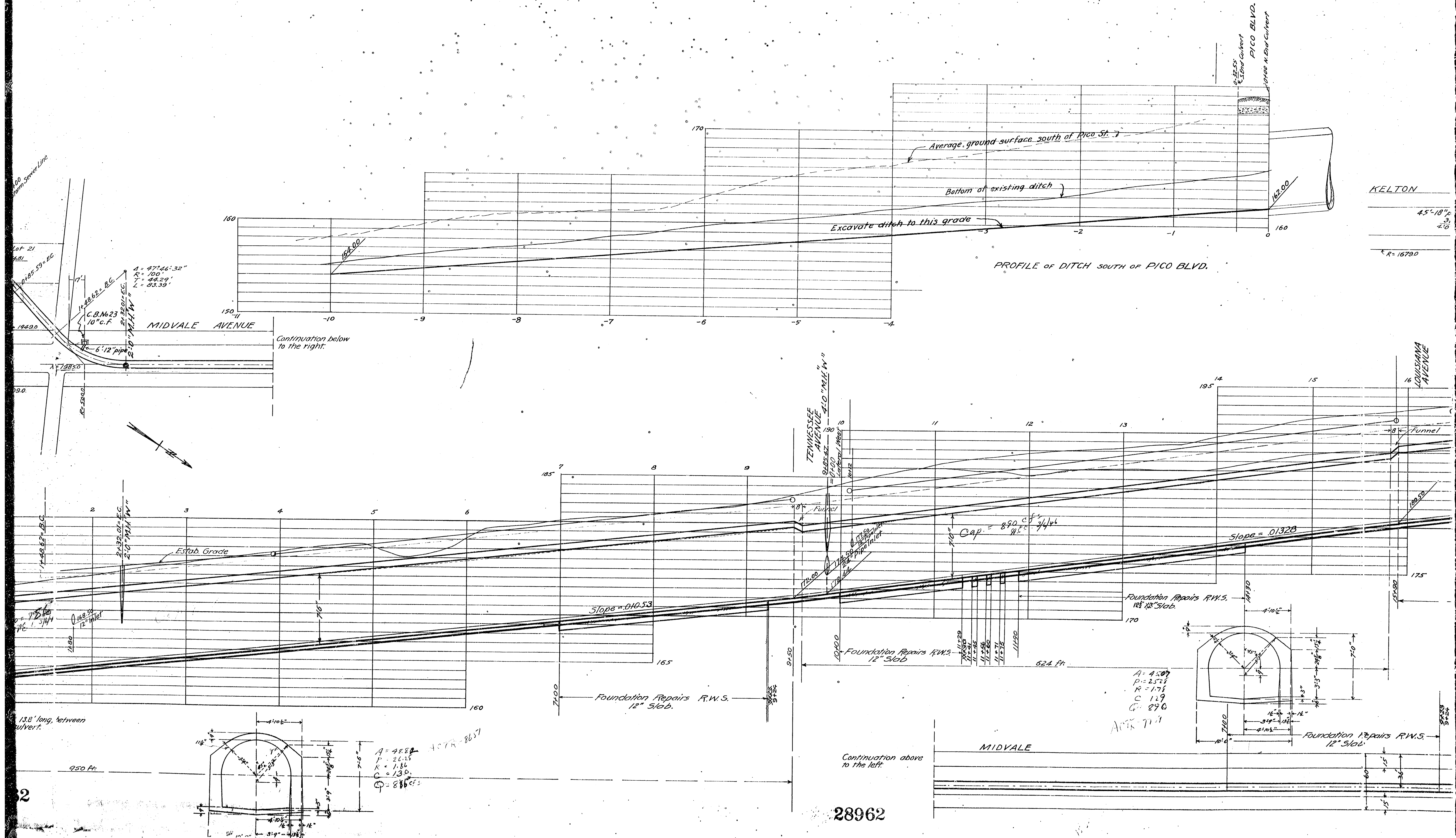
NOTE: This Lateral and Catch Basins at KELTON AVE. to be omitted acc't change of grade. 4/2/23. L.W.A.

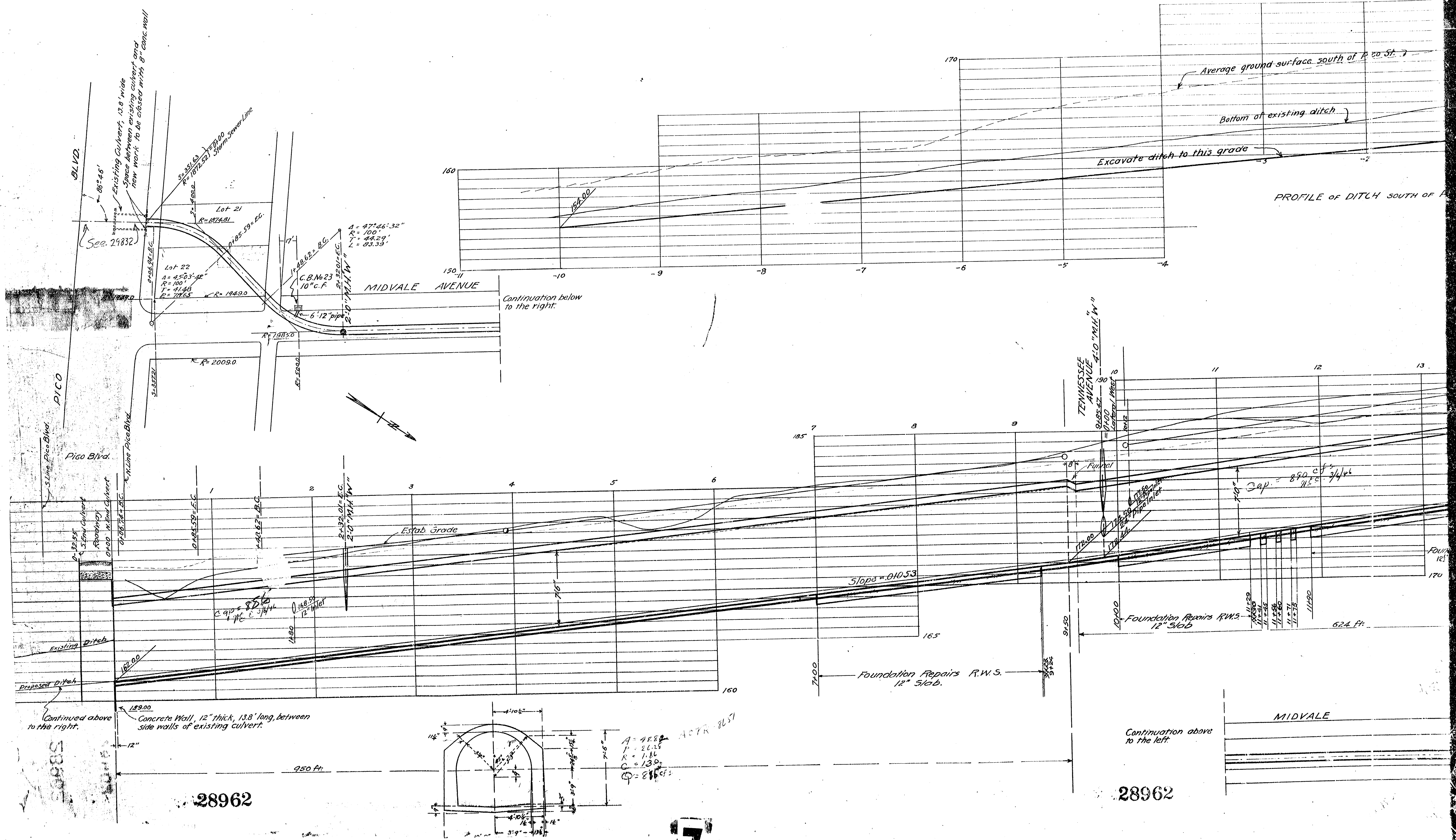
Foundation Repairs R.W.S. 12' Slab.

28962









LifeArk Modular Housing Pricing Quote - Revised



Date: 9/1/2023

Bill To: City of Los Angeles

Ship To:

Pico & Midvale
Los Angeles, CA 90064

| Product Model | Unit Price | Quantity | Total Price |
|---------------------------------|------------|----------|--------------------|
| HOUSING UNITS (33 Units) | | | |
| 2x1 Ensuite | \$53,927 | 31 | \$1,671,750 |
| 1.5x2 ADA Ensuite | \$73,227 | 2 | \$146,453 |
| OFFICE/COMMUNITY UNITS | | | |
| 1x1 Laundry | \$33,151 | 3 | \$99,453 |
| 2x2 Community Room | \$95,878 | 1 | \$95,878 |
| 3x2 Office | \$133,004 | 1 | \$133,004 |
| 2x1 Office | \$45,302 | 1 | \$45,302 |
| 1x1 IT/Utility | \$27,628 | 1 | \$27,628 |
| Products Sub-Total | | | \$2,219,468 |
| Prevailing Wage Surcharge | | | \$75,750 |
| Sales Tax* | | | \$110,792 |
| Delivery & Handling | | | \$26,124 |
| TOTAL PRICING QUOTE | | | \$2,432,133 |

TERMS: 50% deposit upon signing of contract

* **SALES TAX** under Regulation 1521.4 on 40% of sales price for factory-built housing models (excludes commercial modular units) approved by HCD.

INCLUSIONS/EXCLUSIONS: see attached



LA City Council District 5 - Pico & Midvale Interim Housing Project

INCLUSIONS:

- 1 Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)**
- 2 Fully fitted out admin/office unit.**
- 3 Fully fitted out community building including built-in cabinets, roll-down shutters etc.**
- 4 Laundry unit ready to hook up to a washer and a dryer.**
- 5 Modular units are approximately 80% completed in the factory and delivered to the project site. Units come with interior finished with paint, flooring, MEP finishes, doors, and hardware. Remaining 20% to completion is work on site, including connecting the units, anchoring to foundation, site utilities hookup, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.**
- 6 Units include mechanical HVAC mini-splits, with condensers located in the set-back area.**
- 7 Module staging and on/off loading at the site is included.**
- 8 Module assembly on-site and final testing.**
- 9 Architecture/Engineering/Design services for all LifeArk HCD models.**
- 10 HCD certification, permit and inspection fees.**

EXCLUSIONS:

- 1 Site work including, but not limited to, grading, paving, gates and fences, trash enclosures.**
- 2 Landscaping, green walls, planters, hardscaping, irrigation and common area amenities.**
- 3 Site accessories including storage bins, bike racks, lockers, mailboxes etc.**
- 4 Decks, handicap lifts, railings, stairs, and ramps.**
- 5 Any work related to the underground storm drain and catch basin.**
- 6 Any demolition, repairs and/or improvements to the existing structures.**
- 7 All city utilities including sewer, power, gas and storm drain work.**
- 8 All trenching and repairs to the sidewalks.**
- 9 Utility connections on site to module stub down points of connections**
- 10 Final testing of all systems**
- 11 Cost of land, construction financing, taxes, city fees.**
- 12 All Permit costs including any costs for street use, SFFD, excludes SMP and SWPPP plans.**
- 13 Architecture/Engineering/Design services for site-related (non-LifeArk units) work.**
- 14 Costs of testing and inspection (non-HCD) including costs for trade permits and inspection.**
- 15 Utility fees, account setup, power poles, transformers, conductors, etc. by owner.**
- 16 Handling and removal of any hazardous material.**
- 17 Removal of any underground obstacles not shown.**
- 18 All main power connection costs to connect to the switchgear.**
- 19 Low Voltage Tele/Data, WiFi.**
- 20 All Owner provided FF&E.**
- 21 Costs for storing, double-handling or trucking owner supplied materials.**
- 22 Appliances and furniture.**
- 23 Central fire alarm system, PV system, emergency generator, site lighting.**
- 24 Fire truck access.**
- 25 Fire hydrants or other fire department improvements.**
- 26 Owner's GL Property Insurance.**



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- 26 Owner's GL Property Insurance.**

2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064

Council District (5): Katy Yaroslavsky

Initial Analysis:

This site is LADOT's Lot #707, a surface parking lot that provides 41 public parking spaces. LADOT may require replacement public parking in exchange for use of this site.

The site is divided by an alleyway. On one side of the alley is an R1-1 zoned, 6,794 square foot parcel adjacent to a single family house on a residential street. The parcel that fronts Pico Blvd. is 10,666 square feet and zoned NMU(EC). The surrounding uses are commercial.

There are two schools and two parks within roughly one half mile. There are two supermarkets within one mile of the site and two pharmacies within the same distance. The homeless services at the VA are roughly one mile from the site.

A Metro Expo station is within one quarter mile of the site, in addition to stops for Big Blue Bus lines 7, R7, 8, R12 and Culver City bus line CC3.

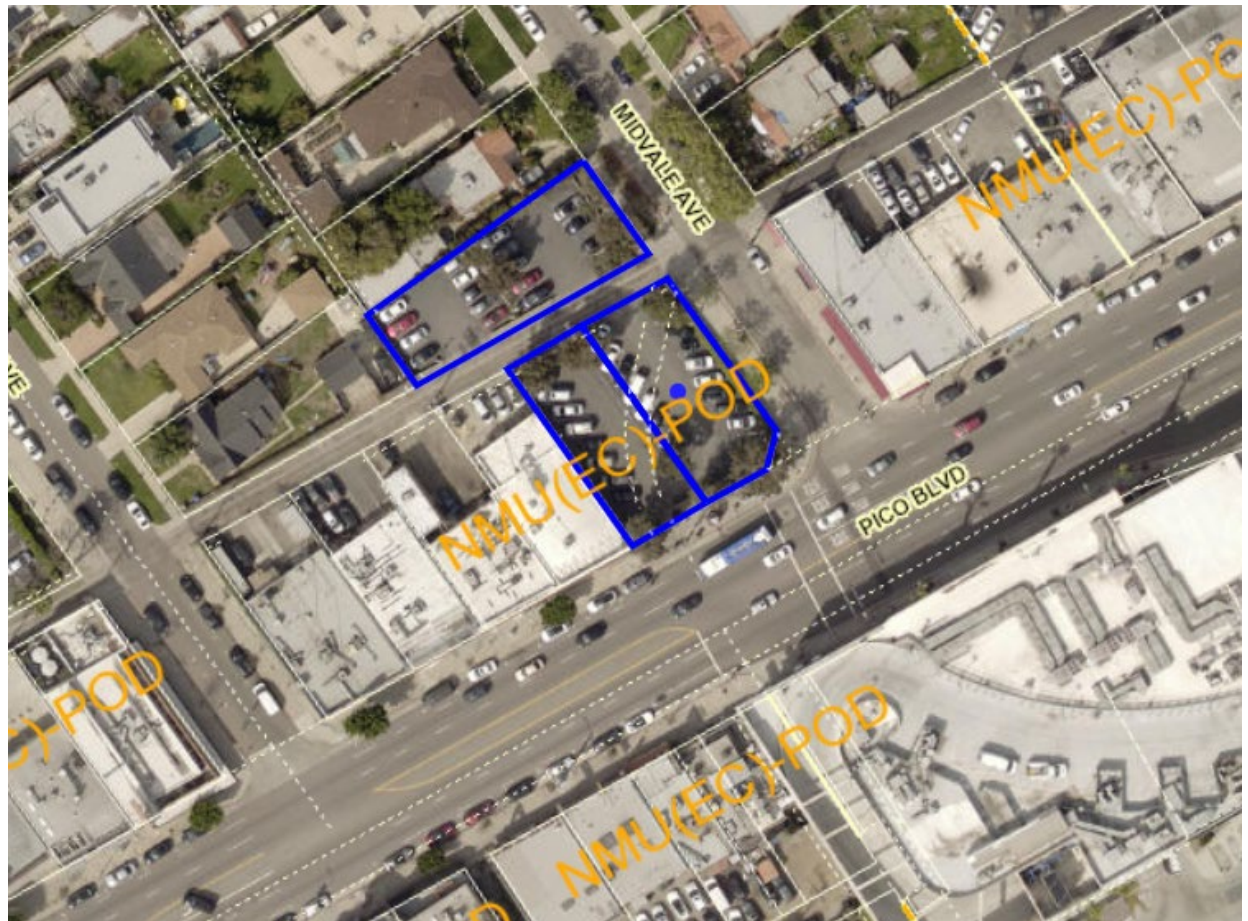
CPRA-15-BOE-000019

Owner: City of Los Angeles (LADOT)

Zoning: NMU(EC) [Pico parcels]; R1-1 [rear parcel]

APN: 4322004902; 4322004903

Lot Size: 16,860 SF



2377 Midvale Avenue; 10901 – 10909 Pico Blvd, Los Angeles, CA 90064
Council District (5): Katy Yaroslavsky



CPRA-15-BOE-000020



CD-5 PICO-MIDVALE INTERIM HOUSING PROJECT

10907-10909 W. PICO BLVD, 2377 MIDVALE AVE, LA CA 90064

ARCHITECTURAL SUMMARY:

| | | |
|------|-------------------|---|
| 1. | SITE AREA: | 16,340 SF |
| 2. | BUILDING AREA: | 5,622 SF |
| 2.1. | ENSUITE UNITS | 4,154 SF (31 BEDS) |
| 2.2. | ENSUITE ADA UNITS | 400 SF (2 BEDS)- (33 X 5% = 1.65 REQUIRED) 2 UNITS PROVIDE |
| 2.3. | COMMUNITY ROOM | 267 SF |
| 2.4. | OFFICE/SERVICES | 400 SF |
| 2.3. | OFFICE | 134 SF |
| 2.4. | LAUNDRY | 200 SF |
| 2.4. | STORAGE | 67 SF |
| 3. | NUMBER OF BEDS: | 33 TOTAL |
| 4. | OCCUPANCY: | R2 |

CLUSTER 2

POWER REQUIREMENTS:

GEN - 2496S.F. X 1.1 X 2W/SQ. FT = 5491
AC - (7500+4500)X 1.25 = 15,000
W/H's 2 X 24,000= 48,000
68491W

@240V/1Ø = 285A
@208V/3Ø = 190A

FIGURE 400A SERVICE

CLUSTER 1

POWER REQUIREMENTS:

GEN - 2880 S.F. X 1.1 X 2W/SQ. FT =6336
AC - (6000x 2+3000)X 1.25 = 18,750
W/H's 2 X 18,000 + 24,000= 60,000
85,086W

@240V/1Ø = 354A
@208V/3Ø = 236A

FIGURE 400A SERVICE



| MODULAR HOUSING MANUFACTURER | |
|------------------------------|---|
| NAME | LIFEARK SPC |
| PHONE | (626) 535-9370 |
| EMAIL | info@lifeark.net |
| WEB | www.lifeark.net |
| PLANT LOCATIONS | MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET. |



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



| Revision Schedule | | |
|-------------------|-------------|------|
| # | Description | Date |

PROFESSIONAL STAMP

.\\wee-arch license stamp-103123.jpg

CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
PRELIMINARY SEWER POC
& SLOPE CHECK

PROJECT NUMBER

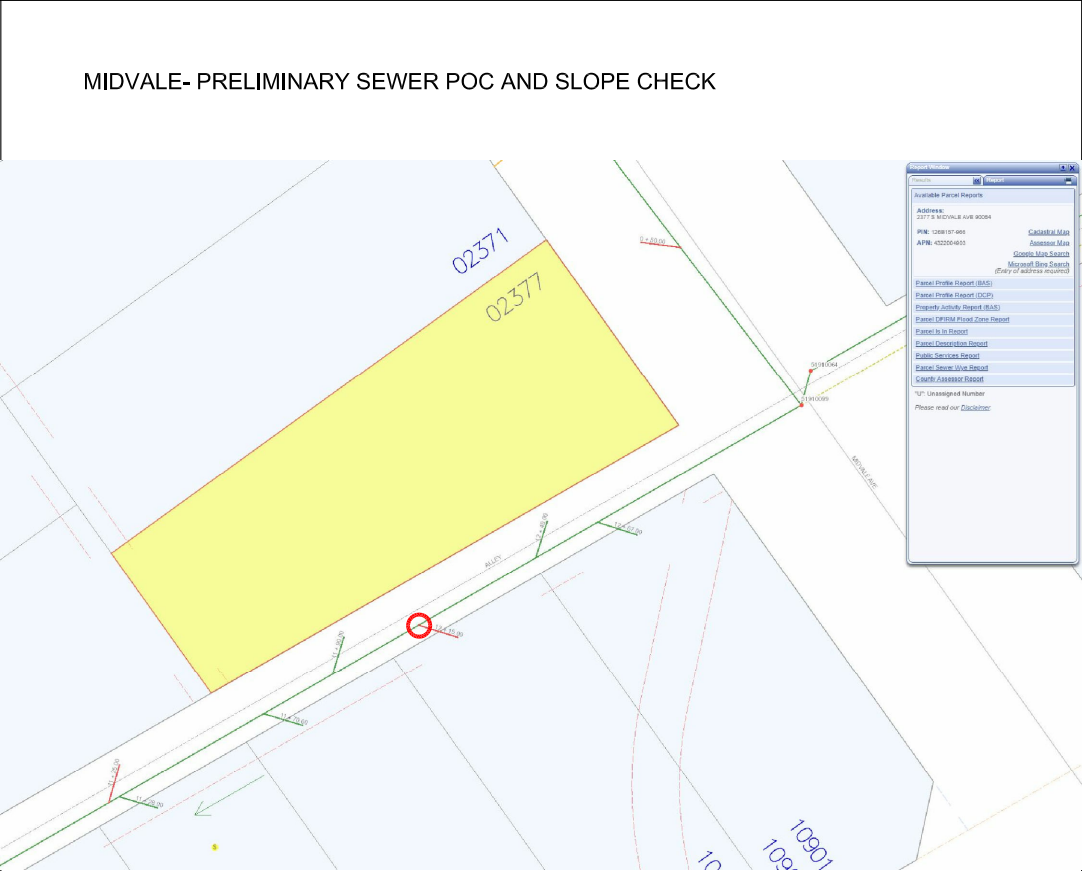
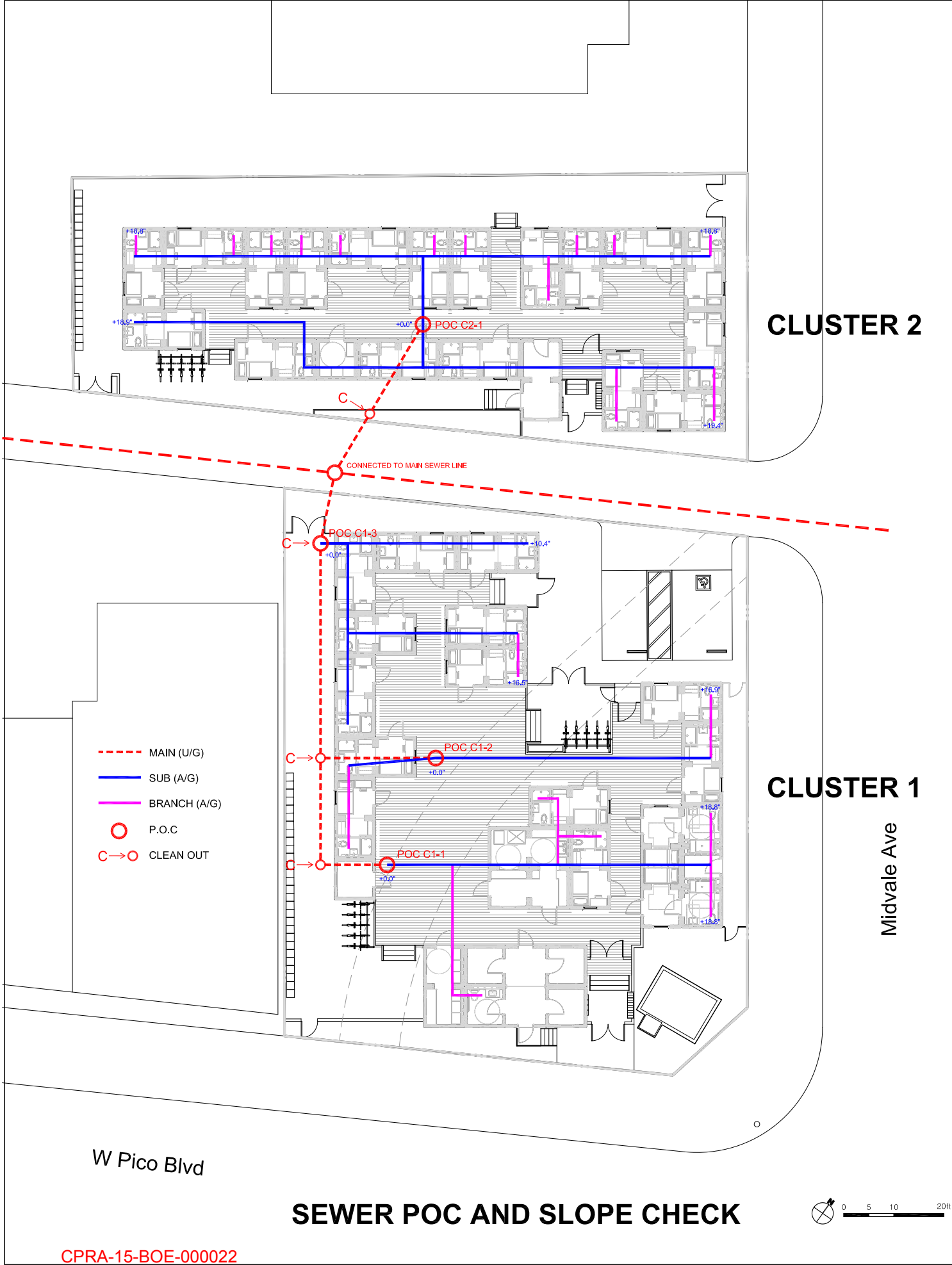
DRAWN BY

CHECKED BY

DATE 8/31/2023

SHEET NO.

MEP-1



MIDVALE PRELIMINARY SEWER POC AND SLOPE CHECK

- 1. Study based on main sewer line running in the alley, connecting to the marked lateral (see NaviLA map)
- 2. Sewer slope check to determin optimal POC locations.
 - 2.1. Need 3 for C-1 and 1 for C-2
 - 2.2. Main underground shown with Red dotted line.
 - 2.3. Pink and Blue sub-lines will all be in the crawl space above grade.
 - 2.4. Two sub-lines crossing the easement.
 - 2.4.1. Decking to be designed to be accessible to allow maintenance and repair of the main storm drain.



| MODULAR HOUSING MANUFACTURER | |
|------------------------------|---|
| NAME | LIFEARK SPC |
| PHONE | (626) 535-9370 |
| EMAIL | info@lifeark.net |
| WEB | www.lifeark.net |
| PLANT LOCATIONS | MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET. |



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



| Revision Schedule | | |
|-------------------|-------------|------|
| # | Description | Date |

PROFESSIONAL STAMP

.\\wee-arch\\license stamp-103123.jpg

CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
PRELIMINARY SEWER POC
& SLOPE CHECK

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE
8/31/2023

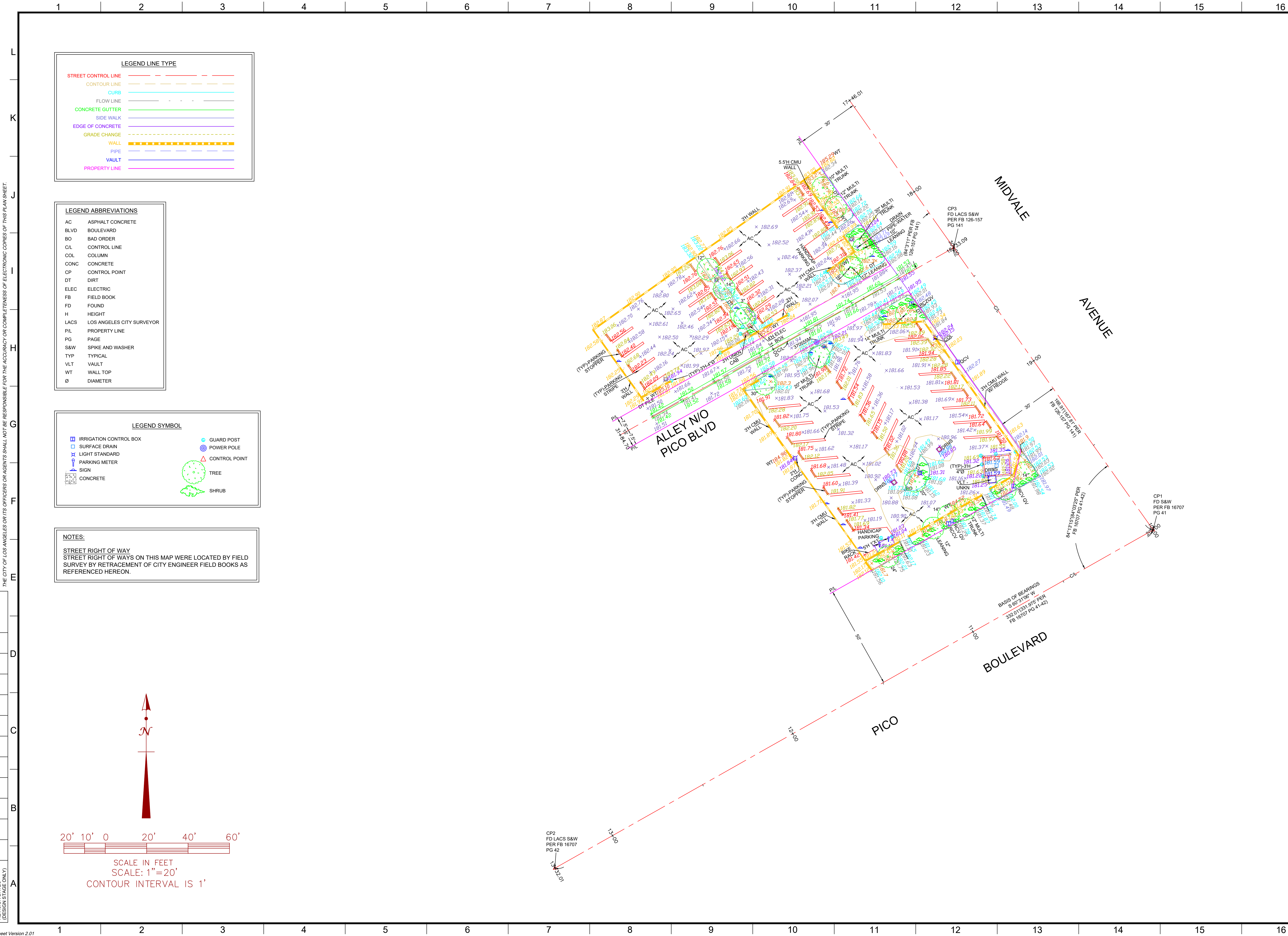
SHEET NO.

MEP-1

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES
(DESIGN STAGE ONLY)

Sheet Version 2.01

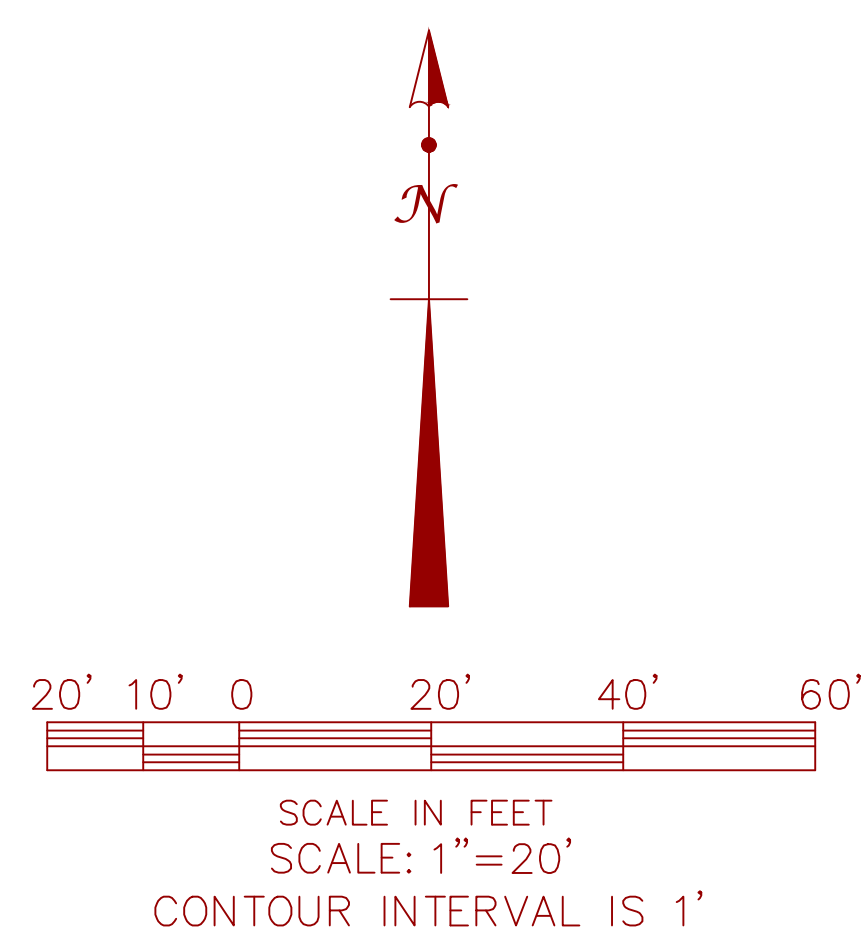


| LEGEND LINE TYPE | |
|---------------------|-------|
| STREET CONTROL LINE | --- |
| CONTOUR LINE | - - - |
| CURB | --- |
| FLOW LINE | --- |
| CONCRETE GUTTER | --- |
| SIDE WALK | --- |
| EDGE OF CONCRETE | --- |
| GRADE CHANGE | --- |
| WALL | --- |
| PIPE | --- |
| VAULT | --- |
| PROPERTY LINE | --- |

| LEGEND ABBREVIATIONS | |
|----------------------|---------------------------|
| AC | ASPHALT CONCRETE |
| BLVD | BOULEVARD |
| BO | BAD ORDER |
| CL | CONTROL LINE |
| COL | COLUMN |
| CONC | CONCRETE |
| CP | CONTROL POINT |
| DT | DIRT |
| ELEC | ELECTRIC |
| FB | FIELD BOOK |
| FD | FOUND |
| H | HEIGHT |
| LACS | LOS ANGELES CITY SURVEYOR |
| PL | PROPERTY LINE |
| PG | PAGE |
| S&W | SPIKE AND WASHER |
| TYP | TYPICAL |
| VT | VAULT |
| WT | WALL TOP |
| Ø | DIAMETER |

| LEGEND SYMBOL | |
|---------------|------------------------|
| | IRRIGATION CONTROL BOX |
| | SURFACE DRAIN |
| | LIGHT STANDARD |
| | PARKING METER |
| | SIGN |
| | CONCRETE |
| | GUARD POST |
| | POWER POLE |
| | CONTROL POINT |
| | TREE |
| | SHRUB |

NOTES:
STREET RIGHT OF WAY
STREET RIGHT OF WAYS ON THIS MAP WERE LOCATED BY FIELD
SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS
REFERENCED HEREON.



ENGINEERING
CITY OF LOS ANGELES

DATE: BY:

NO REVISIONS

INDEX NO.

SURVEY NO.
85363

DEPARTMENT OF PUBLIC WORKS
TED ALLEN, P.E. CITY ENGINEER

SURVEY DIVISION

SURVEYOR: ERIC RAMOS

FIELD SURVEYOR: VALERIE LAI

DRAWN BY: ELISE N. HERNANDEZ

CHECKED BY: VALERIE LAI

APPROVED BY:

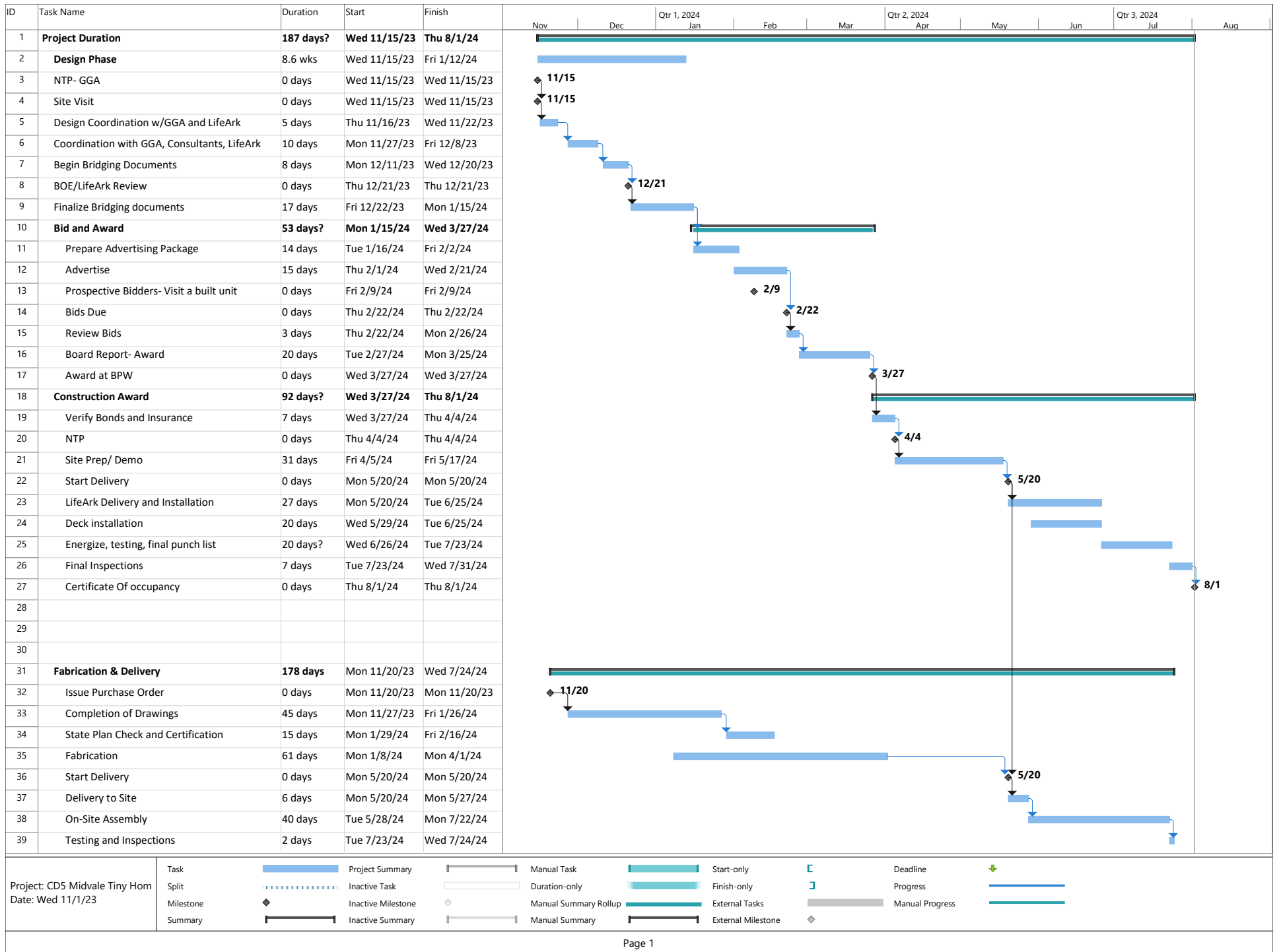
CITY OF LOS ANGELES

WORK ORDER NO.
E1909097

DRAWING NO.

1

SHEET 1 OF 1 SHEETS



July 19, 2023

Ms. Marina Quinonez, Senior
Architect Architectural Division
Bureau of Engineering / Department of Public
Works 1149 S. Broadway, Suite 820
Los Angeles, CA 90015
Marina.quinonez@lacity.org



135 W. Green Street
Suite 200
Pasadena, CA 91105
626-568-1428
ggarch.com

Re: Architectural and Engineering Services for CD 5 Pico-Midvale THV

Dear Marina:

Per your request, GGA is pleased to submit a proposal for architectural and engineering services to prepare Bridging Documents for CD5 Interim housing located on Pico & Midvale, Los Angeles. Our scope is based on received documents prepared by LifeArk in which a patented design Plastic Polymer Modular will be used as dwelling units for this project. Part of the scope includes coordination with LifeArk. The detailed scope of architectural and engineering services included in this proposal is described in the attached proposals from GGA, VCA Engineers, Inc., dHA + CALPEC Engineers, and Yang Tai.

Our total fee for these services is a lump sum of \$187,200

The fee break-down is as follows:

| | |
|--------------------------------|-----------|
| GGA (Architectural) | \$112,930 |
| dHA + Calpec Engineers (MEP) | \$48,600 |
| VCA Engineers (Civil & Struct) | \$ 21,000 |
| Yang Tai (Cost Estimator) | \$ 4,670 |

We are delighted to continue building on our long standing and successful consulting relationship with you and your team. Thank you for your interest in GGA.

Sincerely,

A handwritten signature in black ink, appearing to read "Ali Barar", is written over a horizontal line. The signature is stylized with a large loop at the end.

Ali Barar,
AIA
Principal,
GGA+
626-568-1428
abarar@ggarch.com

Proposed GGA Fee Breakdown

Project : Marina Quinonez, Architect Architectural Division, BOE
CD5 Pico-Midvale THV
Date: 7/19/2023
Prepared: GGA Architects
Revision: rev0

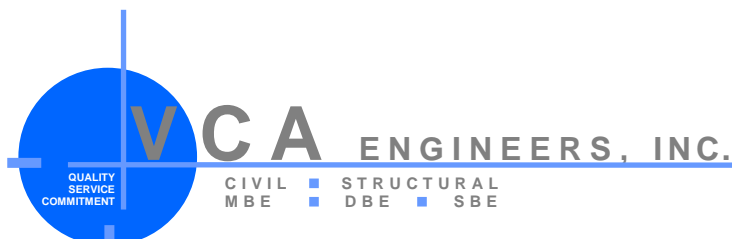
Tasks

| |
|--|
| |
| |
| Bridging Documents 8 Weeks |
| Meet, coordinate, general management related to BOE |
| Site Visit and review provided survey and drawings |
| Site Design including layout of Module unit with decking - develop options for BOE for selection. Make corrections to BOE's comments |
| Coordinate with LifeArk |
| Coordinate with Consultants and cost estimator |
| Prepare Bridging Documents |
| QA/QC Bridging Documents |
| |

To be completed by LifeArk

Proposed Work Efforts

| GGA+ | | | | | | | | | |
|---------------------------------|------|----|-----|------|-----|----|----|-----|----|
| | Role | P | SPM | PM/A | SPD | PC | ID | PD2 | A |
| | | | | | | | | | |
| \$112,930 | | | | | | | | | |
| \$6,938 | 40 | 2 | 10 | 4 | | | | | 24 |
| \$4,316 | 18 | | 10 | 8 | | | | | |
| \$42,160 \$10,000 | 188 | 8 | 40 | 100 | 40 | | | | |
| \$5,888 | 24 | | 16 | 8 | | | | | |
| \$5,888 | 24 | | 16 | 8 | | | | | |
| \$45,644 | 212 | | 32 | 80 | 100 | | | | |
| \$2,096 | 8 | | 8 | | | | | | |
| Hours | 514 | 10 | 132 | 208 | 140 | 0 | 0 | 0 | 24 |



July 18, 2023

Mary Wu, AIA
Associate Principal
Gonzalez Goodale Architects
135 West Green Street, #200
Pasadena, CA 91105
T: (626) 568-1428

Subject: Fee Proposal for Civil Engineering Services for
City of Los Angeles CD 05 Pico-Midvale Interim Housing
2377 Midvale Ave., Los Angeles, CA 90064
Bridging Documents

Dear Mary:

VCA Engineers is very pleased to submit this fee proposal to perform civil engineering services associated with the above project. Based on the email, attachments received dated July 12, 2023, we are being requested to provide bridging documents for the new THV dwelling module with toilet rooms on an approximately 16,340 SF site in the City of Los Angeles. The HCD approved project represents a homeless shelter of congregate residence for 33 non-transient occupants. It includes provisions for sleeping and sanitation but does not include provision for eating and cooking. The model provides 31 single sleeping units and two ADA units with en-suite bathroom with ADA roll-in shower per unit. Project also includes 400 SF Admin/Office unit for the use by the wrap-around service organization, shall comply to all accessibility requirements.

Accordingly, we have prepared this fee proposal which will cover the following: (I) our proposed scope of work, (II) the project schedule, and (III) our consulting fee. Our scope of services will be all inclusive as required to complete the project in a concise and timely manner as mandated by project schedules and standard requirements of professional practice.

Our understanding of the civil scope of work to be provided for the on-site improvements is as follows:

1. Grading for Drainage and Accessibility for the new improvements at the site including grading design for decking that serves all Module entry.
2. Provide horizontal control for the new improvements.
3. Provide a utility site plan for wet utilities.

I. Civil Engineering Scope of Services

PRE-DESIGN

1. Visit the site to confirm/verify data reflected on provided information and to note existing conditions for use as basis in our design.
2. Attend kick-off meeting with the architect and the City to discuss in detail the scope, the milestone submittals/schedule and other project requirements, if any.
3. Provide due diligence for civil requirements from the City of Los Angeles Department of BOE.
4. Review available site as-built records, topographical survey, soils report, and other available site information that you or the owner will furnish to us or that we can obtain from the City including underground utility data such as pipe size, material, depth, cover or invert if they are available through the municipal's as-built records. Please note that these existing underground utility data as prepared by others are not verified at the time of this proposal. Verification through the use of ground penetration radar (GPR), electromagnetic line locating (EM) instruments, or in-situ utility potholing will be required if a higher level of data accuracy is preferred. VCA's work scope does not include this higher level of verification. It is highly likely that potential change orders during construction may occur due to unknown, unforeseen and unverified utility information (especially invert elevations and crossing utility obstructions) during design and construction. Please relay this information to the owner for proper guidance, planning and decision.

Los Angeles County

1041 S Garfield Ave, Alhambra CA 91801
Tel: 323-729-6098 ■ Fax: 323-729-6043
e-mail: vca@vcaeng.com

Orange County

2151 Michelson Dr. #240, Irvine, CA 92612
Tel: 949-679-0870 ■ Fax: 949-679-9370
www.vcaeng.com

CPRA-15-BOE-000029

DESIGN PHASE: BRIDGING DOCUMENTS

5. Based on the Architectural and Landscape Site Plan, VCA will create a civil site plan that will show the horizontal site control delineating the positional dimensions of the new surface and subsurface civil-related improvements. These items include buildings, structures, vehicular and fire lane access roads, driveways, parking areas, curbs, gutters, sidewalks and perimeter walls and fences.
6. VCA will prepare the bridging documents to include civil drawings drawn in AutoCad Civil 3D depicting: Site Grading for Drainage, Site Horizontal Control and Utility Plans.
7. VCA will prepare all documents in accordance with the Standards, Guidelines and Design Criteria of the City of Los Angeles unless directed otherwise. We will download these standards for our use if available at the agency's website or we will request these standards from you.
8. VCA will attend a maximum of one (1) coordination meetings.

BID PHASE:

9. VCA will assist in RFI responses during the Bid Phase.

EXCLUSIONS (NOT IN SCOPE)

- A. Requests, either by owner or client for items not covered by this fee proposal including but not limited to such items as offsite improvements. Onsite and offsite work required by jurisdictional Inspectors during construction that were not required during the municipal plan check and permitting are also excluded from this proposal.
- B. Entitlements and/or studies required by conditional use permits, environmental impact reports or assessments, CEQA, and NEPA requirements except as noted in this proposal.
- C. Topographical mapping and topographic field survey of the site including ALTA Map Preparations.
- D. Geotechnical and environmental engineering including percolations tests, methane mitigation, testing and reports.
- E. Phasing Plans requiring separate submittals, plan checking and permits.
- F. Traffic Engineering including Traffic Signalization, Signage, and Street Striping (Pavement Markings).
- G. Structural engineering and design of buildings including site retaining walls.
- H. Offsite Improvements including but not limited to street widening, sidewalk, curb and gutter, street lights, street trees and other street work in public right of way other than curb cuts for new driveways and closure of existing driveways.
- I. SWPPP handbook, Application (NOI) and Termination (NOT) to CRWQCB (by QSD) as well as SWPPP Monitoring (by QSP). It is assumed that the selected contractor will perform this work in conjunction with the Legally Responsible Person (LRP) of the Owner.
- J. Construction Administration including Erosion Control Plans.
- K. Shoring and soldier piling for basement excavation or overexcavation are means and method to install building components and are considered not part of the civil scope.
- L. All new or existing above and underground dry utilities including gas lines, electrical, telephone, and cable lines. It is expected that the other Team subconsultants will coordinate the design of their removal, relocations, or installation as these are not VCA expertise.
- M. Storm Water Management (LID).
- N. Design of Lift Stations and Pump Stations including its electrical connections.
- O. Any pump system including mechanical and electrical works inside or outside buildings within the project site will be designed by other members of the team.
- P. Design and coordination of the removal, relocation, or abandonment of unknown and unforeseen existing wet or dry underground utilities, vaults or septic systems in public right of way or private property that are discovered during construction.
- Q. Existing utility investigation and verification through utility potholing, use of GPR or EM line locating instruments depending on the level of data accuracy that will be required by the client. Also, CCTV of existing gravity lines to determine pipe soundness, clogging and working condition is not included. Otherwise, client to provide information on the existing utility lines including actual location of pipe, type of pipe material, invert elevations, earth cover, and or pipe slopes, unless specifically requested as a VCA scope of work for this project.
- R. Feasibility study, determination, evaluation and testing of existing infrastructures at points of connection or for the entire project site except as proposed herein.
- S. Cost Estimating
- T. Title reports, recorded documents, legal descriptions, easements, street dedications, lot consolidation or lot ties, lot line adjustments, parcel maps and property realignments and recordings etc, street encroachment permits, except as noted in this proposal.
- U. Plan-check fees and other jurisdictional fees, if any.
- V. Multiple drawing reproductions, CADD plotting, Mylar photo work, sepia reproductions and next-day deliveries required for this project other than VCA's one set reproduction for milestone submittals.

II. Project Schedule

Our service will commence upon receiving written Notice-to-Proceed from you and approval of this letter proposal. We are committed to abiding by your project schedule. The design deliverable phase is anticipated to be bridging documents only. No other engineering service including CA will be provided.

III. Compensation

Our compensation for providing the above engineering services will be lump sum in the amount of **\$16,000**. The proposed fee will be billed at the monthly percentage completion of the task. Please note that other direct cost items for travel, one original set for submittal at milestones and mailing to you are included in the fees. Reproductions for multiple submittals are not included and are reimbursable at cost plus 10% administrative costs. Please note that our 2023 Schedule of Rates is attached herein for your reference and for any additional time and material work.

Additional Fee:

Structural Engineering Services – Site Structures (Bridging Documents) \$ **5,000**

Again, thank you for the opportunity to be a member of your team and please do not hesitate to call us if you have any question.

Sincerely,
VCA Engineers, Inc.



Virgil C. Aonan, P.E., S.E., QSD
Principal

ACCEPTED BY:
Gonzalez Goodale Architects

BY: _____

DATE: _____

2023 VCA ENGINEERS SCHEDULE OF FEES

PROFESSIONAL STAFF

HOURLY RATE

| | |
|------------------------------|----------|
| Principal | \$210.00 |
| Project Manager | \$180.00 |
| Lead/Senior Project Engineer | \$165.00 |
| Project Engineer | \$150.00 |
| Engineer | \$140.00 |
| BIM Modeler | \$120.00 |
| CADD Technician | \$90.00 |
| Clerical/Admin | \$65.00 |

MILEAGE AND SUBSISTENCE

| | |
|-----------------------------------|---------------------------|
| Auto Mileage | \$ 0.65 per mile plus 10% |
| Parking | Actual Cost plus 10% |
| Air Travel and Car Rental | Actual Cost plus 10% |
| Subsistence (overnight out of LA) | Actual Cost plus 10% |

DIRECT SERVICES

| | |
|--|----------------------------------|
| Milestone Reproducible Submittal (one set) | Included in Proposed Fees |
| Messenger and Overnight Delivery Services | Actual Cost plus 10% |
| Long Distance Phone | Actual Cost plus 10% |
| Outside B&W Plotting | Actual Cost plus 10% |
| Sepia/Mylar | Actual Cost plus 10% |
| Reprographic Services (binding, mounting and etc.) | Actual Cost plus 10% |

LIABILITY INSURANCE

During the terms of this agreement, VCA shall at all times procure and maintain insurance. VCA carries General, Automobile Liability Insurance and Workers Compensation at \$2M each occurrence and Professional Liability Insurance at \$2M per claim.

CLAIMS AND DISPUTES

Client and VCA agree to negotiate and resolve all disputes between them in good faith as a first attempt. If the dispute cannot be resolved therein, the parties shall mutually agree to submit the matter to mediation and arbitration in accordance with the American Arbitration Association's Commercial Mediation Rules if the total dispute is less than \$49,000. The results of the arbitration, as decided by three (3) arbitrators, each party choosing their own arbitrator and the two arbitrator choosing a third member, shall be final, and judgment may be entered upon it in any court of competent jurisdiction in the City where the work is performed.



150 s. arroyo parkway, suite no. 100
pasadena, california 91105
telephone 626.445.8580
facsimile 626.445.8081

Date: 17 July 2023

To: **GGA+ ARCHITECTS**
135 West Green St., Suite 200
Pasadena, CA 91105

Attn: Mr. Ali Barar, AIA

Project: City Los Angeles
BOE Tiny Home Village
Council District 15
2377 Midvale Ave, Los Angeles, CA90064

Proposal 23.48
Number:

Subject: Professional Engineering Services Proposal

Dear Ali,

dHA + CALPEC, Mechanical, Electrical, and Plumbing engineering firm are pleased to submit this proposal to provide Design Services for the Electrical and Plumbing Bridging Document portions of the project in accordance with the final project scope prepared by Gonzales Goodale Architects.

This Agreement is between **GGA+ ARCHITECTS** (Architects) and **dHA + CALPEC** (Design Professional or Engineer) providing for Professional Engineering Services.

1. WORK INCLUDED AS BASIC SERVICES:

- A. Provide **Bridging documents** consist of Electrical and Plumbing drawings based on June 2023 Hope Pavilion – Interim Housing Development Proposal and Life Ark pre-submission drawing A1.01 and A1.02 concept drawings provided by LABOE.
- B. Drawings and specifications will be prepared in accordance with generally accepted professional practices and applicable city and state codes, standards, regulations, and requirements for the intended use of the project.
 - 1) Drawings will be prepared in the “AutoCAD” format.
 - 2) Specifications will be prepared in drawing format.
- C. Electrical Bridging Document:
 - 1) Perform design of electrical distribution system for on site (31) 1-Bed Ensuite unit, (2) 2-Bed ADA unit, (91) Admin/Office unit and (4) Laundry unit, including central courtyard seating, dog park, storage/lockers area, parking and site Lighting.
 - 2) Submit new electrical service application for 480V-3ph-4w system and coordinate with LADWP Service Planner for electric service requirements.
 - 3) Perform design of outdoor lighting system, including the Entrance, Staff parking, Amnesty lockers areas, Exiting, and Outdoor seating areas - consist of site pole mounted lights, unit wall mounted exterior lights and exit signs.

- 4) Provide conduit and junction box for wireless security camera as provided per LABOE template electrical drawings.
 - D. Plumbing Bridging Document:
 - 1) Perform design of plumbing systems for the Modular Buildings to 5'-0" outside of the buildings.
 - a) Modular buildings internal plumbing piping design is by others.
 - b) Wet utilities' 5'-0" outside of Modular buildings will be designed by the Civil Engineer.
 - E. Coordination with Architect, Consultants, and Owner.
- 2. DESIGN WORK NOT INCLUDED AS BASIC SERVICES:**
- A. Interior Lighting and Power design for each of the Ensuite, ADA unit, Admin/Office and Laundry unit; it will be designed by others, supplied prewired to project site for electrical single point power connection only. Electrical load for each unit load center/panel shall be provided for new electrical service calculations
 - B. Telephone/Data (Low Voltage), Communication (IT, Internet, Wi-Fi, Audio-Visual system), Security & Access and Fire Protection/Fire Alarm System.
 - C. Plumbing and Mechanical design of the Modular/Unit Building interior.
 - D. Any demolition of the existing area is not part of the scope.
 - E. Bidding Service.
 - F. Peer Review Service of Design-Build Contractor drawings
 - G. Construction Support Services.
 - H. Value Engineering Service
 - I. Any work not specifically included in paragraph 1 (*above*).
- 3. PRINTING:**
- A. Electronic backgrounds will be provided by you.
 - B. We will provide PDF files of drawings and specifications for coordination with your office and other Consultants, at each project milestone and Plan Check submittals.
 - C. Additional prints and report copies required for Plan Check or other submittals will be provided as reimbursable expenses.
- 4. SCHEDULE:**
- A. The anticipated design will be 3 weeks after we receive your final Architectural backgrounds.
 - B. Work will not proceed until **GGA+ ARCHITECTS** has signed this proposal, returned a signed copy to **dHA + CALPEC**, and **dHA + CALPEC** has received the signed copy.

5. COMPENSATION:

- A. For basic services, the Engineer's compensation shall be a lump sum fixed fee:
 - 1) Engineering Service: \$ 48,600
- B. If any work designed by **dHA + CALPEC** is abandoned or suspended or if this Agreement is canceled, **dHA + CALPEC** shall be paid an equitable amount for services rendered to date of cancellation.
- C. All expenses unless otherwise noted, incurred on this project are included in the Compensation for Basic Services. No additional expenses shall be charged without prior written approval from **GGA+ ARCHITECTS**.
- D. We will bill on monthly basis for all completed work. Payment to be received within 30 days after billings.

6. ADDITIONAL SERVICES:

- A. For services not included in the Scope of Work or Redesign of Work already approved by **GGA+ ARCHITECTS** Architect. **dHA + CALPEC** will be paid in addition to the fee indicated above. Rendering Additional Services requires prior written authorization from **GGA+ ARCHITECTS**.
- B. The **GGA+ ARCHITECTS** agree to pay **dHA + CALPEC** for all authorized Additional Services an amount equal to **dHA + CALPEC** current labor rates times all hours for services rendered by principals and employees engaged directly on this part of the project.
- C. For the purpose of this Agreement, the principals and the employee's current hourly labor rates are included in Attachment 1.
- D. Invoices for Additional Services are due and payable upon receipt.

7. REIMBURSABLE EXPENSES:

- A. **dHA + CALPEC** shall be reimbursed at actual cost for the following items:
 - 1) Reproduction of drawings, specifications, calculations, etc., in addition to customary prints and copies included in paragraph 3.
 - 2) Plan Check, permit and filing fees required by this Agreement, ordinance, code or law.

8. ACCEPTANCE:

- A. Drawings and specifications prepared by **dHA + CALPEC** are instruments of service under this Agreement whether the project for which they are made is executed or not. They may not be used on other projects or extensions to this project except by agreement in writing with **dHA + CALPEC** and with appropriate compensation.
- B. Any reuse of drawings and specifications without written authorization by **dHA + CALPEC** will be at Architect sole risk and without liability or legal exposure to **dHA + CALPEC**. The Architect shall indemnify and hold harmless

dHA + CALPEC against any and all claims, damages, awards, and cost of defense arising out or resulting therefrom.

- C. The information contained in the electronic data files prepared by **dHA + CALPEC** has been issued as requested by the recipient. If there is any conflict between hard copy documents and electronic data, the hard copy documents will govern. **dHA + CALPEC** does not warrant or guarantee information extracted from the electronic data diskettes. Any use of electronic files by the Owner, Architects, Contractor or others without written authorization or adaptation by **dHA + CALPEC** will be at the user's sole risk and without liability or legal exposure including defense cost of **dHA + CALPEC**.
- D. Remodeling and/or rehabilitation of an existing building require that certain assumptions be made regarding existing conditions. Because some of these assumptions cannot be verified without expending great sums of money, or destroying otherwise adequate or serviceable portions of the building or mechanical systems, the Architect agrees that, except for negligence on the part of the Design Professional against any and all claims, damages, awards and costs of defense arising out of the professional service provided under this Agreement.
- E. Any and all work related to survey, testing, removal or encapsulation of asbestos or asbestos-containing materials or leaded paint is excluded from this fee proposal.
- F. If this fee proposal has not been accepted within **30 days** from the date received, we reserve the right to withdraw the same from further consideration.

9. SUCCESSORS AND ASSIGNMENT:

- A. **dHA + CALPEC** and the Architect each bind himself, his partners, successors, legal representatives and assigns of such other party in respect of all covenants of this Agreement. Neither **dHA + CALPEC** nor the Architect shall assign or transfer his interest in this Agreement without the other's written consent.

10. LITIGATION:

- A. This Agreement is to be governed by the laws of the State of California.
- B. All claims, disputes or controversies arising out of, or in relation to the interpretation, application or enforcement of this Agreement shall be decided through mediation as the first method of resolution. If this method proves unsuccessful, then all claims, disputes or controversies as stated above shall be decided through arbitration. The parties further agree that the Owner will require, as a condition for participation in the project and their Agreement to perform labor or services that all Contractors, Subcontractors and material persons, whose portion of the work amounts to \$5,000 (*five thousand dollars*) or more, and their insurers and sureties shall agree to this procedure.
- C. Architect and Design Professional have discussed the risks, rewards, and benefits of the project and the Design Professional's total fee for service. The risks have been allocated such that Architect agrees that to the fullest extent

permitted by law, Design Professional's total liability for any and all injuries, claims, losses, expenses, damages or claim expenses arising out of this Agreement from any cause or causes, will be consistent with the provisions of the Conditions of Agreement for Architectural Services. Such causes include, but are not limited to Design Professional's negligence, errors, omissions, strict liability or breach of contract.

11. SCOPE OF THE AGREEMENT:

- A. This document and listed attachments shall be the entire Agreement between the parties and there are no conditions, agreements or representations between the parties except as expressed herein.
- B. This Agreement may be modified in writing signed by both parties.

12. CANCELLATION:

- A. This Agreement may be canceled/terminated by either party by sending, at least 7 days (seven days) written notice, mailed to the other party at his place of business.
- B. In the event of cancellation, **dHA + CALPEC** shall be paid for all services rendered to the date of termination, all reimbursable expenses, and termination expenses.

Thank you for the opportunity to offer our services.

Should you accept our proposal please sign and return one (1) copy of this Agreement for our files.

Respectfully submitted,

dHA + CALPEC



Kevin S. Chen, P.E

17 July 2023

Date

ACCEPTED

GGA+ ARCHITECTS

Date

D:\dHA+CALPEC Dropbox\Proposal\2023\23.48 Bridge Homes - CD5 THV Fee Proposal\Bridge Home - CD5 THV EP Proposal .doc

Attachment 1
HOURLY RATES AND FEES
Engineering Services

Effective 03 January 2023

- A. Salaries:** The hourly personnel rates listed below include overhead, burden, fringe benefits, profits, etc. This schedule is valid for services performed during 2023. Services commenced or continued beyond 2023 will be subject to the Schedule current at the time of performance of services.

| Classification | Hourly Rate |
|-------------------------------------|--------------------|
| Principal Engineer | \$226.00 |
| Project Manager | \$198.00 |
| Project Engineer | \$166.00 |
| Designer | \$132.00 |
| Senior CADD Technician | \$122.00 |
| CADD Technician | \$ 95.00 |
| Technical Administrative Assistance | \$ 88.00 |
| Regular Administrative Assistance | \$ 78.00 |

B. Reimbursable:

1. Plan check fee and permit fee will be billed at actual cost.
2. Reproduction, express mail, etc. will be billed at cost, plus 10%
3. Reimbursable for prints and reports done in house are as follows:
 - a. CADD Plots (30" x 42") (one check plot and one final plot for each submittal) \$10.00 per plot
 - b. Blue Line Prints (30" x 42") \$ 2.00 per sheet
 - c. Xerox copies (8-1/2" x 11") \$ 0.10 each

C. Travel:

1. **Mileage:** Travel beyond a basic allowance of 50 miles round trip per trip for company vehicle shall be billed at a flat rate of \$ 0.65 per mile after the first 50 miles.
2. **Subsistence:** Per diem costs for meals and lodging for work requirements outside the office over one day and more than 100 miles away from our office will be billed at actual cost, plus ten percent (10%). Inside the Continental United States, maximum billed amounts will not exceed the following without prior approval:

| | |
|-------------|-------------------------------|
| Meals: | \$100.00 per person per day |
| Lodging: | \$150.00 per person per night |
| Car Rental: | \$100.00 per day |

3. **Equipment Rental:** Specialty testing, sampling and surveying equipment will be billed as reimbursable expenses with a ten percent (10%) mark-up for pickup and handling.

Yuang Tai, Inc.
650 W. Duarte Rd. Suite 201
Arcadia, CA 91007

Ms. Mary Wu
GGA+
135 W. Green St. Suite 200
Pasadena, CA 91105

July 17, 2023

Re: ESTIMATING FEE PROPOSAL – CITY OF LOS ANGELES – INTERIM HOUSING PROJECT – PICO MIDVALE HOPE PAVILION

Dear Ms. Wu:

We take pleasure in submitting our Fee Proposal for estimating services as follows:

| Scope of Work | Lump Sum Fee |
|---|-------------------|
| Bridging Documents Cost Estimate (Design Development Level) | \$4,670.00 |
| Total Lump Sum Fee | \$4,670.00 |

The above report(s) shall be:

- prepared to incorporate all trade related disciplines
- prepared in accordance with accepted estimating standards and practices
- submitted in EXCEL file format – value copy
- estimates shall be completed within ten (10) working days from Notice-To-Proceed and receipt of drawings

Additional conferences, meetings, updating or revisions to the above report(s) are not included in the lump sum fee above. Please sign and return one signed copy to this office.

Yours sincerely,



Steve Hsieh
Principal Cost Estimator

Accepted for: **GGA+**

By: _____ Date: _____



HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL- VOLUME 1

PICO & MIDVALE WLA SITE

Submitted to Council District 5

June 2023

Gary Gero- Chief of Staff
Zachary Warma- Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring St., Room 440
Los Angeles, CA 90012

Dear Gary and Zach,

In response to CD-5's RFP for the design concept of 2377 Midvale Ave Interim Housing Project, LifeArk is pleased to submit the following concept proposal for the interim supportive housing for homeless and at-risk population in Los Angeles Council District 5 using the LifeArk modular system. LifeArk is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction. LifeArk is all-in with mission to help solve the homeless crisis in our community but believe it's time to graduate from a short-term band-aid solutions. Design proposed in this submission utilizes a longer term "permanent interim housing" model which we strongly believe is a win-win solution for the CD-5 providing a much more dignified housing for the residents and a design which is much better visually for the neighborhood.

Please note that this proposal is based on the separate parcels with the diagonal easement through the south parcel. Although this existing site easement limits the number of units, we believe the proposed design uses the site well to provide a first of it's kind, long term interim housing project in Los Angeles area. The LifeArk ensuite interim plans provide each residents with a dignified housing they deserve.

Included in this proposal package is the following 3 documents:

1. Volume 1- PDF report slides focused on concept design of the project geared for your internal design review and for the community engagement programs and virtual townhall.
 - Slides are formatted to be used as a presentation slides. If needed, you can print each slides as a large presentation panels. If necessary, we will be happy to arrange for a professional printing and board mounting.
 - LifeArk team will be available to make any zoom or in-person presentation to the CD5 team and or to the public.
2. Volume 2- PDF budget report for your internal use covering the budget with inclusions and exclusions.
3. Volume 3- PDF report compiled for preliminary submission to the City for review and meeting.
 - Site plan sheet covering the CD-5 project description and key architectural summary for the city team to understand the scope of the project.
 - Preliminary HCD cover sheet with project description and all applicable compliance with code and HCD Factory Built Housing program. This will be an important information for the city team to assess the code compliance issues relating to the project.

Please let us know if you have any questions. We are excited for the opportunity to share LifeArk's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,



Charles Wee
CEO – LifeArk SPC

Site Information

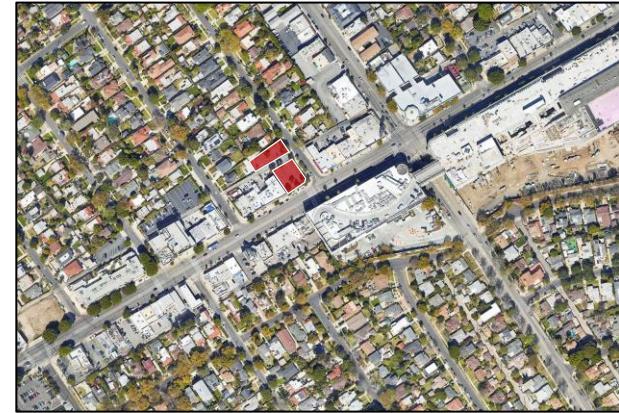
Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Existing City Parking Lot
- Located at the corner of W. Pico and Midvale split by an alley



Illustrative Context Site Plan



Project Context Map



Site

Design Concept

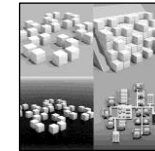
1. Lifeark's smaller 8' x 8' module footprint allows for a much more flexible massing articulation on a tight and difficult site compared to a larger, longer modular units.
2. Articulated sawtooth mirrored massing split by a diagonal easement provides an opportunity to create a dynamic, human-scale green pedestrian promenade connecting the project from North to South.
3. Lifeark modules are elevated at 28" above grade to provide an essential utility chase space, saving substantial sitework costs. At the same time, the elevated ensuite residential units connected by an upper deck provides privacy to the residents with easy access to the public community courtyard at ground level.
4. Lifeark modules are clad with horizontal slats with growing green vines to provide a lush landscaped courtyard and pedestrian promenade.
5. Continuous pedestrian circulation pathway connects staff and handicap parking to the ramp to the ADA ensuite units with the admin/office building to the south community through the green promenade all the way to the entry gate at the Pico Blvd.
6. Covered central courtyard with tables, chairs surrounded by a green walls will provide an eating and gathering space for the residents.
7. Enclosed large pet park is located at the NE corner of the promenade.
8. Storage bins for each residents are located at the SW corner of the site as well as a storage module at the NE corner behind the ADA units for the property manager and the service staff.
9. Four laundry modules (blue) are evenly distributed at each neighborhood for easy access and use.
10. Handicap and staff parking space as well as a trash enclosure are provided with access from the alley.
11. Both parcels are enclosed by a security fence with two entry and exit points. (Design of the fence for the rendering shows an open fence to illustrate the transparency of the spaces inside but more secure vertical fence can be designed.)
12. Each Ensuite unit is provided with a full private bathroom and a closet. All units are equipped with full MEP fixtures and fire sprinklers including a mini-split air conditioning and heating as well as high quality finishes at the level of permanent housing. (See unit specifications)



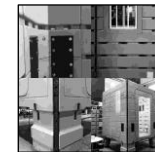
Kit-of-parts



Figure ground showing articulated massing



Massing variations



Modular parts



Utility chase



Site Plan



Courtyard



Green Promenade



View from Alley



Pico Entrance



Dog Park

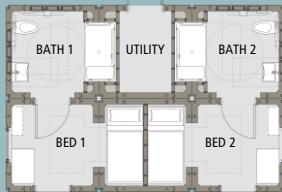


Bird's Eye View

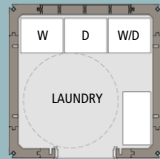
Module Plan



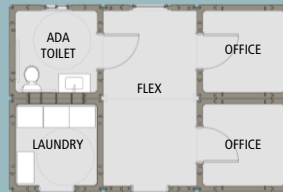
Ensuite Unit (134 SF)
2 modules



ADA Ensuite Unit
(200 SF) 3 modules
(Illustration shows double unit)



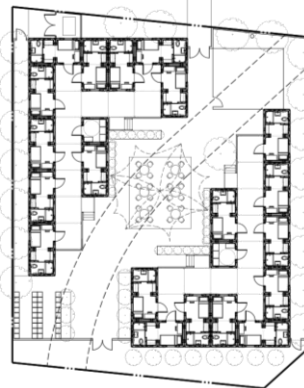
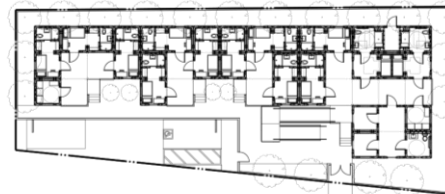
Laundry Unit (67SF)
1 module



Admin/ Office (400 SF)
6 modules

Lifemark Module Plan Concept

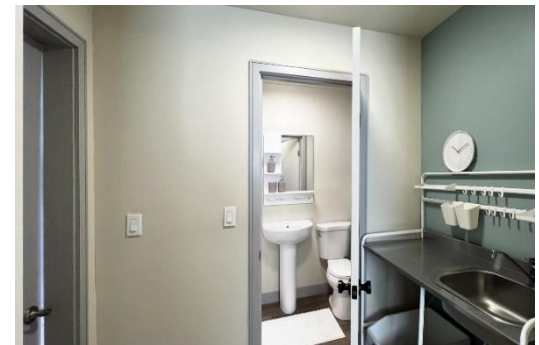
1. Lifemark models used in the Hope Pavilion project has been approved by HCD under a Factory Built Housing program as a permanent housing.
2. For the Hope Pavilion project, Lifemark will submit the entire project as a single R2 congregant housing project.
3. Lifemark will work with the city for other necessary permits required.
4. Each of the model plans shown above will be completely built-out with finishes and fixtures to a permanent housing specifications including a fire sprinkler system.
5. Modules will be manufactured, factory assembled under HCD program then transported to the site for final assembly and completion.
6. Lifemark has a documented lifespan of over 50 years and an appraised lifespan of 35 years by the bank.
7. Each ensuite unit is equipped with full MEP fit-out including split system A/C-heating and a fire sprinkler system.
8. Each unit interior is finished with high quality material and fixtures.



* Optional solar panel can be installed



Lifemark Single Module



Ensuite Unit Interior



Ensuite Unit Exterior Example

Site Plan



Bird's Eye View

Project Summary

| Site Area | | | | Acre | | SF | |
|------------------|------|-----------|---------|---------|--------|------------|--------------|
| | | | | 0.38 | | 16,340 | |
| | Mods | Total | SF/Unit | # Units | # Beds | Total Beds | Total SF |
| Ensuite Unit | 2 | 62 | 134 | 31 | 1 | 31 | 4,154 |
| Ensuite ADA Unit | 3 | 6 | 200 | 2 | 1 | 2 | 400 |
| Deck | | | | 32 | | | |
| Laundry | 1 | 3 | 67 | 3 | | | 201 |
| Admin/ Office | 6 | 6 | 400 | 1 | | | 400 |
| Total | | 77 | | | | 33 | 5,155 |



CPRA-15-BOE-000046

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK





Bird's Eye View
CP RA-15-BOE-000047

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 15-BOE-000048

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye View 15-BOE-000049

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Central Courtyard
CPRA-15-BOE-080050

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Green-Vision Camille BOE 0000051

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Dog Park CPRA-15-BOE-000052

HOPE PAVILION

PICO/MIDVALE SITE INTERIM HOUSING

COUNCIL DISTRICT 5 CITY OF LOS ANGELES

LIFEARK



Bird's Eye Context View



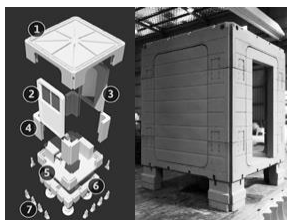
View of Hope Pavilion from the Alley

View of Hope Pavilion Entry from Pico Blvd



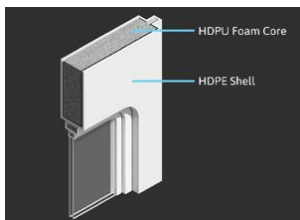
CPRA-15-BOE-000053

WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 28" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse



NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows LifeArk to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills



NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolders around the world
- Most common plastic processing process but never been used in the housing construction industry



FACTORY ASSEMBLY & TRANSPORT

- Certified under CA HCD (Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site



SITE ASSEMBLY

- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

LifeArk Community Making By Design



From a single shelter module to community cluster, LifeArk can grow to become a larger village with communal spaces for all

LifeArk Emergency Shelter Deployment Process



Rotomolding

Transport

Stockpile

Factory Assembly

Site Deployment

Site Assembly

Completion

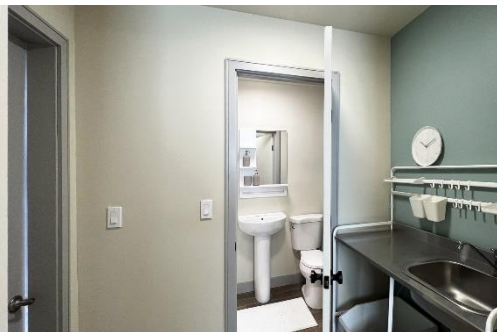
LifeArk's Essential Cost and Time Saving System



Simple foundation system that can be anchored to any surface including compacted soil, asphalt, or concrete

High under module chase space allows for all utilities to run under the crawl space and omit any expensive trenching

Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections



* Lifeark project photos for illustration only. Not for this project.

LA County Housing Innovation Challenge award-winning project

- 19-unit permanent supportive housing in El Monte, CA utilizing project-based vouchers
- 18 units for previously homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



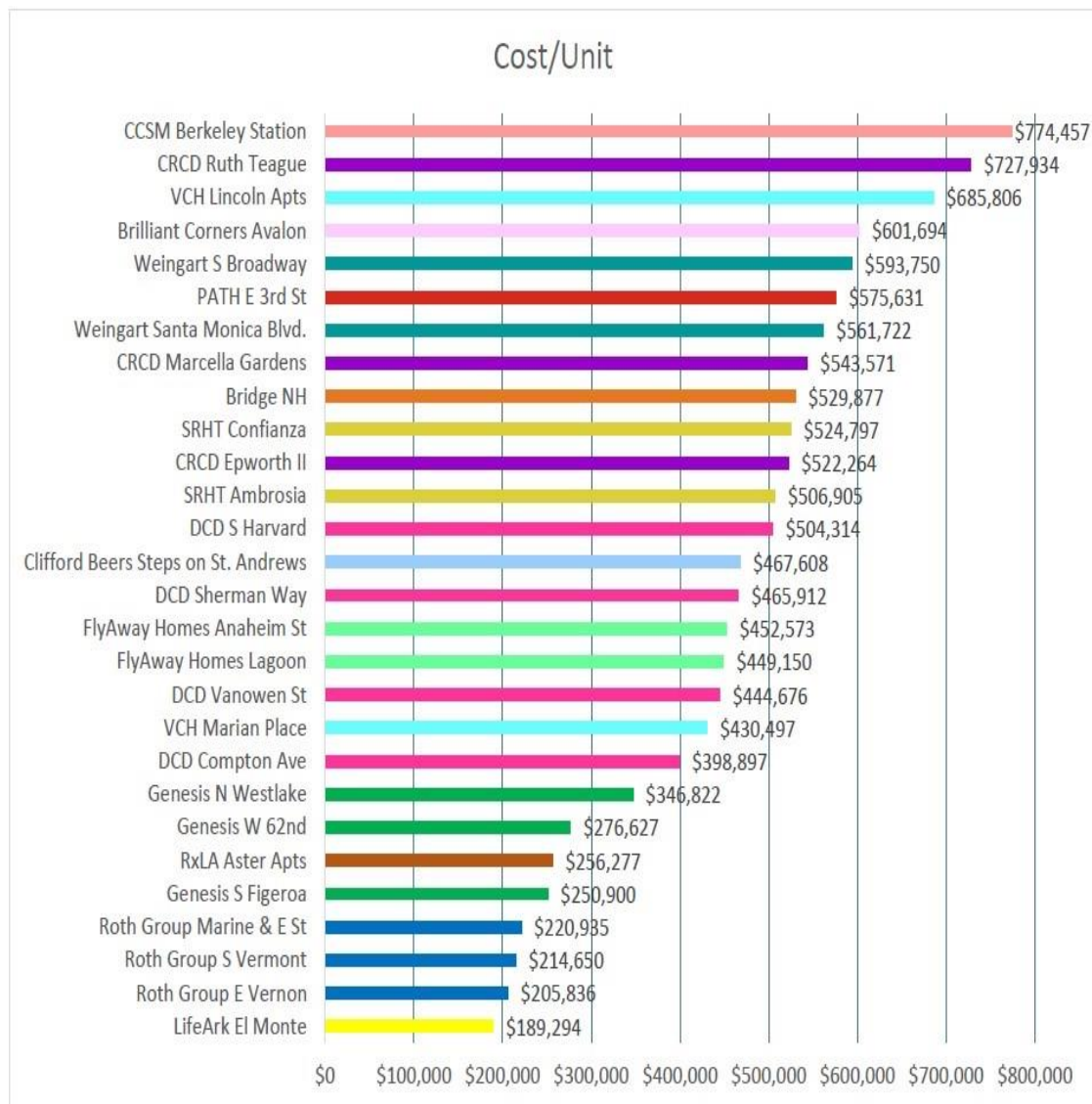
Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 **permanent supportive housing** projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit





HOPE PAVILION

INTERIM HOUSING DEVELOPMENT PROPOSAL VOLUME 2- BUDGET
PICO & MIDVALE WLA SITE

Submitted to Council District 5
June 2023

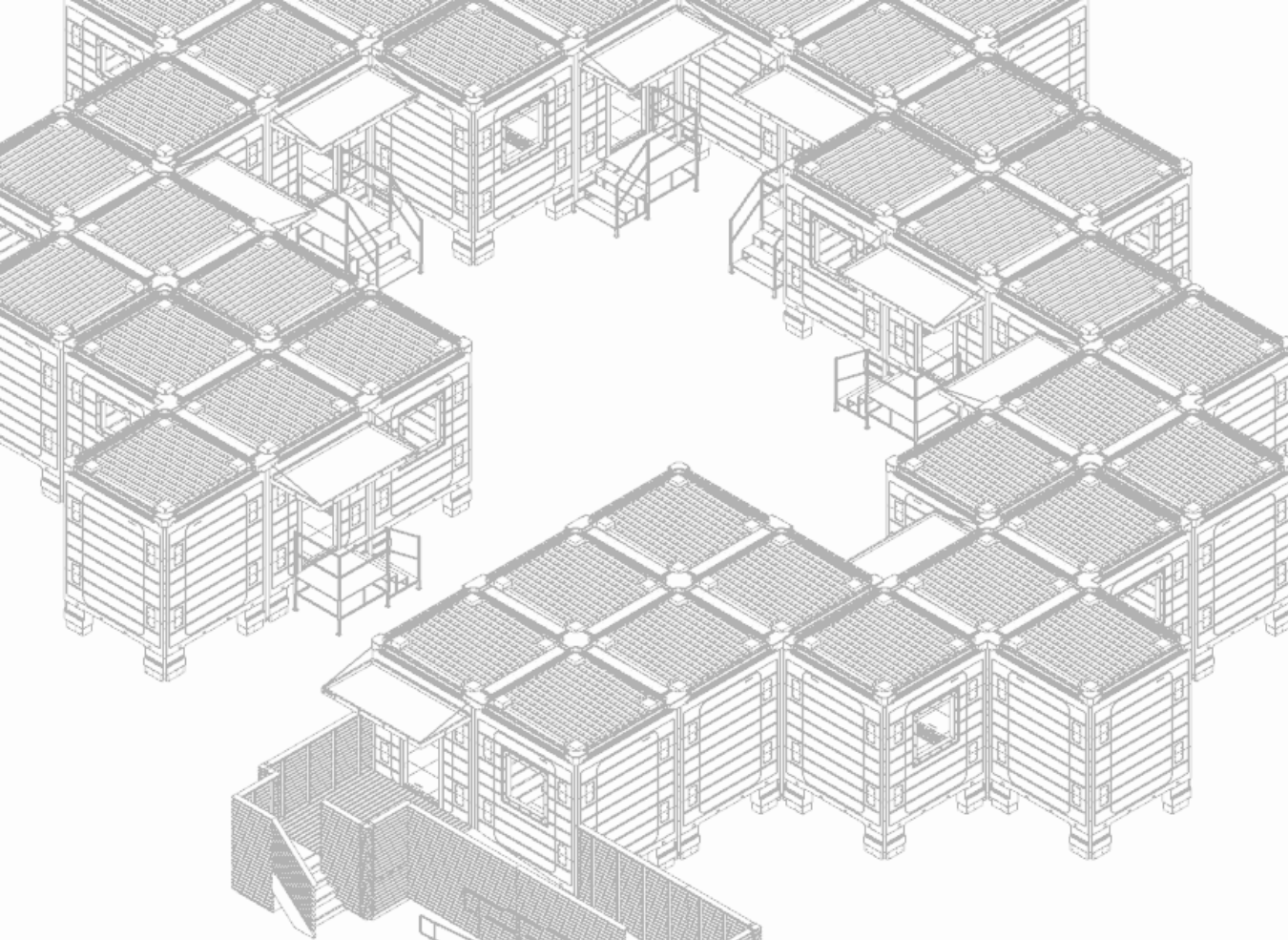
| Lifeark Model | SF/ Unit | Units | Total SF | Cost/ Unit | Total |
|--------------------|----------|-----------|--------------|------------|-----------------------|
| Ensuite Unit | 134 | 31 | 4,154 | \$ 47,000 | \$ 1,457,000 |
| ADA Ensuite Unit | 200 | 2 | 400 | \$ 62,000 | \$ 124,000 |
| Deck | 0 | 33 | 0 | \$ 4,000 | \$ 132,000 |
| Laundry Unit | 67 | 4 | 200 | \$ 25,000 | \$ 100,000 |
| Admin/ Office Unit | 400 | 1 | 400 | \$ 150,000 | \$ 150,000 |
| | | | | | |
| Total | | 33 | 5,155 | | * \$ 1,963,000 |
| Cost Per Bed | | \$59,485 | | | |

*** All-In Lifeark Costs including:**

1. Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)
2. Fully fitted out admin/office unit.
3. Laundry unit ready to hook up to a washer and a dryer.
4. Decks and railings (stair and ramps not included)
5. Off-The-Shelf (OTS) modular units are 90% completed when they arrive to the site. Units come with the insides finished with paint, flooring, MEP finishes, doors, and hardware. The last 10% includes connecting the units, anchoring to foundation, utilities hookup to mods & main site, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.
6. Units include mechanical HVAC mini-splits.
7. Module staging and on and off loading at the site is included.
8. Module assembly on-site and final testing.
9. A/E for all Lifeark HCD models.
10. HCD certification, permit and inspection fees

Exclusions:

1. Site work including grading, paving, gates and fences. We expect site costs to be minimized since utility connections from each unit will run above ground in the crawl space.
2. Landscaping, hardscaping, irrigation and common area amenities.
3. Stairs and ramps
4. Any demolition, repairs and/or improvements to the existing structures.
5. All city utilities including sewer, power, gas and storm drain work.
6. All trenching and repairs to the sidewalks.
7. Utility connections on site to module stub down points of connections
8. Final testing of all systems
9. Cost of land, construction financing, taxes, city fees.
10. All Permit costs including any costs for Street use, SFFD, excludes SMP and SWPPP plans.
11. A/E for the city related work.
12. The costs of testing and inspection including costs for trade permits and inspection.
13. Utility Fees, Account Setup, Power Poles, Transformers, Conductors, Etc. By Owner.
14. The handling and removal of any hazardous material is excluded.
15. The removal of any underground obstacles not shown is excluded.
16. All main power connection costs to connect to the switchgear are excluded (Paid by Owner).
17. Low Voltage Tele/Data, WiFi.
18. All Owner provided FF&E.
19. Costs for storing, double-handling or trucking owner supplied materials.
20. Appliances and furniture/
21. Central fire alarm system, PV system, emergency generator, site lighting.
22. Fire truck access.
23. Fire hydrants or other fire department improvements.
24. Owner's GL Property Insurance



LifeArk™

HOUSING REIMAGINED

www.lifeark.net
CPRA-15-BOE-000062



Marina Quinonez <marina.quinonez@lacity.org>

(DRAFT) Midvale Interim Housing Project Motion review

3 messages

Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 23, 2023 at 11:48 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>

BOE rockstars:

Happy Friday! Reaching out because we have begun drafting the motion ([link here](#)) to formally initiate the development of 2377 Midvale into an interim housing facility.

While I will note that neither the modular vendor nor the service provider has been formally selected yet, decisions will be made in the very near future.

As such, our office would greatly appreciate a preliminary review of the **draft moving clauses**, particularly the one regarding BOE selecting a contractor, to ensure that the motion is giving the correct directions.

In addition to your team, it is our intent that the City Attorney, CAO, GSD, and CLA all ultimately review the file prior to its introduction.

Thank you so much for your assistance with this request, and hope y'all have a great weekend!

Cheers,

Zack

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jun 23, 2023 at 12:31 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

We need to identify BOE's role for the project and our process, this will help you draft the motion, please confirm/clarify that this is what you understand and concur with:

1. Once a vendor is selected, a final feasibility study will be done with a rough order of magnitude (ROM) that considers the site improvements, the cost for the vendor, soft cost, inspections, etc.. This will establish your project budget. This task will take about two weeks.

2. BOE will need to bring on a design consultant to design the site with the selected vendor and coordinate all necessary disciplines such as civil, electrical, and mechanical engineering. The fees for a design consultant will need to be assessed once a vendor is selected. Funding will need to be in place so that BOE can issue a notice to proceed, we

CPRA-15-BOE-000063

currently have access to a fund for contractual services with the CAO, if approved, we can issue notice to proceed quickly. Once assigned, a design-build set can be prepared in 4 to 6 weeks.

3. Is your intention for BOE to negotiate directly with a contractor or to go through a bid and award process? It is my understanding that the Emergency Declaration was only extended for 30 days, will we still be able to sole source once you are ready to move forward?

We currently have a prequalified list of 5 general contractors for the homeless program, we can bid a design-build project within 5 to 6 weeks.

Once you provide feedback, we can include language in your draft motion. Jose and Erik, please add anything I might have left out.

Thanks

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 23, 2023 at 1:58 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Jose FUENTES

<jose.fuentes@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>

Marina:

As per usual, thank you for the incredibly insightful and clear comments. This proposed course of action sounds excellent.

I can now confirm that the Councilwoman and our office, thanks in no small part to your guidance, will be moving forward with LifeArk as the vendor. We are going to keep this information exclusively internal for the time being (and we'll be notifying them, Connect Homes later today). A few follow-up items, though:

I. Final Feasibility Study: What do we need to do to initiate that process? Should a BOE/CAO/LifeArk/CD5 meeting be scheduled for sometime in the next 1-2 weeks?

II. Sole Sourcing: Our desire would be for BOE to negotiate directly with a contractor. Our understanding is that while the state of emergency is set to expire in July, the initial order includes a September 1 deadline for the waiving of contracting processes. But moreover, the Council recently approved the drafting of new Municipal Code language ([CF: 23-0652](#)) that will enhance the Mayor's ability to continue a Homelessness emergency declaration (and the attendant provisions around sole sourcing), which will likely be voted on and approved (and then triggered) prior to the expiration of the current declaration.

III. LifeArk, site assembly: Earlier in the process, LifeArk preliminarily engaged us about the prospect of handling a substantial amount of the sitework/site assembly. As part of the formal kickoff with LifeArk, a conversation around their capacities would be useful.

Really, really excited to see this project becoming real!

- Zack

CPRA-15-BOE-000064

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

[CD5 Midvale Homeless Housing] Pad Footing Calculations

8 messages

Nathan Ho <nathan.ho@lacity.org>

Wed, Sep 6, 2023 at 10:29 AM

To: Hok Chi Chiu <hokchi.chiu@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hok Chi,

Hope you're well. Please find attached the pad footing design concept and calculations for your review. We need to confirm placement and anchoring by Thursday. Could you review these calculations and design ASAP?

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



RST#23173- 2023.09.05 - GDS - CD5 2377 Midvale - Pad footing concept Design Calcs.pdf
908K

Hok Chi Chiu <hokchi.chiu@lacity.org>

Fri, Sep 8, 2023 at 3:22 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Hi Nathan,

Sorry, I forgot to send it out earlier today.

These are our assumptions and determination based on the submitted package.

Assumption:

- Construction of the storm drain is consistent along the public right-of-way and within the subject lot.
- Decision is based on the proposed pad design. Determination will NOT be invalid if foundation is different and further review is required.

Determination:

Based on the above assumptions, we believe the proposed is feasible and no significant load would be imposed on the existing storm drain. This determination only limits the proposed tiny home and not for the proposed removable deck.

[Quoted text hidden]

--

Best regards,

Hokchi Chiu, SE., CCM, LEED AP
Central District | Structural Engineer

Bureau of Engineering | Department of Public Works

201 N. Figueroa St., 3rd Floor

CPRA-15-BOE-000066

Los Angeles, CA 90012

Mail Stop 503

O: (213) 352-4827

ENGINEERING



The Bureau of Engineering (BOE) has a new online Customer Service Request (CSR) application to receive all inquiries and requests that do not already have an avenue for submission in other BOE web applications. These include requests for clearances related to City Planning or LADBS building permits.

The CSR application, and all other BOE applications, are accessible through our online portal, which can be found at <http://engpermits.lacity.org/>.

The normal response time for CSR requests is one to three days, with a maximum of about a week during unusual periods. Requests are taken in the order received and are monitored closely to ensure that all are responded to. You will be notified by email when there is a response and can log in any time to check the status. In order to serve you better, requests and questions are no longer accepted via phone or email.

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Sep 8, 2023 at 4:09 PM

To: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Nathan, please obtain concurrence from LASAN, once they agree, we can move forward.

Thanks

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Fri, Sep 8, 2023 at 4:51 PM

To: Kwasi Berko <kwasi.berko@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>

Good afternoon Kwasi,

BOE structural reviewed the design for the Midvale homeless housing project at [2377 Midvale Ave](#) and confirmed the following:

Based on the above assumptions, we believe the proposed is feasible and no significant load would be imposed on the existing storm drain. This determination only limits the proposed tiny home and not for the proposed removable deck.

Could you confirm LASAN has no issues with the proposed layout?

Thank you,

CPRA-15-BOE-000067

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



On Fri, Sep 8, 2023 at 3:23 PM Hok Chi Chiu <hokchi.chiu@lacity.org> wrote:
[Quoted text hidden]

3 attachments



RST#23173- 2023.09.05 - GDS - CD5 2377 Midvale - Pad footing concept Design Calcs.pdf
908K



LifeArk Layout Sheet - CD5.pdf
2387K



Tract Letter - 2377 Midvale Ave - Muni Lot 707 - 07-28-2023 - Final (1) (1).pdf
123K

Nathan Ho <nathan.ho@lacity.org>

Mon, Sep 11, 2023 at 2:18 PM

To: Kwasi Berko <kwasi.berko@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>

Hello Kwasi,

Following up on this inquiry. Please let us know ASAP.
Your concurrence is needed for us to be able to send our ROM estimate to the Council Office.

Thanks,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Sep 13, 2023 at 10:43 AM

To: Nathan Ho <nathan.ho@lacity.org>, Kwasi Berko <kwasi.berko@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Gary Gero <gary.gero@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>

Hello Kwasi,

CPRA-15-BOE-000068

Following up on this request for concurrence. CD 5 is planning to proceed with a motion next week, your prompt attention would be appreciated.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Clint Menk <clint.menk@lacity.org>

Wed, Sep 13, 2023 at 10:59 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Kwasi Berko <kwasi.berko@lacity.org>, Azya Jackson <azyajackson@lacity.org>

Nathan,

LASAN is OK with the proposed layout presented in your email to us on September 8, 2023, provided that the project satisfies Condition 2 described in the memo to BOE Permit Case Management on July 28, 2023 (also attached in your previous email).

Excerpt of Condition 2 from the Memo:

No structure shall impart a load onto the City's storm drain pipe or sewer pipe. The plans shall be reviewed and signed-off by a Bureau of Engineering Structural Engineer.

Thank You,

[Quoted text hidden]

--

Clint Menk, P.E.

Environmental Engineer
LA Sanitation and Environment
Clean Water North Conveyance Division
Phone: 323-342-6034
Email: clint.menk@lacity.org
Web: www.lacitysan.org



Nathan Ho <nathan.ho@lacity.org>

Wed, Sep 13, 2023 at 11:04 AM

To: Clint Menk <clint.menk@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Kwasi Berko <kwasi.berko@lacity.org>, Azya Jackson <azyajackson@lacity.org>

CPRA-15-BOE-000069

<azya.jackson@lacity.org>, Gary Gero <gary.gero@lacity.org>

Thank you for the confirmation, Clint.

Regards,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](#)
Email: nathan.ho@lacity.org



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale - LASAN Encroachment Letter

11 messages

Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 31, 2023 at 11:11 AM

To: Ahmed Amarragy <ahmed.amarragy@lacity.org>, Bestun Rashid <bestun@rstavares.com>, Clint Menk <clint.menk@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, jdlilworth@lifeark.net, Marina Quinonez <marina.quinonez@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rafael Yanez <rafael.yanez@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Saul Garcia <saul.garcia@lacity.org>

Team,

Please see attached the letter referenced in today's meeting.

Regards,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



 **Tract Letter - 2377 Midvale Ave - Muni Lot 707 - 07-28-2023 - Final (1).pdf**
123K

Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 31, 2023 at 11:29 AM

To: Ahmed Amarragy <ahmed.amarragy@lacity.org>, Bestun Rashid <bestun@rstavares.com>, Clint Menk <clint.menk@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, jdlilworth@lifeark.net, Marina Quinonez <marina.quinonez@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Paul Cho <pcho@lifeark.net>, Rafael Yanez <rafael.yanez@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Saul Garcia <saul.garcia@lacity.org>

Team,

Attached are as-built drawings for the site. Please also consult [NavigateLA](#) where all of these record drawings are accessible.

Regards,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

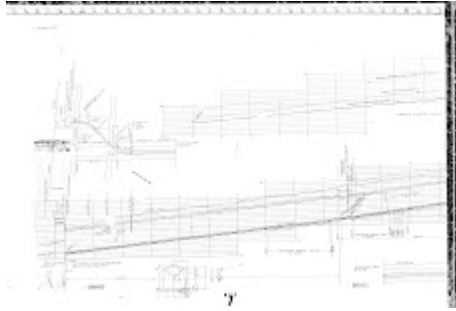
Phone: 213 485 4428

Email: nathan.ho@lacity.org



CPRA-15-BOE-000071

2 attachments



UNL-28962 (7).tif
1002K



Lot 707 plan phase 2 1992 set.pdf
6836K

Charles Wee <cwee@lifeark.net>

Mon, Jul 31, 2023 at 3:37 PM

To: Nathan Ho <nathan.ho@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Hi Nathan and Marina,

Thanks for arranging the call with the team.

We will look at the drawings you sent closely. Looks like this is more accurate info but we will need to locate this drain accurately. Especially the location of the bottom of the arch which will determine how deep our foundation will have to be. Did Rafeal mention he knows how deep the foundation is? This will be a priority information to gather for us to propose foundation design options to show you guys. For the preliminary design, I will assume a 90" wide and high arch with the top of arch 24" under the grade which will put the bottom of the drain at 114" (9'-6")

Based on our discussion, we will revise the siteplan to get as far from the easement as possible. Using the lift and getting rid of a parking space will help. I don't think it's a good idea to mess with the catch basin but it will help if we can get rid of it. It won't make sense if we have to put it back after 10 years. I will for now assume we have to keep it and see how the siteplan shakes out. We will keep the current siteplan for the community event Thu.

Thanks,
Charles
213-324-7228



On Mon, Jul 31, 2023 at 11:31 AM Nathan Ho <nathan.ho@lacity.org> wrote:

Charles, please see below.

Regards,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Aug 1, 2023 at 9:10 AM

To: Nathan Ho <nathan.ho@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Good morning Nathan and Marina,

See attached. We had a rough look at the drain situation from an assumed sectional perspective and it doesn't look good. From this exploration, what I said yesterday with a zone of impact will be 30' across the drain route is true and not 12' which is already bad enough. We will need to look at an alternative. I am having RST look at comparing the design of the current parking lot for all vehicle traffic vs the weight impact of LifeArk modules. If it can survive cars and trucks coming in and out for decades, it should certainly take load of LifeArk. We can also submit an alternate temporary foundation system using an asphalt anchor directly on the asphalt to maybe not use a concrete pad altogether.

Thanks,
Charles
213-324-7228



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230801 cd-5 2377 midvale SECTION-progress.pdf
842K

Zachary Warma <zachary.warma@lacity.org>

Tue, Aug 1, 2023 at 10:41 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Nathan Ho <nathan.ho@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Gary Gero <gary.gero@lacity.org>

Charles:

Thanks so much for sharing these findings.

From CD5's perspective, the contemplated 30' zone of impact is an absolute non-starter, and very frankly a project killer. It's yet another reason why we see that comparison of the weight of the vehicles vs. the modules as such a critical data point. Perhaps a reductive comment, but we fail to see the logic behind preventing an object *lighter* than a moving automobile from being placed securely on the site.

Please let us know as this information becomes available.

And thank you to everyone on this thread for all of your incredible work to date!

- ZW

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--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Aug 1, 2023 at 12:46 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Charles, your zone of influence depends on the layout and calculations, let's finalize those things and sit with the Structural team as soon as possible. I'm sure we can compare the units and the car load, just keep in mind that your units will be a constant point load versus cars that come and go during the hours of operation of the lot, not certain if the lots are open 24 hours.

I think the asphalt anchoring would be the best path forward, we would eliminate the surcharge on the pipe during construction.

We are currently reaching out to cctv the pipe to verify it's in good condition.

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



On Tue, Aug 1, 2023 at 9:10 AM Charles Wee <cwee@lifeark.net> wrote:

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Aug 1, 2023 at 2:20 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Hi Marina,

Agreed. We will proceed with the asphalt anchoring as a most probable option. Does BOE have any criteria for temporary foundation? Is there anything you can share on the foundation system from other tiny home projects built on asphalt? I think LifeArk modules will be lighter or comparable to Pallet shelter in weight.

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Aug 1, 2023 at 2:38 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Charles, we have a standard plan that has already been approved by LADBS, please see attached file. You would need to provide similar information.

[Quoted text hidden]

CPRA-15-BOE-000074

[Quoted text hidden]

2 attachments



Sleeping Cabin Structural Drawings_LADBS Plan Check.pdf
1170K



E1908757 Sleeping Cabin Calculation 10.13.20.pdf
2701K

Charles Wee <cwee@lifeark.net>

Tue, Aug 1, 2023 at 2:45 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Thanks Marina,

This is great! Thank you. We will review and get back to you if we have further questions. I am sure we can provide the structural design and calcs similar to this. So if we go this route, can we basically build anywhere or do we still have to deal with the easement?

Thanks,

Charles

213-324-7228

 LifeArk™

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Aug 1, 2023 at 2:53 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

We need to meet with Structural but it will certainly be better than the 1:1 requirements since there is no soil disturbance. Let me know once you are ready for a preliminary meeting with LADBS.

[Quoted text hidden]

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Aug 1, 2023 at 2:58 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>

Got it! We will review the standard design with RST and get back to you with the meeting request with LADBS.

Thanks,

Charles

213-324-7228

 LifeArk™

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale Ave Tiny Home Village Proposal - LifeArk

3 messages

Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 2, 2023 at 12:05 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina, Erik, Annabelle, Kendra, and Ed:

Please find attached herein the proposal from LifeArk for the [2377 Midvale Avenue](#) Tiny Home Village project.

I have already added the proposals to the calendar invite for 6/14; I will note that LifeArk intends to transmit next Wednesday a project scope sheet that will contain the information related to code compliance and HCD approval cover page.

Please let me know if you would like me to transmit the file to any additional individuals at this moment, or if one of you will want to circulate it to the other departments.

I will also furnish the Connect Homes proposal once it has been received.

Thank you all so much!

- Zack Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



CD5-Hope Pavilion-final.pdf

6852K

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jun 2, 2023 at 2:26 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

I will forward this to LADBS and LAFD.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org

CPRA-15-BOE-000076



[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Wed, Jun 7, 2023 at 11:40 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina and team:

Please find attached a project scope sheet prepared by LifeArk.

If you don't mind circulating the file, I will also save it to the 6/14 meeting invite.

Cheers,

Zack

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 **CD5-2377 Midvale-CLA-pre-submission-final.pdf**
4018K



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale LADOT Lot 707 - Topo Files

2 messages

Nathan Ho <nathan.ho@lacity.org>

Tue, Sep 12, 2023 at 4:26 PM

To: Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Hi Gary and Zach,

My apologies that I didn't get your message until now because I'm off of work today. Please find attached a zip file with the requested documents.

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



 **recd52377midvaleladotlot707topofiles (1).zip**
1773K

Gary Gero <gary.gero@lacity.org>

Tue, Sep 12, 2023 at 4:48 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Thank you!

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale LADOT Lot 707 - URGENT Revocable Permit

28 messages

Nathan Ho <nathan.ho@lacity.org>

Thu, Jul 27, 2023 at 1:03 PM

To: Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>

Good morning Rowena and Spencer,

I am reaching out to you with an urgent request for a revocable permit at 2377 Midvale LADOT Lot 707 to encroach into the 12' storm drain easement. This encroachment will be for temporary installation of homeless housing. The council district wants to start outreach, and they need a number of units to be set.

The housing units will be on an in-ground footing. Could you advise what information you need from us for the permit? Also, how deep is the pipe and can it take a surcharge load?

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

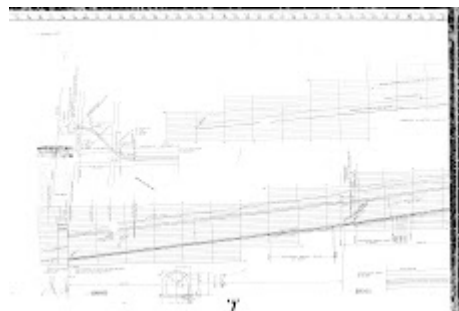
Phone: 213 485 4428

Email: nathan.ho@lacity.org

ENGINEERING



2 attachments



UNL-28962 (7).tif
1002K



Lot 707 plan phase 2 1992 set.pdf
6836K

Spencer Yu <spencer.yu@lacity.org>

Thu, Jul 27, 2023 at 1:40 PM

To: Than Win <than.win@lacity.org>

Cc: "Lau, Rowena" <rowena.lau@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Than,

Please assist Nathan.

Thanks,

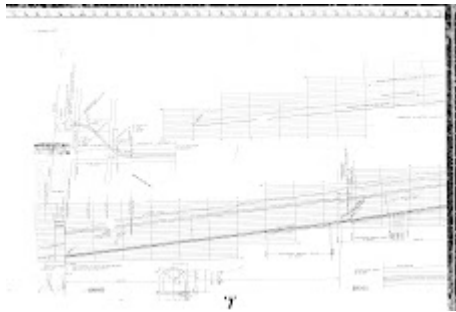
CPRA-15-BOE-000079

Spencer Yu, P.E.

Assistant Division Manager/Sr. Environmental Engineer
LA Sanitation and Environment
Wastewater Engineering Services Division
Phone: 323-342-6233
Email: spencer.yu@lacity.org
Web: www.lacitysan.org



[Quoted text hidden]

2 attachments

UNL-28962 (7).tif
1002K



Lot 707 plan phase 2 1992 set.pdf
6836K

Than Win <than.win@lacity.org>

Thu, Jul 27, 2023 at 2:04 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Azya Jackson <azyu.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>

Hi Nathan,

2377 Midvale lot is north of Alley. I believe you are planning to develop the highlighted lots below which have 12 ft SD easement.



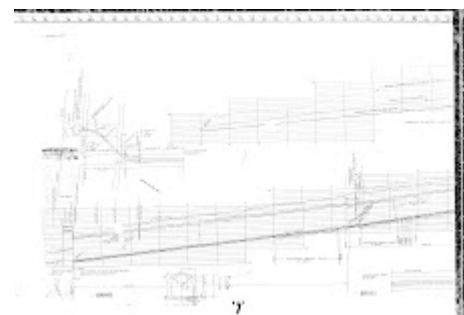
Please reach out to Oscar Gutierrez (cc here) with WLA District Office to initiate the R-permit review/submittal process. WLA District will review the structural loading analysis.

Based on record plan 28962 attached, the 90-inch storm drain line may be 1 or 2 ft below grades. If you have preliminary layout and detailed foundation plans for housing units, please forward to us.

Than Win, P.E.
 Civil Engineer
 LA Sanitation and Environment
 Wastewater Engineering Services Division
 Phone: 323-342-6268
 Email: than.win@lacity.org
 [Quoted text hidden]

[Quoted text hidden]

2 attachments



UNL-28962 (7).tif
 1002K



Nathan Ho <nathan.ho@lacity.org>

Thu, Jul 27, 2023 at 2:34 PM

To: Than Win <than.win@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>

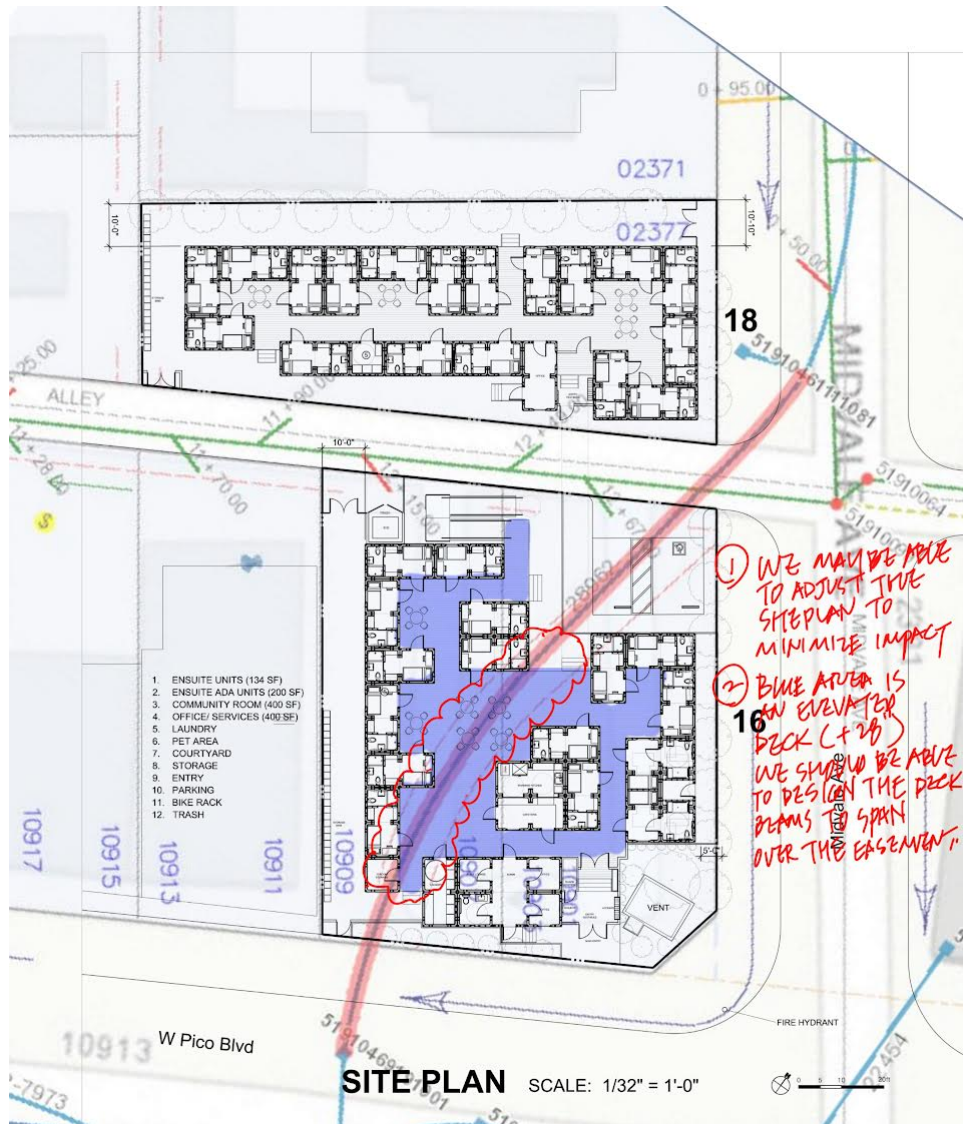
Cc: Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez

<marina.quinonez@lacity.org>, Azya Jackson <azyja.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>

Than,

Thank you for the response. Please find below the preliminary site plan. This is still not finalized and can still be adjusted. Detailed foundation plans are not available yet. Foundation loading is to be determined.

Oscar, do you have any initial feedback I should convey to our design team?



Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

CPRA-15-BOE-000082

[Quoted text hidden]

Oscar Gutierrez <oscar.gutierrez@lacity.org>

Thu, Jul 27, 2023 at 2:50 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azyajackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragozo <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Nathan,

Looks like there are a few emails regarding this project. Below is the response that I sent to Gary Gero (adding now.)
I don't think a Revocable permit will be needed unless you are encroaching in the right of way.

.....

Thank you for taking my call.

It sounds like you are at the preliminary stages of this project and do not have LADBS permits yet.

Your project consists of temporary lightweight prefabricated homes, made from primarily plastic and foam, that you would like to install over a city storm drain. (link below)

<https://lifeark.net/homeless-housing>

The typical process for constructing over an easement would require:

1. Pre and Post CCTV of the storm drain (cctv permit issued by Darin Lam of West LA)
2. Review of the project and CCTV video by Sanitation (Rafael Yanez is the primary contact)
3. Structural review by BOE Central District (Hok Chi's group would review)
4. the recordation of a waiver of damage and acknowledgement of easement (might not be needed for lightweight temporary housing being constructed on a City owned lot by the City.) (Darin Lam of West LA would process if applicable)

A revocable permit would not be needed for the purpose of constructing over the easement

I hope that this helps give a rough outline of the process.

If you have any questions, feel free to reach out

Oscar Gutierrez, P.E.

West Los Angeles District | Civil Engineer

Bureau of Engineering | Department of Public Works

1828 Sawtelle Blvd., 3rd Floor

Los Angeles, CA 90025

Phone: (310)575-8388 |

Greetings:

The Bureau of Engineering (BOE) has developed a new online Customer Service Request (CSR) application to assist constituents with anything related to BOE permits or processes and clearances for LADBS building permits. Please go to the BOE Customer Portal, [HERE](#) to submit your request.

In order to submit a request, all customers must register or log in to the Customer Portal.

Beginning January 25, 2021, all such requests must be submitted to the CSR, as BOE staff will no longer respond to questions or requests received by the BOE general office email or telephone numbers.

Thank you,

West LA District Office

CPRA-15-BOE-000083

[Quoted text hidden]

Oscar Gutierrez <oscar.gutierrez@lacity.org>

Thu, Jul 27, 2023 at 2:57 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Darin Lam <darin.lam@lacity.org>

Adding Hok Chi and Darin

Oscar Gutierrez, P.E.

West Los Angeles District | Civil Engineer

Bureau of Engineering | Department of Public Works

1828 Sawtelle Blvd., 3rd Floor

Los Angeles, CA 90025

Phone: (310)575-8388 |

Greetings:

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In order to submit a request, all customers must register or log in to the Customer Portal.

Beginning January 25, 2021, all such requests must be submitted to the CSR, as BOE staff will no longer respond to questions or requests received by the BOE general office email or telephone numbers.

Thank you,

West LA District Office

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Thu, Jul 27, 2023 at 4:13 PM

To: Oscar Gutierrez <oscar.gutierrez@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Darin Lam <darin.lam@lacity.org>

Hi Oscar,

Based on the proposed layout, the decking will cover the easement in the clouded area. Do you allow the complete cover of an easement?

Without seeing the details, I don't see the decking as being a significant encroachment. We would probably focus more on the load being transferred from the prefabricated homes.

Hi Hok Chi and Rafael, any added insight from your perspective would be appreciated.

Thanks everyone,

Oscar Gutierrez, P.E.
West Los Angeles District | Civil Engineer
Bureau of Engineering | Department of Public Works
1828 Sawtelle Blvd., 3rd Floor
Los Angeles, CA 90025
Phone: (310)575-8388 |

Greetings:

The Bureau of Engineering (BOE) has developed a new online Customer Service Request (CSR) application to assist constituents with anything related to BOE permits or processes and clearances for LADBS building permits. Please go to the BOE Customer Portal, [HERE](#) to submit your request.

In order to submit a request, all customers must register or log in to the Customer Portal.

Beginning January 25, 2021, all such requests must be submitted to the CSR, as BOE staff will no longer respond to questions or requests received by the BOE general office email or telephone numbers.

Thank you,
West LA District Office

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Nathan Ho <nathan.ho@lacity.org>

Thu, Jul 27, 2023 at 4:48 PM

To: Oscar Gutierrez <oscar.gutierrez@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azyja.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Darin Lam <darin.lam@lacity.org>

Thank you Oscar. I will try to clarify with the vendor if there are any areas where the structures' foundations encroach.

Regards,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

Martin Fragoso <martin.fragoso@lacity.org>

Fri, Jul 28, 2023 at 11:29 AM

CPRA-15-BOE-000086

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Oscar Gutierrez <oscar.gutierrez@lacity.org>, Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Darin Lam <darin.lam@lacity.org>

Hello, I am with the LID group. At this stage of the project, the main area of concern seems to be the revocable permit and the loading on the City line. I can provide a more thorough review once the layout of the structures has been agreed upon. If you have any questions with regards to the LID requirements, please feel free to let me know.

[Quoted text hidden]

--

Martin Fragoso, P.E.
Structural Engineer Associate
Watershed Protection Division | LA Sanitation
Work: 213-482-7066
Counter: 213-482-7066
Mail Stop:
www.lacitysan/LID.org



Hok Chi Chiu <hokchi.chiu@lacity.org>

Fri, Jul 28, 2023 at 1:23 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Darin Lam <darin.lam@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>

Hi Nathan,

In general, we are looking for no additional vertical and lateral load imposed on the existing SD within 1:1 zone of influence from the development.

[Quoted text hidden]

--

Best regards,

Hokchi Chiu, SE., CCM, LEED AP
Central District | Structural Engineer
Bureau of Engineering | Department of Public Works
201 N. Figueroa St., 3rd Floor
Los Angeles, CA 90012
Mail Stop 503
O: (213) 352-4827



The Bureau of Engineering (BOE) has a new online Customer Service Request (CSR) application to receive all inquiries and requests that do not already have an avenue for submission in other BOE web applications. These include requests for clearances related to City Planning or LADBS building permits.

CPRA-15-BOE-000087

The CSR application, and all other BOE applications, are accessible through our online portal, which can be found at <http://engpermits.lacity.org/>.

The normal response time for CSR requests is one to three days, with a maximum of about a week during unusual periods. Requests are taken in the order received and are monitored closely to ensure that all are responded to. You will be notified by email when there is a response and can log in any time to check the status. In order to serve you better, requests and questions are no longer accepted via phone or email.

Nathan Ho <nathan.ho@lacity.org>

Fri, Jul 28, 2023 at 2:43 PM

To: Hok Chi Chiu <hokchi.chiu@lacity.org>

Cc: Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Azya Jackson <azyja.jackson@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Darin Lam <darin.lam@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>

Understood, thank you, Hokchi.

Regards,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



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Azya Jackson <azyja.jackson@lacity.org>

Wed, Aug 2, 2023 at 7:17 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Hok Chi Chiu <hokchi.chiu@lacity.org>, Than Win <than.win@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Darin Lam <darin.lam@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>

Nathan,

The deck and site plan adjustments over the storm drain easement are not negotiable. Limit your intrusion on the easement. Anything over the easement has to be removable at their cost should repairs need to be made. The storm drain is shallow.

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Aug 2, 2023 at 8:14 AM

To: Azya Jackson <azyja.jackson@lacity.org>

Cc: Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Azya,

At the meeting with the vendor, BOE plan check, and CD 5 the consensus was that the site would be laid out to avoid lightweight structures within the easement and foundations would be designed to avoid the 1:1 zone of influence.

We can meet this morning to clarify this matter. We will need resolution before the project is unveiled to the public.

Thank you

Nathan Ho

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--

[Quoted text hidden]

Gary Gero <gary.gero@lacity.org>

Wed, Aug 2, 2023 at 4:30 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Azya Jackson <azyja.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Charles Wee <cwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>

Thanks Nathan. I spoke with Julie Allen today so this is very much in line with our understanding. The project may not have foundations in the stormdrain's 1:1 zone (i.e., if the pipe is six feet deep then you need six feet of clearance on either side) and should avoid to the extent possible encroachment on areas of the easement that are not within this 1:1 zone. I have copied LifeArk here so that they can adjust the plan accordingly. Kindly, Gary



cd5.lacity.gov

Gary Gero

CHIEF OF STAFF

O: (213) 473-7005

C: (213) 473-7005

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Aug 2, 2023 at 9:07 PM

To: Gary Gero <gary.gero@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Azya Jackson <azyja.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Jonathan Dilworth <jdilworth@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Ralph Tavares <ralph@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Curtis Ingersoll <curtis@rstavares.com>, Mohsen Anis <mohsen_anis@hotmail.com>, Richard Chiavetta <rick@rstavares.com>

Hi Gary,

My understanding of the 1:1 zone impact is more severe than this. See attached diagram, if we have to design the foundation to avoid the 1:1 zone, Lifeark units will have to be separated by 28'-6" based on the drain size and depth we got from the old civil drawing. Even to get the building line to 12' easement line, our grade beam will have to be over 10' deep to avoid the 1:1 zone. In conclusion, if we have to follow the 1:1 zone, the normal site layout will not be feasible. If anyone has a different opinion, please let me know. (Copying Lifeark's structural engineering team)

I have been in discussion with our engineers and Marina is to keep the asphalt as is and to design a temporary asphalt anchoring system to avoid the 1:1 all together. We will do the engineering based on this and see how the layout comes out. I believe this is the only way we will be able to get the number above 30 units. This will also save a lot of money on the site construction cost. Will keep you posted.

CPRA-15-BOE-000089

Thanks,
Charles
213-324-7228


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230802-2377 Midvale storm drain impact.pdf
125K

Charles Wee <cwee@lifeark.net>

Thu, Aug 3, 2023 at 6:54 AM

To: Gary Gero <gary.gero@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Jonathan Dilworth <jdilworth@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Ralph Tavares <ralph@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Curtis Ingersoll <curtis@rstavares.com>, Mohsen Anis <mohsen_anis@hotmail.com>, Richard Chiavetta <rick@rstavares.com>, Jae Young Jang <jjang@lifeark.net>, Sung Jin Jang <sjang@lifeark.net>, Min Wook Kang <mkang@lifeark.net>

Hi Gary and team,

My assumptions on the SD were wrong, upon further study and comparison of the old SD civil dwgs with the latest site survey, it's much deeper than originally thought. Based on the BOE survey, the top of SD is about 10' below the grade. (See 1:1 section diagram and siteplan spot elevation check- 2 pages). I don't know what this exactly means, we will look at this with our engineers and get back to you. In the meantime, if any of you can shed any light on this, please let us know.

Thanks,
Charles
213-324-7228


[Quoted text hidden]



230803-2377 Midvale storm drain impact study2.pdf
1360K

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Aug 3, 2023 at 7:25 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Gary Gero <gary.gero@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Jonathan Dilworth <jdilworth@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Ralph Tavares <ralph@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Curtis Ingersoll <curtis@rstavares.com>, Mohsen Anis <mohsen_anis@hotmail.com>, Richard Chiavetta <rick@rstavares.com>, Jae Young Jang <jjang@lifeark.net>, Sung Jin Jang <sjang@lifeark.net>, Min Wook Kang <mkang@lifeark.net>

Charles,

The SD is not 10' below grade, it is very shallow, I believe LASAN mentioned it is 2' to 3' below the finished grade.

I see Azya and Rafael on the thread, I will defer to them.

Marina Quiñónez, AIA
Architectural Division I Senior Architect
CPRA-15-BOE-000090

Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Martin Fragoso <martin.fragoso@lacity.org>
To: marina.quinonez@lacity.org

Thu, Aug 3, 2023 at 7:26 AM

I am currently out of the office. Please contact our general email (san.swplancheck@lacity.org) if you have any questions. Currently I am not certain about the date of my return but as soon as I get back, I will respond to your email in the order received.

--

Martin Fragoso, P.E.
Structural Engineer Associate
Watershed Protection Division | LA Sanitation
Work: 213-482-7066
Counter: 213-482-7066
Mail Stop:
www.lacitysan.org/LID.org <<http://www.lacitysan.org/lid>>

<<http://www.lacitysan.org/>>

<<http://www.facebook.com/lacitysan>> <<http://www.twitter.com/lacitysan>>
<<http://www.instagram.com/lacitysan>>

Than Win <than.win@lacity.org>
To: marina.quinonez@lacity.org

Thu, Aug 3, 2023 at 7:26 AM

I am currently away from the office and will return on Tuesday 8/8/2023. If you need immediate assistance, please contact Spencer Yu at spencer.yu@lacity.org or (323) 342-6233.

--

Than Win, P.E.
Civil Engineer
LA Sanitation and Environment
Wastewater Engineering Services Division
Phone: 323-342-6268
Email: than.win@lacity.org
Web: www.lacitysan.org

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Thu, Aug 3, 2023 at 9:07 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Azya Jackson <azyajackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rafael Yanez <rafael.yanez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Jonathan Dilworth <jdilworth@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Ralph Tavares <ralph@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Curtis Ingersoll <curtis@rstavares.com>, Mohsen Anis <mohsen_anis@hotmail.com>, Richard Chiavetta <rick@rstavares.com>, Jae Young Jang <jjang@lifeark.net>, Sung Jin Jang <sjang@lifeark.net>, Min Wook Kang <mkang@lifeark.net>

Hi Marina,

Thanks for your reply. Yea, that's what I also heard but then I must be looking at the SD drawings wrong? I see clearly on the bottom left corner the elevation of the bottom of the SD is at +162.00 and the survey has the site grade at +181.00? (See attached sketch with larger numbers written in)

Yes, it would be good to hear from the folks at LASAN to clarify this.

Thanks,
Charles
213-324-7228


[Quoted text hidden]



230803-2377 Midvale storm drain impact study2-1.pdf
1460K

Rafael Yanez <rafael.yanez@lacity.org>

Mon, Aug 7, 2023 at 11:46 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Azya Jackson <azyajackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Darin Lam <darin.lam@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Rowena Lau <rowena.lau@lacity.org>, Spencer Yu <spencer.yu@lacity.org>, Than Win <than.win@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Jonathan Dilworth <jdilworth@lifeark.net>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Ralph Tavares <ralph@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Curtis Ingersoll <curtis@rstavares.com>, Mohsen Anis <mohsen_anis@hotmail.com>, Richard Chiavetta <rick@rstavares.com>, Jae Young Jang <jjang@lifeark.net>, Sung Jin Jang <sjang@lifeark.net>, Min Wook Kang <mkang@lifeark.net>

Hi Marina,

Please have the applicant work with BOE on this. We cannot guess with the information provided by the applicant so far. The site elevation from the Lot 707 Phase 2 plans from 1992 shows an average site elevation of 179.0. Since the Original SD was constructed in 1922 and shows top of pipe at 172 between the curves within the property, they would have to adjust for the datum changes.

We are also still waiting for footing and structure information as requested some time ago. Please forward all plans and data through BOE so that the structural engineering division can review and provide comments as well as forward it to everyone for review as well to keep everyone in the loop.

Thank you,

Rafael Yanez
Environmental Engineering Associate
LA Sanitation and Environment

CPRA-15-BOE-000092

Clean Water Conveyance Division
Phone: 323-342-1563
Email: rafael.yanez@lacity.org
Web: www.lacitysan.org



On Thu, Aug 3, 2023 at 7:26 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Aug 9, 2023 at 12:33 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, nathan.ho@lacity.org
Cc: Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Hi Marina and Nathan,

Forwarding preliminary foundation design concept and structural loading study done by RST (Lifeark structural engineers) based on using the asphalt parking lot at Pico/Midvale. Will need final verification but based on the assumptions of typical parking lot loading of 1000 PSF, the maximum loading of Lifeark units at the base is at 500 PSF.

It will be good to set up a call with city departments and have RST go through this concept. Hopefully this can put to bed the easement and SD issue. We will still need to work on designing the access for maintenance and repair.

Let me know how you would like to proceed.

Thanks,
Charles
213-324-7228



----- Forwarded message -----

From: **Bestun Rashid** <bestun@rstavares.com>
Date: Wed, Aug 9, 2023 at 12:09 PM
Subject: Re: 2377 Midvale LADOT Lot 707 - URGENT Revocable Permit
To: Charles Wee <cwee@lifeark.net>
Cc: Curtis Ingersoll <curtis@rstavares.com>, Ralph Tavares <ralph@rstavares.com>, Jae Young Jang <jjang@lifeark.net>, Sung Jin Jang <sjang@lifeark.net>, Min Wook Kang <mkang@lifeark.net>, Paul Cho <pcho@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Charles,

Below and attached are the design concept for the temporary pad footing on the parking lot with asphalt anchor. Note that the building loading is approximate and based on the cluster we have done (LA4MTC-A01-HL03-05F). So, for this new project, new building and footing design should be done for confirmation.

Design concept for temporary building foundation on parking lot paved with asphalt,

- Assuming parking lot bearing capacity is 1000 psf (based on max soil bearing with wood pad footing) - **This needs to be confirmed and verified.**

- Max applied pressure from building on wood pad footing is **500 psf** (see attached). This shows the applied load from the building does not exceed the parking lot capacity. Note that larger pads may be used for reducing the applied pressure

CPRA-15-BOE-000093

further.

- No heavy weight should be applied from craning during construction on the easement.

Let me know if you have any questions and feel free to add any additional comments.

Thank you,

Bestun Rashid

Project Engineer

R&S Tavares Associates, Inc.

11590 W Bernardo Court, Suite 100

San Diego, CA 92127

Main Line : 858-444-3344

Direct Line : 858-287-7165

Email: Bestun@rstavares.com



[Quoted text hidden]



Pad footing configurations with applied pressure on parking lot.pdf

325K

Nathan Ho <nathan.ho@lacity.org>

Wed, Aug 9, 2023 at 4:27 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Charles,

Thank you for providing this detail and rough calculation. Could you also provide the locations where these wood pad footings would be located? It will be important to show the locations on plan view with the pipe alignment.

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org

ENGINEERING



CITY OF LOS ANGELES



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Aug 9, 2023 at 4:38 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Hi Nathan,

CPRA-15-BOE-000094

The idea is that this study will prove that by using LifeArk's temporary foundation system directly on the parking lot, we do away with the easement and any impact to the SD. I would like to see if we can use this opportunity to get a waiver and redo the site plan based on this study. We will be able to add quite a few more beds to the site plan. We can provide a maintenance and access plan for the LASAN incase they have to access the SD.

Looks like Marina is on vacation. We can do it after she gets back.

Thanks,
Charles
213-324-7228


[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Aug 9, 2023 at 6:40 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Hi Charles,

I understand that the purpose of the detail and calculations is to show that the anticipated design loads are less than the existing vehicle loads. The reviewers will still ask to see the overall site plan. I would recommend sketching a site plan that shows where these asphalt anchors will be even if that will be changed in the future.

Marina returns from vacation Tuesday of next week.

Thanks,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>


Wed, Aug 9, 2023 at 8:34 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Nathan,

Got it, we will show it on the latest siteplan and get it to you asap.

Thanks,
Charles
213-324-7228


[Quoted text hidden]

CPRA-15-BOE-000095

Charles Wee <cwee@lifeark.net>

Thu, Aug 10, 2023 at 6:14 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.ero@lacity.org>, Curtis Ingersoll <curtis@rstavares.com>, Bestun Rashid <bestun@rstavares.com>, Paul Cho <pcho@lifeark.net>, Rebecca Wee <rwee@lifeark.net>, Jonathan Dilworth <jdilworth@lifeark.net>, Ralph Tavares <ralph@rstavares.com>

Hi Nathan,

Attached is the temp pad foundation siteplan on the original siteplan. Depending on the outcome of the discussions, we would like to revise the siteplan.

Thanks,

Charles

213-324-7228

 LifeArk

[Quoted text hidden]



230810 cd-5 2377 midvale-temp foundation concept1.pdf
1829K



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale LADOT Lot 707 -

2 messages

Nathan Ho <nathan.ho@lacity.org>

Mon, Aug 14, 2023 at 11:06 AM

To: Hok Chi Chiu <hokchi.chiu@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Darin Lam <darin.lam@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Oscar and BOE Structural Team,

Attached you will find the design team's proposed foundation plan. Could you provide feedback on this concept?

We would like to schedule a meeting with your team this week to discuss their proposed asphalt anchors. Please let us know your availability for Wednesday or Friday.

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org

ENGINEERING



230810 cd-5 2377 midvale-temp foundation concept1.pdf

1829K

Darin Lam <darin.lam@lacity.org>

Wed, Aug 16, 2023 at 2:30 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Hok Chi Chiu <hokchi.chiu@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>, Martin Fragoso <martin.fragoso@lacity.org>, Gary Gero <gary.gero@lacity.org>, Azya Jackson <azya.jackson@lacity.org>, Clint Menk <clint.menk@lacity.org>, Orval Hernandez-Marcial <orval.hernandez-marcial@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hello Nathan,

I can comment pertaining to the storm drain easement within the property and what may be required from WLA BOE (I work under Oscar). Since there are encroachments along the easement (pad footings, staircases, etc.) shown in the attached plan, it will be likely that a recorded acknowledgement of easement document and a recorded waiver of damages document will be required in addition to what the BOE Structural Group and LASAN may require. There are also areas where part of the structure seems to be within the influence zone of the pipe, which the structural group may have more insight on.

Thanks!

Best Regards,

[Quoted text hidden]

--

Darin Lam, E.I.T.

West Los Angeles District Office | Civil Engineering Associate I

CPRA-15-BOE-000097

Bureau of Engineering | Department of Public Works
1828 Sawtelle Boulevard, 3rd Floor
Los Angeles, CA 90025
(213) 485-1613
Darin.Lam@lacity.org





Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale LADOT Lot 707

18 messages

Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 12, 2023 at 4:31 PM

To: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, David Cataldo <david.cataldo@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>

Good afternoon,

I am working with CD 5 on assessing the LADOT Lot 707 for use as homeless housing. When I visited the site, I noticed a large grate with bollards around it. Could you help us identify what this vault is for and any other pertinent information about it?



Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org
CPRA-15-BOE-000099

David Cataldo <david.cataldo@lacity.org>

Tue, Jun 13, 2023 at 6:39 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Nathan:

Let me check with our engineer.

David

[Quoted text hidden]

--

David Cataldo

Senior Management Analyst I

Parking Facilities Division

Los Angeles Department of Transportation
213.972.4938

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David Cataldo <david.cataldo@lacity.org>

Tue, Jun 13, 2023 at 8:24 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Nathan

Our engineering informs us that that is part of the neighborhood stormwater system. It would need to be protected

David

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Tue, Jun 13, 2023 at 10:49 AM

To: David Cataldo <david.cataldo@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Thank you, David.

Does the engineering team have as-built drawings for the stormwater system as well?

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

CPRA-15-BOE-000100

Phone: 213 485 4428

Email: nathan.ho@lacity.org



[Quoted text hidden]

David Cataldo <david.cataldo@lacity.org>

Wed, Jun 14, 2023 at 9:00 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Nathan:

These are the plans we have.

David

[Quoted text hidden]

[Quoted text hidden]



Lot 707 plan phase 2 1992 set.pdf
6836K

Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 24, 2023 at 4:48 PM

To: David Cataldo <david.cataldo@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Hi David,

As our design team is laying out the site, they are asking if we can encroach into the 12' storm drain easement on the edges a little. Is this easement managed by LADOT or do you have a contact I can reach out to?

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



[Quoted text hidden]

David Cataldo <david.cataldo@lacity.org>

Tue, Jul 25, 2023 at 6:28 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Nathan

We are checking with our engineering team

David

CPRA-15-BOE-000101

[Quoted text hidden]

David Cataldo <david.cataldo@lacity.org> Tue, Jul 25, 2023 at 8:21 AM
To: Nathan Ho <nathan.ho@lacity.org>
Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>

Nathan

Sorry we have no further information on that. WE suggest you reach out to either to BOSS or DWP.

David

On Mon, Jul 24, 2023, 16:49 Nathan Ho <nathan.ho@lacity.org> wrote:

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org> Mon, Jul 31, 2023 at 11:59 AM
To: David Cataldo <david.cataldo@lacity.org>
Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>

David,

We need to explore the option to abandon or build over the existing stormwater system vault located at the southeast corner.
Could we schedule a meeting with your engineering team to discuss this? Wednesday or Thursday mornings between 8:30am and 10am would be optimal.

Thank you,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

David Cataldo <david.cataldo@lacity.org> Tue, Aug 1, 2023 at 6:09 AM
To: Nathan Ho <nathan.ho@lacity.org>
Cc: Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>

Nathan

We can arrange it but we don't understand what our involvement is with this. If the property is to be turned over to housing shouldn't all construction concerns be directed to them?

David

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Tue, Aug 1, 2023 at 7:57 AM
CPRA-15-BOE-000102

To: David Cataldo <david.cataldo@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi David,

The site will not be turned over to the Housing Department, they will be the service provider for the lease term, and ownership will remain with LADOT, we will need your concurrence to proceed.

We need to understand the current installed system and if there are any impacts we need to account for. The site will be returned to its original state once the lease expires.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

David Cataldo <david.cataldo@lacity.org>

Tue, Aug 1, 2023 at 8:31 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Ken Husting <ken.husting@lacity.org>, Jay Kim <jay.kim@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina

We have received no deal points or outlines of the proposed lease do you have anything you can send us?

David

[Quoted text hidden]

Ken Husting <ken.husting@lacity.org>

Tue, Aug 1, 2023 at 9:28 AM

To: David Cataldo <david.cataldo@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Sophia Fong <Sophia.Fong@lacity.org>

Moving some folks to bcc.

Hi Nathan. Please work with Sophia Fong copied on this email. Sophia is the lead of our Parking Facilities Division Engineering Section.

Hi David, I'll send you an email with the deal points.

Thanks,
Ken

Ken Husting, P.E.

Principal Transportation Engineer
Parking Management

Los Angeles Department of Transportation
213.972.8430

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[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Tue, Aug 1, 2023 at 10:08 AM

To: Ken Husting <ken.husting@lacity.org>, Sophia Fong <sophia.fong@lacity.org>, David Cataldo <david.cataldo@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Gary Gero <gary.gero@lacity.org>

Ken and Sophia:

On behalf of Councilwoman Yaroslavsky, please know how much we appreciate DOT's attention to this matter and your partnership on this project, which is her (and this office's) top priority.

Sophia, though you are in truly exceptional hands with Nathan, Marina, and the BOE team, don't hesitate to reach out if our office can be useful / can provide any needed context or information.

Regards,

Zack Warma

[Quoted text hidden]

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Sophia Fong <sophia.fong@lacity.org>

Tue, Aug 1, 2023 at 1:13 PM

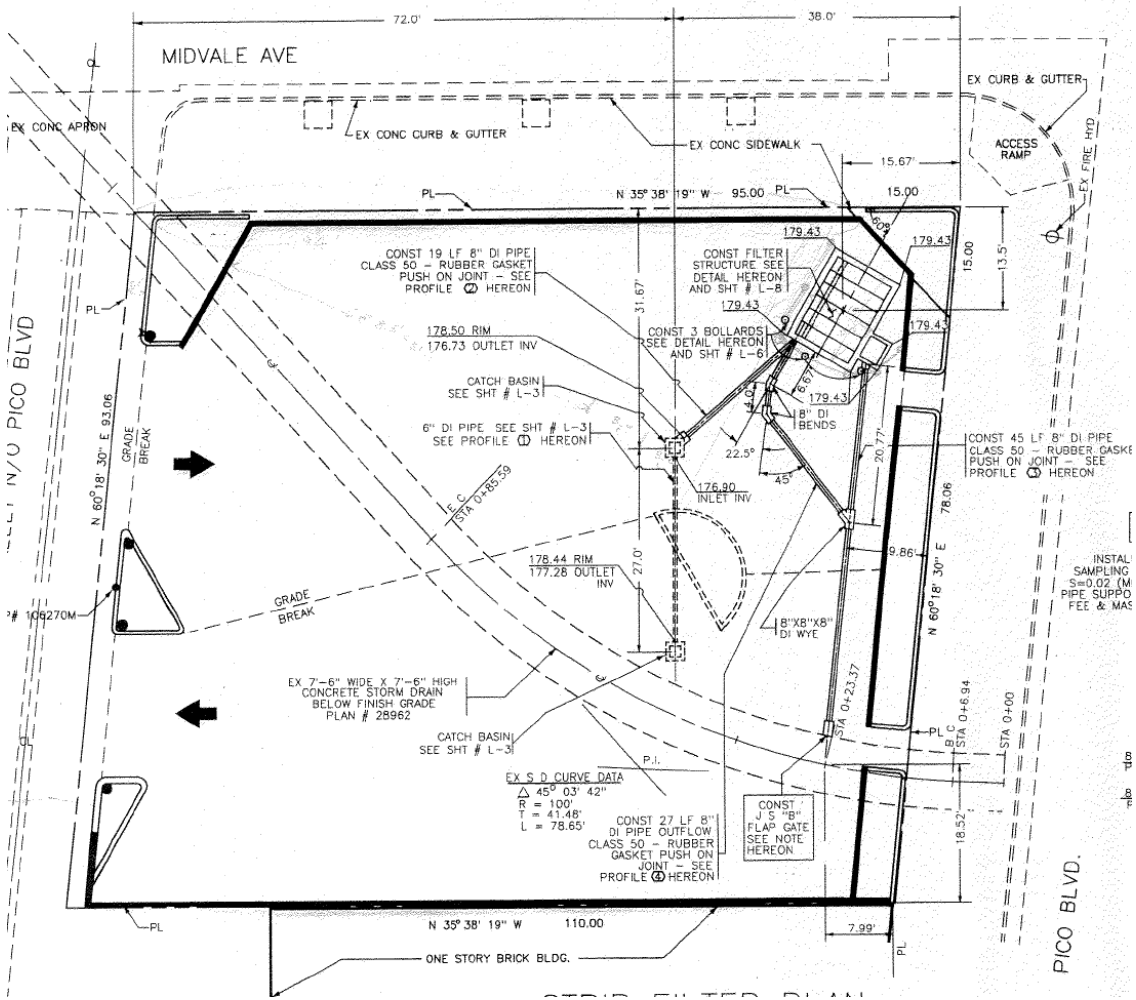
To: Zachary Warma <zachary.warma@lacity.org>

Cc: Ken Husting <ken.husting@lacity.org>, David Cataldo <david.cataldo@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Nathan,

Please see attached for the site plan for this location. The item in question is a filter strips box. Let me know if you have any questions

CPRA-15-BOE-000104



[Quoted text hidden]


Sophia Fong, P.E.

Transportation Engineer
Parking Facilities Division

Los Angeles Department of Transportation
213.972.4942

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 **Lot 707 plan phase 2 1992 set.pdf**
6836K

Nathan Ho <nathan.ho@lacity.org>

To: Sophia Fong <sophia.fong@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Ken Husting <ken.husting@lacity.org>, David Cataldo <david.cataldo@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Gary Gero <gary.gero@lacity.org>

CPRA-15-BOE-000105

Fri, Aug 18, 2023 at 5:34 PM

Hi Sophia,

Thank you for clarifying the purpose of the vault in question. Could you confirm that we have permission from LADOT to remove the filter strips box as part of this interim housing project? Please advise.

Thank you,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



[Quoted text hidden]

Sophia Fong <sophia.fong@lacity.org> Tue, Aug 22, 2023 at 8:59 AM
To: Nathan Ho <nathan.ho@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Ken Husting <ken.husting@lacity.org>, David Cataldo <david.cataldo@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Nathan,

The filter strips box is part of the storm drain for the lot. If removed, it can have adverse effects on our facility. My understanding is that the agreement is temporary housing, and at some point, the facility will be returned back to DOT. So Please let us know the following

1. BOE's plan on storm drain replacement
2. How will the filter box be restored when the facility is returned back to DOT post housing project.
3. The potential effects to DOT's facility without the drain filter.

Thanks
Sophia

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Tue, Aug 22, 2023 at 9:27 AM
To: Sophia Fong <sophia.fong@lacity.org>
Cc: Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Ken Husting <ken.husting@lacity.org>, David Cataldo <david.cataldo@lacity.org>, Eldwin Lum <eldwin.lum@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Sophia,

Nathan is out today. For clarity, when you refer to the facility, do you mean the site?

Nathan shared with the group that the filter strip box was specific for the parking lot to filter car residue, if the site is no longer used for car parking, we would not anticipate any impact to the site. Please confirm.

The site would be returned to its original use after the lease termination, a filter box would be installed per your standards.

[Quoted text hidden]

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale THV project - meeting follow up

42 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, May 15, 2023 at 4:54 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina, Erik, Ed, Annabelle, and Kendra:

Thank you so much for taking the time to meet with Team CD5 this morning regarding our forthcoming THV project at [2377 Midvale Avenue](#).

Per our conversation, I have attached herein the initial proposals submitted by Connect Homes and LifeArk. Our office has asked both vendors to provide updated plans by Friday 6/2, inclusive of the the following elements:

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

I will note that we expressly requested for designs contemplating the closure of the alley; we appreciate your continued exploration of the matter, and I have also reached out to the City Attorney's Office for guidance.

Since our meeting, I have already requested that both vendors provide potential times for us to schedule the meetings between them and CAO/LADBS/LAFD/BOE for the week of 6/5.

One outstanding request, if I may - can one of you point me to any clear documentation regarding the requirements of ADA "adaptability", and what components of the units it applies to?

If our office can help further this process in any way / make your lives less hectic, please do not hesitate to let us know.

Regards,

Zack Warma

--






Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

CPRA-15-BOE-000107

3 attachments

-  **230410_LA District 5_Site Plan (1).pdf**
2647K
-  **Lifeark Layout.pdf**
5035K
-  **Connect Shelters_brochure_23-0127_send (1).pdf**
9023K

Marina Quinonez <marina.quinonez@lacity.org>

Mon, May 15, 2023 at 5:47 PM

To: Deborah Weintraub <Deborah.Weintraub@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Deborah and Jose,

CD 5 would like to pursue the use of one of these vendors, they will be engaging GSD for procurement requirements, and they have asked for BOE to assist in the coordination for review with LAFD and LADBS. Both vendors appear to be design-build contractors, CD 5 has asked them to submit a complete proposal for the Midvale site by June 5th

BOE's role is not clearly identified at the moment.

CAO said no to the Lifeark proposal before due to cost, not sure how CD 5 got involved with this vendor.




Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

3 attachments

-  **230410_LA District 5_Site Plan (1).pdf**
2647K
-  **Lifeark Layout.pdf**
5035K
-  **Connect Shelters_brochure_23-0127_send (1).pdf**
9023K

Deborah Weintraub <deborah.weintraub@lacity.org>

Tue, May 16, 2023 at 8:48 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Thanks Marina. Do you know if the Council office has discussed the alley closure with one of our District offices?

CPRA-15-BOE-000108

Also, these structures appear to fall under the category of permanent supportive housing rather than temporary housing. Is my assumption correct?

Deborah

[Quoted text hidden]

--

Deborah Weintraub, AIA, LEEDAP
Chief Deputy City Engineer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 700

Los Angeles, CA 90015-2213

T: 213-485-5499 C:213-923-6359

deborah.weintraub@lacity.org

 <http://eng.lacity.org/>



Marina Quinonez <marina.quinonez@lacity.org>

Tue, May 16, 2023 at 9:55 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

Please ensure that your vendors are aware of the storm drain easement, this needs to be clear of any structure, movable furniture is ok.

Please see below for code information:

PUBLIC HOUSING. [DSA-AC & HCD 1-AC] Housing facilities owned, operated, or constructed by, for or on behalf of a public entity including but not limited to the following:

- 1. Publically owned and/or operated one- or two-family dwelling units or congregate residences;*
- 2. Publically owned and/or operated buildings or complexes with three or more residential dwelling units;*
- 3. Reserved.*
- 4. Publically owned and/or operated homeless shelters, group homes and similar social service establishments;*
- 5. Publically owned and/or operated transient lodging, such as hotels, motels, hostels and other facilities providing accommodations of a short term nature of not more than 30 days duration;*
- 6. Housing at a place of education owned or operated by a public entity, such as housing on or serving a public school, public college or public university campus;*
- 7. Privately owned housing made available for public use as housing.*

11B-233.1 General

Public housing facilities with residential dwelling units shall comply with Section 11B-233. See Chapter 2, Section 202 of this code for the definition of Public Housing.

11B-233.2 Reserved

11B-233.3 Public Housing Facilities

Public housing facilities with residential dwelling units shall comply with Section 11B-233.3.

Note: Senior citizen housing may also be subject to Civil Code, Division 1. Part 2. Sections 51.2, 51.3 and 51.4.

11B-233.3.1 Minimum Number: New Construction

Newly constructed facilities with residential dwelling units shall comply with Section 11B-233.3.1.

Exception: Where facilities contain 15 or fewer residential dwelling units, the requirements of Sections 11B-233.3.1.1 and 11B-233.3.1.3 shall apply to the total number of residential dwelling units that are constructed under a single contract, or are developed as a whole, whether or not located on a common site.

11B-233.3.1.1 Residential Dwelling Units With Mobility Features

In facilities with residential dwelling units, at least 5 percent, but no fewer than one unit, of the total number of residential dwelling units shall provide mobility features complying with Sections 11B-809.2 through 11B-809.4 and shall be on an accessible route as required by Section 11B-206.

11B-233.3.1.2 Residential Dwelling Units With Adaptable Features

In facilities with residential dwelling units, adaptable residential dwelling units complying with Sections 11B-809.6 through 11B-809.12 shall be provided as required by Sections 11B-233.3.1.2.1 through 11B-233.3.1.2.6. Adaptable residential dwelling units shall be on an accessible route as required by Section 11B-206.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

To: Deborah Weintraub <deborah.weintraub@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Tue, May 16, 2023 at 9:57 AM

Deborah,

CPRA-15-BOE-000110

These could be used for PSH but the intention is to use these for Interim Housing, for five to seven years, if LADOT agrees.

[Quoted text hidden]

[Quoted text hidden]

Deborah Weintraub <deborah.weintraub@lacity.org>

Tue, May 16, 2023 at 10:04 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Okay. And the alley closure?

Deborah

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, May 16, 2023 at 10:10 AM

To: Deborah Weintraub <deborah.weintraub@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Jose provided the information conveyed to the Council Office, they understand that there is no basis for closure unless there is illegal dumping or a nuisance. Janella is looking into other possibilities, I will follow up with her today.

CD 5 has directed the vendors to use the alley already, he is willing to issue a motion but he needs specifics to make it happen, he mentioned that he would reach out to the City Attorney to get more information.

[Quoted text hidden]

[Quoted text hidden]

Jose FUENTES <jose.fuentes@lacity.org>

Tue, May 16, 2023 at 10:15 AM

To: Deborah Weintraub <deborah.weintraub@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Deborah,

Per our BOE Permit Manual, the City has the authority under CA Vehicle Code, Section 21101.4, to temporarily close a street, alley or walk to alleviate criminal activity or illegal dumping problems. Neither of these conditions exist at this location.

I emailed Ted Jordan last Wednesday to see if he knows of any other justification (including language in the Mayor's Emergency Declaration or ED-3) that CD-5 could use to obtain approval for the temporary closure of the alley. I will follow up with him today.

[Quoted text hidden]

--

Jose Fuentes, PE, CCM

Deputy City Engineer | Engineering Services Program

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 700

Los Angeles, CA 90015

Office: (213) 485-4906

Cell: (213) 923-6367



Marina Quinonez <marina.quinonez@lacity.org>

Wed, May 17, 2023 at 10:46 AM

CPRA-15-BOE-000111

To: Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi everyone,

CD 5 will be meeting with two vendors and will likely be asking for your feedback in reviewing proposals the week of June 5th. I am sending you some preliminary information we received. Let me know if you have any preliminary comments. These will be used for Interim Housing under the current temporary homeless shelters section 12.80.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Zachary Warma** <zachary.warma@lacity.org>
Date: Mon, May 15, 2023 at 4:54 PM
Subject: 2377 Midvale THV project - meeting follow up
To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

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3 attachments



230410_LA District 5_Site Plan (1).pdf
2647K



Lifemark Layout.pdf
5035K



Connect Shelters_brochure_23-0127_send (1).pdf
9023K

Pejman Noori <pejman.noori@lacity.org>
To: marina.quinonez@lacity.org

Wed, May 17, 2023 at 10:47 AM

For projects that qualify, please schedule a virtual or in-person counter appointment at this link: <https://appointments.lacity.org/apptsys/Public/Account>

- General emails to me have a 3 business day turnaround time(Tuesday - Friday). **Off Every Monday**

CPRA-15-BOE-000112

--

Pejman Noori
Fire Protection Engineer Associate IV
Los Angeles Fire Department Fire Prevention Bureau
213-392-6507
<http://www.lafd.org/customer-survey>

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Menoa Aghajani <menoa.aghajani@lacity.org>
To: marina.quinonez@lacity.org

Wed, May 17, 2023 at 10:47 AM

I am on vacation from 5/15/23 to 5/24/23 and am taking time off from all devices. I will see your messages when I return. If you need immediate assistance, please reach out to sean.dang@lacity.org.

Automated Reply

Responses will be made as soon as is practical and our goal is to reply within 72 business hours.

For general plan check questions or for technical support with your FIMS customer account, please email lafd.fdsapplication@lacity.org.

For technical support regarding your Angeleno Account, please visit <https://angeleno.lacity.org/help>.

For Inspection-related questions, please email lafddss@lacity.org.

For Hydrants & Access questions, please email lafdhydrants@lacity.org.

*Click here for instructions for how to submit plans and/or Mods to plan check for review.

<https://docs.google.com/document/d/1WSUthUMUql62k8x970qru-Zl2e_9U4qPH0NI-sn-tQ4/edit?usp=sharing>*

--



Menoa Aghajani, PE

Fire Protection Engineering Associate IV

Los Angeles Fire Department Fire Prevention Bureau

(213)482-6925 / (213)574-5821



[Quoted text hidden]

Hani Malki <hani.malki@lacity.org>

Wed, May 17, 2023 at 11:26 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>

CPRA-15-BOE-000113

Hello Marina,

I am including Captain [+Kevin Easton](#) Inspector [+Laurinda Meade](#) . Please make sure that hydrants and access is consulted as well.

Thank you,

[Quoted text hidden]

--

Hani G. Malki, P.E., MPA
Senior Fire Protection Engineer
Los Angeles City Fire Department
Bureau of Fire Prevention and Public Safety
Fire Development Services
[201 North Figueroa Street, 2nd Floor](#)
Desk - (213) 482-6936
Cell - (213) 264-9842

www.lafd.org/customer-survey

***** Confidentiality Notice*

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3 attachments



230410_LA District 5_Site Plan (1).pdf
2647K



Lifeark Layout.pdf
5035K



Connect Shelters_brochure_23-0127_send (1).pdf
9023K

Marina Quinonez <marina.quinonez@lacity.org>

Wed, May 17, 2023 at 11:38 AM

To: Hani Malki <hani.malki@lacity.org>

Cc: Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>

Thank you Hani, I'll make sure to include them in the proposal review.

[Quoted text hidden]

[Quoted text hidden]

Kevin Morales <kevin.morales@lacity.org>

Wed, May 17, 2023 at 11:38 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Hani Malki <hani.malki@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

We'll be able to provide feedback and corrections once the plan check fee has been paid for.

Thanks,

Kevin Morales, MS PE
Structural Engineering Associate II
Department of Building and Safety, City of Los Angeles
[201 North Figueroa, Room 880](#)
[Los Angeles, CA 90012](#)

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

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Marina Quinonez <marina.quinonez@lacity.org>

Wed, May 17, 2023 at 11:41 AM

To: Kevin Morales <kevin.morales@lacity.org>

Cc: Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Hani Malki <hani.malki@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Kevin,

This will be a courtesy review of the product for the Council Office to make a determination, there are no plans to review yet. A proposal will be submitted on June 2nd.

[Quoted text hidden]

[Quoted text hidden]

Kevin Easton <kevin.easton@lacity.org>

Wed, May 17, 2023 at 9:15 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Hani Malki <hani.malki@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>

Marina,

Nice to meet you! I look forward to working with you. Have a great evening.

Take care,

Kevin J Easton

Captain I

Los Angeles City Fire Department

Affordable Housing Unit

Fire Development Services

201 N. Figueroa St.

Suite 210

Los Angeles, CA 90012

Office 213-482-6578

Fax 213-482-6949

kevin.easton@lacity.org

****Normal day off Friday****

"Never let success get in your head; never let failure get in your heart."

<http://www.lafd.org/customer-survey>

[Quoted text hidden]

Faruk Sezer <faruk.sezer@lacity.org>

Thu, May 18, 2023 at 10:44 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, SHINE LIN <shine.lin@lacity.org>

Cc: Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina

I will be on extended VC from 5/26 through 7/5. If you like, I can set up a meeting for next week before my VC starts or I can give a point of contact +SHINE LIN who might be able to answer DAS related questions.

Thank you.

*****I will be out of office on every other MONDAY;**

*****We strive to answer all emails within 48 hours.**

Faruk Sezer, MS, PE, CASp, I.C.C

Disabled Access Section

Los Angeles Department of Building and Safety

201 N. Figueroa St. Room 880

CPRA-15-BOE-000115

Los Angeles, CA 90012

213.482.0093

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

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Marina Quinonez <marina.quinonez@lacity.org>

Thu, May 18, 2023 at 10:52 AM

To: Faruk Sezer <faruk.sezer@lacity.org>

Cc: SHINE LIN <shine.lin@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Thank you Faruk, we will reach out to Shine.

Please provide us with any initial feedback you may have at this time.

[Quoted text hidden]

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jun 1, 2023 at 2:43 PM

To: Faruk Sezer <faruk.sezer@lacity.org>

Cc: SHINE LIN <shine.lin@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hello everyone,

CD 5 sent an invitation (hold) to meet and discuss the proposals that are anticipated to come in this week. The hold is for two days, they want to meet with both vendors separately.

You should have received an invite for June 13th at 10am and June 14th at 10am. Please add whomever you think needs to be present. Thank you

[Quoted text hidden]

[Quoted text hidden]

Hani Malki <hani.malki@lacity.org>

Thu, Jun 1, 2023 at 3:15 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Hello Marina,

I don't see an invite on my calendar, can you please add me if you have it.

Thank you,

[Quoted text hidden]

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jun 1, 2023 at 3:17 PM

To: Hani Malki <hani.malki@lacity.org>

Will do.

[Quoted text hidden]

[Quoted text hidden]

Kevin Morales <kevin.morales@lacity.org>

Fri, Jun 2, 2023 at 10:32 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, SHINE LIN <shine.lin@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina

CPRA-15-BOE-000116

I'll be able to attend Tuesday's meeting only to answer any general questions.
Thanks.

Kevin Morales, MS PE
Structural Engineering Associate II
Department of Building and Safety, City of Los Angeles
201 North Figueroa, Room 880
Los Angeles, CA 90012

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

On Thu, Jun 1, 2023 at 2:44 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Shine Lin <shine.lin@lacity.org>

Fri, Jun 2, 2023 at 11:27 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

Sorry I already had appointments on June 13 and 14 at 10AM.

How about 6/13 from 11:30AM to 12PM? Please reply to confirm the Zoom or Google Meet appointment for DAS?

Please email me a calendar invite. Thank you!

Sincerely,

Shine

On Thu, Jun 1, 2023 at 2:44 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jun 2, 2023 at 2:30 PM

To: Shine Lin <shine.lin@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hello everyone,

I am sending the first proposal, CD 5 has scheduled this discussion with LifeArk on June 13th.

Please provide comments and inquiries if you cannot attend the meeting. Again, CD 5 needs your input to make an informed decision as to which vendor they will select.

[Quoted text hidden]

[Quoted text hidden]



CD5-Hope Pavilion-final.pdf

6852K

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jun 2, 2023 at 7:44 PM

To: Shine Lin <shine.lin@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Here is the second proposal. Please let me know if you are available on June 14th from 12 to 1pm.

[Quoted text hidden]

CPRA-15-BOE-000117

[Quoted text hidden]

 **Midvale Shelter Package_20230602.pdf**
19212K

Shine Lin <shine.lin@lacity.org>

Sun, Jun 4, 2023 at 9:17 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

12-1PM is my lunch time. How about 6/15 from 11:30AM to 12PM. Please reply to confirm the Google Meet appointment. Please email me a calendar invite. Thank you!

Sincerely,

Shine

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jun 5, 2023 at 6:29 AM

To: Shine Lin <shine.lin@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Shine,

That is the only time requested by the Council office.

[Quoted text hidden]

[Quoted text hidden]

Eugene Barbeau <Eugene.Barbeau@lacity.org>

Mon, Jun 5, 2023 at 8:54 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Shine Lin <shine.lin@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina-

Either myself or Kevin will attend the meeting on the 14th.

Thanks,

Eugene

[Quoted text hidden]

Hani Malki <hani.malki@lacity.org>

Mon, Jun 5, 2023 at 9:37 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Sean Dang <sean.dang@lacity.org>

Cc: Shine Lin <shine.lin@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Adding Sean Dang to the email [+Sean Dang](#)

[Quoted text hidden]

[Quoted text hidden]

Sean Dang <sean.dang@lacity.org>

Mon, Jun 5, 2023 at 12:04 PM

To: Hani Malki <hani.malki@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Shine Lin <shine.lin@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

CPRA-15-BOE-000118

yes. I can attend June 13th.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 5, 2023 at 5:00 PM

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>

Date: Wed, May 17, 2023 at 10:46 AM

Subject: Fwd: 2377 Midvale THV project - meeting follow up

To: Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

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3 attachments



230410_LA District 5_Site Plan (1).pdf
2647K



Lifeark Layout.pdf
5035K



Connect Shelters_brochure_23-0127_send (1).pdf
9023K

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 5, 2023 at 5:01 PM

[Quoted text hidden]



Midvale Shelter Package_20230602.pdf
19212K

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 5, 2023 at 5:01 PM

Marina Quiñónez, AIA
CPRA-15-BOE-000119

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>
Date: Fri, Jun 2, 2023 at 2:30 PM
Subject: Re: 2377 Midvale THV project - meeting follow up
To: Shine Lin <shine.lin@lacity.org>
Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

[Quoted text hidden]

 **CD5-Hope Pavilion-final.pdf**
6852K

Shine Lin <shine.lin@lacity.org> Tue, Jun 6, 2023 at 7:45 AM
To: Sean Dang <sean.dang@lacity.org>
Cc: Hani Malki <hani.malki@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,
Okay. I will attend the 6/14 from 12PM to 1PM meeting.
Please email us the invite. for the meeting. Thank you!

Sincerely,

Shine

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Thu, Jun 8, 2023 at 1:07 PM
To: Shine Lin <shine.lin@lacity.org>
Cc: Sean Dang <sean.dang@lacity.org>, Hani Malki <hani.malki@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

CD 5 moved the meeting to Monday, please let me know if you did not receive an invite.

[Quoted text hidden]

Pejman Noori <pejman.noori@lacity.org> Thu, Jun 8, 2023 at 1:07 PM
To: marina.quinonez@lacity.org

For projects that qualify, please schedule a virtual or in-person counter appointment at this link: <https://appointments.lacity.org/apptsys/Public/Account>

- General emails to me have a 3 business day turnaround time(Tuesday - Friday). **Off Every Monday**

--

Pejman Noori
Fire Protection Engineer Associate IV
Los Angeles Fire Department Fire Prevention Bureau
213-392-6507
<http://www.lafd.org/customer-survey>

[Quoted text hidden]

Shine Lin <shine.lin@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jun 12, 2023 at 1:54 PM

Hi Marina,
I thought you were going to have a meeting on this Tuesday or Wednesday?.
I did not see any invite and I am not available on Monday.

Sincerely,

Shine

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Shine Lin <shine.lin@lacity.org>

Mon, Jun 12, 2023 at 2:25 PM

no worries, I shared the info you and Faruk have shared regarding adaptability, we will set up a more focused meeting with you once CD 5 decides to move forward. The meeting on Wednesday at 10 is still on for the second vendor.

[Quoted text hidden]

[Quoted text hidden]

Shine Lin <shine.lin@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jun 13, 2023 at 3:22 PM

Hi Marina,
I have your name down for tomorrow (Wednesday) at 12PM.

Sincerely,

Shine

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Shine Lin <shine.lin@lacity.org>

Tue, Jun 13, 2023 at 4:12 PM

Hi Shine,

The Council Office scheduled this for 10am.

[Quoted text hidden]

[Quoted text hidden]

Shine Lin <shine.lin@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jun 13, 2023 at 4:23 PM

Hi Marina,

CPRA-15-BOE-000121

Sorry I cannot make it tomorrow then. Eugene spoke with you yesterday. If there are any questions, you may have Eugene to forward to me. Thank you!

Sincerely,

Shine

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jun 13, 2023 at 4:39 PM

To: Shine Lin <shine.lin@lacity.org>

Will do. Thank you

[Quoted text hidden]

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

2377 Midvale Tiny Homes - Storm Drain

8 messages

Ted Allen <ted.allen@lacity.org>

Thu, Jul 27, 2023 at 10:48 AM

To: Gary Gero <gary.gero@lacity.org>, Crystal Lee <crystal.lee@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>
Cc: Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Julie Allen <Julie.allen@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>

Hi Gary,

It was nice chatting with you about this project which will need some assistance from our BOE and Sanitation groups to determine how close certain structures can be located to the existing 90" storm drain. I've attached a screenshot from NavigateLA for general reference. In a quick glance at one of the plan sheets from the 1920's it appears that maybe it is about 6 or 7 feet to the top of the structure but that would need to be checked in more detail to see the location and depth across the site.

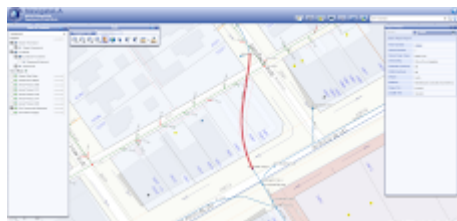
I've added some of the key managers from BOE and Sanitation to connect them in this conversation.

Crystal, could you take the lead in identifying the key BOE participants as far as the development and structural side goes?

Marina, have any conversations started on this already with BOE and Sanitation? Are you the lead PM on the BOE side?

Ted

Ted Allen, P.E.
City Engineer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700
Los Angeles, CA 90015
Mail Stop 490
Office: (213) 485 - 4935 | Cell: (909) 261 - 4787 | Fax: (213) 485-4929
ted.allen@lacity.org



2377 Midvale.PNG
711K

Gary Gero <gary.gero@lacity.org>

Thu, Jul 27, 2023 at 11:24 AM

To: Ted Allen <ted.allen@lacity.org>
Cc: Crystal Lee <crystal.lee@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Julie Allen <Julie.allen@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>

Thanks Ted and hello everyone. This is a priority project for our office so I truly appreciate your help and support. I am adding Zachary Warma from our office who is our point of contact for this project. We have a few public workshops scheduled for next week so knowing whether and to what degree our temporary shelters may encroach on the easement is an urgent question. I hope you all can provide some preliminary insights as soon as possible, thanks.

CPRA-15-BOE-000123

[Quoted text hidden]

Gary Gero <gary.gero@lacity.org>

Thu, Jul 27, 2023 at 11:25 AM

To: Ted Allen <ted.allen@lacity.org>

Cc: Crystal Lee <crystal.lee@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Julie Allen <Julie.allen@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

This time with Zack cc'd!

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jul 27, 2023 at 11:34 AM

To: Nathan Ho <nathan.ho@lacity.org>

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org

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Crystal Lee <crystal.lee@lacity.org>

Thu, Jul 27, 2023 at 11:46 AM

To: Gary Gero <gary.gero@lacity.org>, Hok Chi Chiu <hokchi.chiu@lacity.org>, Oscar Gutierrez <oscar.gutierrez@lacity.org>
Cc: Ted Allen <ted.allen@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Julie Allen <Julie.allen@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Good Morning Gary,

The structural review lead will be [+Hok Chi Chiu](#).

If there are any additional permits needed the contact will be [+Oscar Gutierrez](#):

1. A permits for driveways, sidewalk, or light construction work in the public right-of-way)
2. E or U Permits for utility excavation (installations of gas lines, power, telecom, etc. in the street)
3. S Permits - for sewer laterals, etc.
4. R Permit, anything that would remain in the public ROW
5. B Permits for larger scope (changes in stormwater flow, street profile or geometry in the street)

Please see our Permit Manual online for more information: <https://engpermitmanual.lacity.org/>

Crystal Lee, P.E., ENV SP, M.S.C.E.
Deputy City Engineer
Development Services and Permits Program
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Los Angeles 90015
7th Floor, Mail Stop: 490
310.732.4663
crystal.lee@lacity.org



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CPRA-15-BOE-000124

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jul 27, 2023 at 12:40 PM

To: Ted Allen <ted.allen@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Crystal Lee <crystal.lee@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Julie Allen <julie.allen@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Ted,

We have been working with CD 5 and LifeArk, their selected vendor for the site. LADOT has provided us with as-built drawings and has directed us to speak to BSS for encroachment information. We have also reached out to LASAN to review the requirements for a revocable permit.

Nathan Ho is the PM, we will continue the collaboration together.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Thu, Jul 27, 2023 at 10:48 AM Ted Allen <ted.allen@lacity.org> wrote:

[Quoted text hidden]

Julie Allen <julie.allen@lacity.org>

Thu, Jul 27, 2023 at 3:20 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Ted Allen <ted.allen@lacity.org>, Gary Gero <gary.gero@lacity.org>, Crystal Lee <crystal.lee@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Gerald Watson <gerald.watson@lacity.org>, Kwasi Berko <kwasi.berko@lacity.org>, Azya Jackson <azyja.jackson@lacity.org>

Hi Marina,

Please include Gerald, Kwasi, and Azya (all cc'd) on any project-related correspondence to LASAN. They will ensure any issues are addressed as quickly as possible.

Thanks,
Julie

Julie Allen, PE

Assistant Director
LA Sanitation and Environment
Executive Division
Phone: 213-485-2210
Email: julie.allen@lacity.org
Web: www.lacitysan.org



[Quoted text hidden]

Crystal Lee <crystal.lee@lacity.org>

Thu, Jul 27, 2023 at 3:23 PM

To: Julie Allen <julie.allen@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Ted Allen <ted.allen@lacity.org>, Gary Gero <gary.gero@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Michael Patonai <michael.patonai@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Jose Fuentes <jose.fuentes@lacity.org>, Eric Bruins <eric.bruins@lacity.org>, Carla Vallejo <carla.vallejo@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Gerald Watson <gerald.watson@lacity.org>, Kwasi Berko <kwasi.berko@lacity.org>, Azya Jackson <azyajackson@lacity.org>

Hi Julie,

Azya is already informed, and drafting a letter. LASAN Team is on it!

Crystal Lee, P.E., ENV SP, M.S.C.E.

Deputy City Engineer

Development Services and Permits Program

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Los Angeles 90015

7th Floor, Mail Stop: 490

310.732.4663

crystal.lee@lacity.org

ENGINEERING



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Midvale Tiny Home: Motion

3 messages

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Sep 13, 2023 at 9:45 AM

To: Gary Gero <gary.gero@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Maria Martin <maria.martin@lacity.org>

Hi Gary and Zack,

Maria from EMG would like to see the language in the motion, would you please provide a pdf?

Thanks

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



Gary Gero <gary.gero@lacity.org>

Wed, Sep 13, 2023 at 9:54 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Maria Martin <maria.martin@lacity.org>

Here it is, thanks!

[Quoted text hidden]



draft motion re midvale.pdf

407K

Maria Martin <maria.martin@lacity.org>

Wed, Sep 13, 2023 at 9:59 AM

To: Steve Martin <steve.martin@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Steve,

Please review the attached. What is the status of the emergency declaration? What do we currently qualify for under CEQA?

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

CPRA-15-BOE-000127

Mail Stop 939
O: 213 485 5753
maria.martin@lacity.org

ENGINEERING



CITY OF LOS ANGELES

[Quoted text hidden]



draft motion re midvale.pdf
407K



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Midvale- Vendor Review

2 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jun 16, 2023 at 2:40 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Hi Zack,

Here are some open time slots next week:
Wednesday 12:30pm to 2pm, or 3 to 4pm
Thursday 9am - 12 pm,
Friday 9am to 11am.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



Zachary Warma <zachary.warma@lacity.org>

Fri, Jun 16, 2023 at 4:37 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Marina:

Just sent a calendar invite for Wednesday at 12:30pm. Thanks so much!

In the meantime, hope you and your team have a restful and warm weekend.

- Zack

[Quoted text hidden]

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Midvale: Design Proposal

7 messages

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Aug 3, 2023 at 8:15 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

Ed and Annabelle,

We received a revised proposal from GGA for \$180,148. to deliver a set of Bridging Documents for Design-Build within 8 weeks, this includes a few weeks of coordination with the new vendor LifeArk and other departments and jurisdictions to establish a preliminary code review.

Please let Erik and Nathan know if they can release an NTP next week, they will coordinate a design kick-off with the team while I am on vacation next week.

A project budget is still not defined as we are still waiting on a final layout from LifeArk to commence a ROM.

Please reach out if you have any questions. Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



Edwin Gipson <edwin.gipson@lacity.org>

Fri, Aug 4, 2023 at 9:44 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Zachary Warma <zachary.warma@lacity.org>

How is this work being paid for?

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Aug 14, 2023 at 11:24 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Zachary,

Circling back to this email.

What is the plan for funding? We cannot proceed to bring on our consultant or have other departments investigate the storm drain condition without funding.

CPRA-15-BOE-000130

I am also concerned that LifeArk has been completing a lot of work without a contract in place.

Please let me know if you'd like to meet this week.

Thank you.

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, Aug 14, 2023 at 1:56 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Marina:

Thanks so much for the ping. And apologies for the radio silence - I just got back yesterday from a South America trip (and don't you get back into the office tomorrow? If so, apologies for this intrusion).

I want to note that Identifying the project's funding source is a key priority for the office. We have had recent conversations with the Council President's office, and we will be meeting with the CLA shortly. What will be incredibly helpful to know in the meantime, is what is the extent of work your team can continue doing prior to legislative action allocating the funds, and what steps are predicated on the financial disbursal.

We would love to arrange a meeting for this week - please let me know your team's avail in any of the following time slots:

- **Tuesday 8/15:** 11:15am-12:30pm; 2:30-3:30pm
- **Wednesday 8/16:** 11am--12pm; 1-2pm
- **Thursday 8/17:** 2:15pm-onward
- **Friday 8/18:** 10am-3pm

Cheers,

Zack

[Quoted text hidden]

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Nathan Ho <nathan.ho@lacity.org>

Mon, Aug 14, 2023 at 2:44 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hi Zack,

Hope you enjoyed the trip. Wednesday 8/16 11am-12pm would work for our team.

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

CPRA-15-BOE-000131

Email: nathan.ho@lacity.org



[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, Aug 14, 2023 at 2:49 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Nathan (and team):

Just sent a calendar invite for Wednesday at 11am. Thank you so much for your flexibility!

By way of a quick confirmation - I have kept this meeting exclusively to BOE and CD5. I just want to make sure this meeting is being considered separate from the meeting request you circulated earlier today to discuss LifeArk's proposed foundation plan.

Cheers,

Zack

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Mon, Aug 14, 2023 at 5:03 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hi Zack,

That's right. They should stay as separate meetings.

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Midvale: Tiny Home Village

2 messages

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Sep 13, 2023 at 10:32 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Gary Gero <gary.gero@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Hi Annabelle and Gary,

I am sending you the ROM for the proposed project, as I know that you will engage in conversation regarding moving forward.

The BOE staff has confirmed that the proposed installation is acceptable, we have yet to receive concurrence from LASAN. We will keep reaching out but I caution you in proceeding without hearing from them in writing.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



 **ROM_CD 5 Midvale LADOT 9-5-23.pdf**
81K

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Wed, Sep 13, 2023 at 10:41 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Thank you, Marina. If you need one of our teams to follow up with LASAN, please let us know.

Respectfully,

Annabelle Gonzales

Office of the City Administrative Officer

E: annabelle.gonzales@lacity.org

P: (213) 978-2752

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Motion: Language for Sole Source Contact

5 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Aug 4, 2023 at 11:11 AM

To: Jose FUENTES <jose.fuentes@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Jose,

CD 5 has drafted a motion for the Midvale site, they have asked BOE to review the language included for authorization to work directly with a contractor, can you please take a look, Erik will coordinate the changes with CD 5.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



CD5 Motion-2377 Midvale Ave Tiny Home.docx

19K

Jose FUENTES <jose.fuentes@lacity.org>

Fri, Aug 4, 2023 at 3:54 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Marina,

Please see my edits on the attached Motion. The biggest change was to the instruction for BOE.
I don't think we need to sole source the construction contract off the general MFPQC list for this project.
We should be following the same process we used for the CD1 Cypress (New Beginnings) project, except that we would install LifeArk units rather than Mobile Modular units.

I think BOE will need to have GGA prepare the bridging documents based on LifeArk's layout and other relevant drawings. We would then advertise the design/build project to the short list of pre-qualified temporary homeless housing contractors (Ford, Access, CS Legacy, etc.) as we have done for all of the other tiny home village projects.

For BOE's instruction in the motion, I used similar language as was used by CD 14 in their motion for the 850 N Mission site.

Do you agree?

[Quoted text hidden]

CPRA-15-BOE-000134

--
Jose Fuentes, PE, CCM

Deputy City Engineer | Engineering Services Program
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700
Los Angeles, CA 90015
Office: (213) 485-4906
Cell: (213) 923-6367



 **CD5 Motion-2377 Midvale Ave Tiny Home.docx**
20K

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Aug 4, 2023 at 6:47 PM

To: Jose FUENTES <jose.fuentes@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Deborah Weintraub <deborah.weintraub@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

I do agree, though CD5 would like to take advantage of the ordinance to sole source, they did not want to spend the time in advertising.

[Quoted text hidden]

Jose FUENTES <jose.fuentes@lacity.org>

Fri, Aug 4, 2023 at 8:39 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Deborah Weintraub <deborah.weintraub@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Honestly, we are better off letting the small group of contractors compete for the project. A sole source proposal will come with a significant premium. Also, the current lead time for electrical equipment is back up to 52 weeks or more. We may want to look at salvaging equipment from Aetna or Riverside.

[Quoted text hidden]

Deborah Weintraub <deborah.weintraub@lacity.org>

Mon, Aug 7, 2023 at 7:26 AM

To: Jose FUENTES <jose.fuentes@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Marina and Erik,

As we still have to do 30% design drawings, isn't it possible the current emergency authorization will expire? I am asking re: sole sourcing the design/build contractor.

I do agree with Jose that the City is better served by a short competitive bidding period from our list of approved contractors. It will mean the contractors and their associated architects & engineers will give competitive pricing. I think you need the CAO's support to discuss this with the Council office. From the perspective of the Council office, the units they are using are already more costly per bed than the tiny homes, and if there is no competition for design/build, they could end up with very high costs per bed.

CPRA-15-BOE-000135

Thanks,

Deborah

[Quoted text hidden]

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Deborah Weintraub, AIA, LEEDAP

Chief Deputy City Engineer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 700

Los Angeles, CA 90015-2213

T: 213-485-5499 C:213-923-6359

deborah.weintraub@lacity.org



<http://eng.lacity.org/>





Marina Quinonez <marina.quinonez@lacity.org>

CD 5 THV: 2377 Midvale Project

11 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 7, 2023 at 7:48 AM

To: Charles Wee <cwee@lifeark.net>, Gary Gero <gary.gero@lacity.org>, jdilworth@lifeark.net, Jose FUENTES <jose.fuentes@lacity.org>, mohsen_anis@hotmail.com, Paul Cho <pcho@lifeark.net>, relrabaa@gmail.com, Rebecca Wee <rwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>

Hello LifeArk team,

I am sending you the ordinance that lists the only requirements that must be met for the temporary interim housing shelters.

Please provide some availability to meet next week.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



Homeless Ordinance.pdf
3284K

Charles Wee <cwee@lifeark.net>

Sun, Jul 9, 2023 at 9:51 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>, jdilworth@lifeark.net, Jose FUENTES <jose.fuentes@lacity.org>, mohsen_anis@hotmail.com, Paul Cho <pcho@lifeark.net>, relrabaa@gmail.com, Rebecca Wee <rwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>

Hi Marina,

Thanks for sharing.

Not sure about everyone else on the team but we will make ourselves available for 10am or 1pm Wed and anytime Fri.

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, Jul 10, 2023 at 9:49 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>, jdilworth@lifeark.net, Jose FUENTES <jose.fuentes@lacity.org>, mohsen_anis@hotmail.com, Paul Cho <pcho@lifeark.net>, relrabaa@gmail.com, Rebecca Wee <rwee@lifeark.net>

10am Wednesday and all day Friday work for the CD5 team!

Thanks all!

- ZW

[Quoted text hidden]

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 18, 2023 at 2:47 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi CD 5 Team,

Some updates for you, please let me know your thoughts. Since this project has no funding, I would be wary about having LifeArk continue to do work on it, but I will defer to how you would like to handle the situation.

1. The survey will be ready at the end of this week, it can be sent to LifeArk to redesign the site or this could be something we do at a later time since we know that the number of units will stay consistent.
2. If we proceed with the current layout, we can start a ROM to establish a project budget, this will enable you to begin your request for funding. We can complete this by the end of next week.
3. We met with GSD-Procurement today, their process to sole source a commodities contract will not take long, LifeArk will need to upload information like insurance, warranties, etc, this is usually what can take a couple of weeks. We do not suggest you complete this portion until you have secured funding, it will be a tedious process for the vendor. GSD will need an RQM form (our admin will fill it out), a justification for the sole source, please send me some language you would like for us to include regarding CD 5, and a quote from the vendor. Once in place, the contract will be effective for one year with the option to extend.
4. If you have already selected a service provider, it is recommended that you have them look at the layout to ensure they can service the two separate lots as designed, we can assist with this process whenever you are ready.
5. GGA had some additional questions that needed answers for their consultants to submit a fee, we anticipate a proposal from them at the end of the week.

Please reach out to Erik and me with any questions you may have.

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Tue, Jul 18, 2023 at 3:49 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina and team:

Thank you for this exhaustive update, and for all the incredible work of you and your team.

While very much understanding (and appreciative) of your position given that the exact funding stream(s) has not been identified, multiple discussions with the Mayor's Office, Council President, and the CAO - the latter of which occurred this morning - we are exceedingly confident that the project will receive all necessary financial support.

CPRA-15-BOE-000138

To that end, please see below for responses / comments / follow up questions in red to the items you highlighted.

1. The survey will be ready at the end of this week, it can be sent to LifeArk to redesign the site or this could be something we do at a later time since we know that the number of units will stay consistent. - **Yes, please do send the site survey to LifeArk, in addition to CD-5, promptly upon its completion**

2. If we proceed with the current layout, we can start a ROM to establish a project budget, this will enable you to begin your request for funding. We can complete this by the end of next week. - **Amazing news! As also noted in item 4, we're meeting next week with LifeArk and LA Family Housing (the service provider) to review LifeArk's current proposal, before they submit the finalized layout. However, we do not anticipate any major changes to the overall plan, while not wanting to make duplicative work for your team. Does it make sense for you to hold off on the ROM before the updated layout is submitted, or should you proceed and we merely update you next week with whatever tweaks (if any) there are to the layout?**

3. We met with GSD-Procurement today, their process to sole source a commodities contract will not take long, LifeArk will need to upload information like insurance, warranties, etc, this is usually what can take a couple of weeks. We do not suggest you complete this portion until you have secured funding, it will be a tedious process for the vendor. - **While fully understanding your position, LifeArk has already expressed a desire to begin whatever work necessary to be ensure a prompt contract execution. Is it possible to receive at least a checklist of the materials/information they need to submit, if not the actual documents?**

GSD will need an RQM form (our admin will fill it out), a justification for the sole source, please send me some language you would like for us to include regarding CD 5, and a quote from the vendor. Once in place, the contract will be effective for one year with the option to extend. - **Would you mind providing a bit more information regarding the CD5 information? Is this something to the extent of explaining the contours of the homelessness crisis in the district/total dearth of any interim housing facilities serving individual adults, etc? And the LifeArk quote will just need to be a fuller budgetary breakdown of costs?**

4. If you have already selected a service provider, it is recommended that you have them look at the layout to ensure they can service the two separate lots as designed, we can assist with this process whenever you are ready. - **We have a a meeting setup next week for LA Family Housing (both their programs and development teams) to review the layout in meticulous detail.**

5. GGA had some additional questions that needed answers for their consultants to submit a fee, we anticipate a proposal from them at the end of the week. - **Appreciate the update!**

[Quoted text hidden]

[Quoted text hidden]

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cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall

200 North Spring St., Room 440

Los Angeles, CA 90012

Marina Quinonez <marina.quinonez@lacity.org>

To: Nathan Ho <nathan.ho@lacity.org>

Fri, Jul 21, 2023 at 11:28 AM

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Gary Gero

<gary.gero@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 24, 2023 at 4:52 PM

CPRA-15-BOE-000139

Hi Zachary,

Some updates for you:

1. The survey will be ready at the end of this week, it can be sent to LifeArk to redesign the site or this could be something we do at a later time since we know that the number of units will stay consistent. - **Yes, please do send the site survey to LifeArk, in addition to CD-5, promptly upon its completion. The survey has been sent along with the existing easement.**
2. If we proceed with the current layout, we can start a ROM to establish a project budget, this will enable you to begin your request for funding. We can complete this by the end of next week. - **Amazing news! As also noted in item 4, we're meeting next week with LifeArk and LA Family Housing (the service provider) to review LifeArk's current proposal, before they submit the finalized layout. However, we do not anticipate any major changes to the overall plan, while not wanting to make duplicative work for your team. Does it make sense for you to hold off on the ROM before the updated layout is submitted, or should you proceed and we merely update you next week with whatever tweaks (if any) there are to the layout? We will wait on the final layout from LifeArk, once received we will need to coordinate utility connection to get a proper estimate.**
3. We met with GSD-Procurement today, their process to sole source a commodities contract will not take long, LifeArk will need to upload information like insurance, warranties, etc, this is usually what can take a couple of weeks. We do not suggest you complete this portion until you have secured funding, it will be a tedious process for the vendor. - **While fully understanding your position, LifeArk has already expressed a desire to begin whatever work necessary to be ensure a prompt contract execution. Is it possible to receive at least a checklist of the materials/information they need to submit, if not the actual documents? Nathan, the assigned project manager for this project, will start the procurement process with GSD.**
- GSD will need an RQM form (our admin will fill it out), a justification for the sole source, please send me some language you would like for us to include regarding CD 5, and a quote from the vendor. Once in place, the contract will be effective for one year with the option to extend. - **Would you mind providing a bit more information regarding the CD5 information? Is this something to the extent of explaining the contours of the homelessness crisis in the district/total dearth of any interim housing facilities serving individual adults, etc? And the LifeArk quote will just need to be a fuller budgetary breakdown of costs? yes, cover the need for the shelter in your district and why you selected LifeArk. The total cost from LifeArk will be used by GSD to establish a contract use.**
4. If you have already selected a service provider, it is recommended that you have them look at the layout to ensure they can service the two separate lots as designed, we can assist with this process whenever you are ready. - **We have a a meeting setup next week for LA Family Housing (both their programs and development teams) to review the layout in meticulous detail. Please let us know if there were any changes requested.**
5. GGA had some additional questions that needed answers for their consultants to submit a fee, we anticipate a proposal from them at the end of the week. - **Appreciate the update! GGA's proposal was received this past Friday, the current amount is \$187,200. We see the possibilities to negotiate a lower fee since LifeArk will be completing the final layout, we will update you once we get a final fee proposal.**

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, Jul 27, 2023 at 1:22 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Cc: Gary Gero <gary.gero@lacity.org>

Marina, Erik, Jose, and Nathan (it's a pleasure to e-meet you, and we're so excited you are the PM for this project!):

A few updates on our end -

i. Layout: Yesterday, we had a robust discussion between LA Family Housing and LifeArk concerning the facility layout and site plan. Charles and his team are hoping to have the updated files circulated to the group by EOD tomorrow; the files will be promptly transmitted to all of you thereafter. The major issues that we're currently contending with that could substantially impact the layout are the following:

- Permissibility of encroaching on the storm drain easement (which you and your team have already been working on)

CPRA-15-BOE-000140

- Questions around LADWP demands over transformers and possible additional setbacks (emailing Albert HA/DWP this afternoon)
- Ensuring that this project is not required to conform to the city's Accessible Housing Program (AcHP)

Is there a way where the ROM and project budget can begin to be developed while these issues are resolved? Though again, we don't want to cause any duplicative work.

ii. CD5 statement: BOE, does this work for the office statement needed for the GSD RQM -

"In the Fifth Council District, there are currently zero interim housing beds for individual adults, and in the few pre-existing facilities less than 1 bed for every 8 unsheltered residents. This significantly hampers the ability of service providers to successfully transition unhoused residents off the streets and into permanent housing. The 2022 Greater Los Angeles Homeless Count indicates that 1301 individuals are experiencing homelessness in the district, of which approximately 64% are unsheltered. There is a clear and pressing need to bring new interim housing interventions online in a prompt and expeditious manner.

LifeArk SPC (LifeArk) is a prefabricated, modular company and a winner of the Los Angeles County Homeless Initiative Housing Innovation Challenge whose structural system and design is certified by the California Housing and Community Development Department for Factory-Built Housing and Components. LifeArk was selected by the Fifth Council District for their technical expertise, superior unit design, in-depth understanding of the state and local building codes, and a highly competitive cost per unit calculation."

Cheers,

Zack

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jul 27, 2023 at 1:44 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Gary Gero <gary.gero@lacity.org>

Thanks for the update.

i. Layout: Yesterday, we had a robust discussion between LA Family Housing and LifeArk concerning the facility layout and site plan. Charles and his team are hoping to have the updated files circulated to the group by EOD tomorrow; the files will be promptly transmitted to all of you thereafter. The major issues that we're currently contending with that could substantially impact the layout are the following:

- Permissibility of encroaching on the storm drain easement (which you and your team have already been working on) [Working on it](#)
- Questions around LADWP demands over transformers and possible additional setbacks (emailing Albert HA/DWP this afternoon) [Our Electrical Engineer can assist as needed, we have collaborated with DWP substantially](#)
- Ensuring that this project is not required to conform to the city's Accessible Housing Program (AcHP) [None of the interim housing shelters have had to comply with the Accessible Housing Program, not even our residential housing site. Who flagged this for you?](#)

Is there a way where the ROM and project budget can begin to be developed while these issues are resolved? Though again, we don't want to cause any duplicative work. [without knowing the info that is outstanding, it is challenging to start an estimate. Especially if there is a change in the number of units, this affects utilities and all other site improvements..](#)

ii. CD5 statement: BOE, does this work for the office statement needed for the GSD RQM - [Perfect!](#)

"In the Fifth Council District, there are currently zero interim housing beds for individual adults, and in the few pre-existing facilities less than 1 bed for every 8 unsheltered residents. This significantly hampers the ability of service providers to successfully transition unhoused residents off the streets and into permanent housing. The 2022 Greater Los Angeles Homeless Count indicates that 1301 individuals are experiencing homelessness in the district, of which approximately 64% are unsheltered. There is a clear and pressing need to bring new interim housing interventions online in a prompt and expeditious manner.

LifeArk SPC (LifeArk) is a prefabricated, modular company and a winner of the Los Angeles County Homeless Initiative Housing Innovation Challenge whose structural system and design is certified by the California Housing and Community Development Department for Factory-Built Housing and Components. LifeArk was selected by the Fifth Council District

CPRA-15-BOE-000141

for their technical expertise, superior unit design, in-depth understanding of the state and local building codes, and a highly competitive cost per unit calculation."

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, Jul 27, 2023 at 2:19 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina:

See my additional comments below.

On Thu, Jul 27, 2023 at 1:45 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Thanks for the update.

i. Layout: Yesterday, we had a robust discussion between LA Family Housing and LifeArk concerning the facility layout and site plan. Charles and his team are hoping to have the updated files circulated to the group by EOD tomorrow; the files will be promptly transmitted to all of you thereafter. The major issues that we're currently contending with that could substantially impact the layout are the following:

- Permissibility of encroaching on the storm drain easement (which you and your team have already been working on) **Working on it. There is a round of rather nice cocktails (or non-alcoholic beverages) I owe your team once this thing opens.**
- Questions around LADWP demands over transformers and possible additional setbacks (emailing Albert HA/DWP this afternoon) **Our Electrical Engineer can assist as needed, we have collaborated with DWP substantially. Fantastic - at what point can we start engaging / what is the appropriate process to begin this?**
- Ensuring that this project is not required to conform to the city's Accessible Housing Program (AcHP) **None of the interim housing shelters have had to comply with the Accessible Housing Program, not even our residential housing site. Who flagged this for you? Oh this is absolutely huge. LA Family Housing's head of Real Estate mentioned AcHP was a major issue at an IH site of theirs; Tricia Keane at LAHD preliminarily indicated we would need to comply. We have an 11:30am meeting on 8/3 with Tricia, Joel Launchbaugh, Jorge Alcantar? How can we put this issue to rest? Should I send correspondence connecting all of us with LAHD? We very much need this item to be put to rest, otherwise the project may not pencil out.**

Is there a way where the ROM and project budget can begin to be developed while these issues are resolved? Though again, we don't want to cause any duplicative work. **without knowing the info that is outstanding, it is challenging to start an estimate. Especially if there is a change in the number of units, this affects utilities and all other site improvements..Understood. Hope to have what we feel is the final layout on our end very shortly.**

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jul 27, 2023 at 2:39 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Gary Gero <gary.gero@lacity.org>

- Permissibility of encroaching on the storm drain easement (which you and your team have already been working on) **Working on it. There is a round of rather nice cocktails (or non-alcoholic beverages) I owe your team once this thing opens. This is an exciting project, we will definitely celebrate!**
- Questions around LADWP demands over transformers and possible additional setbacks (emailing Albert HA/DWP this afternoon) **Our Electrical Engineer can assist as needed, we have collaborated with DWP substantially. Fantastic - at what point can we start engaging / what is the appropriate process to begin this? Once you have an idea of the power requirements, we can assess if a transformer is needed and what kind of clearances will apply.**
- Ensuring that this project is not required to conform to the city's Accessible Housing Program (AcHP) **None of the interim housing shelters have had to comply with the Accessible Housing Program, not even our residential**

CPRA-15-BOE-000142

housing site. Who flagged this for you? Oh this is *absolutely* huge. LA Family Housing's head of Real Estate mentioned ACHP was a major issue at an IH site of theirs; Tricia Keane at LAHD preliminarily indicated we would need to comply. We have an 11:30am meeting on 8/3 with Tricia, Joel Launchbaugh, Jorge Alcantar? How can we put this issue to rest? Should I send correspondence connecting all of us with LAHD? We very much need this item to be put to rest, otherwise the project may not pencil out. Not sure why LA Family Housing is involved, your site will be a temporary interim housing project, built under section 12.80. Unless you have now decided to build a permanent interim housing project. I have attached the ordinance that lists the only requirements that must be met.

-

[Quoted text hidden]

[Quoted text hidden]



Homeless Ordinance.pdf

3284K



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 THV: New Proposal

8 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 7, 2023 at 8:20 AM

To: "Mary Wu, AIA" <mwu@ggarch.com>, "Ali Barar, AIA" <abarar@ggarch.com>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Ali and Mary,

Hope you are well. CD 5 would like to build a THV with a different product, I am sending you the information I have. We would like to receive a proposal from you to complete a bridging set for all disciplines. Your proposal should include time to meet and coordinate with LifeArk, all their products are state certified and will be purchased by the City. The intention is to keep this shelter in place for 10 years.

The biggest difference here is that the GC will only work on the site and utility connections, no structures.

Please let me know if you would like to meet Monday to discuss this new project.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



2 attachments



CD5-2377 Midvale-CLA-pre-submission-final (1).pdf

4018K



CD5-Hope Pavilion-final.pdf

6852K

Mary Wu <mwu@ggarch.com>

Fri, Jul 7, 2023 at 9:14 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Ali Barar <abarar@ggarch.com>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

Yes, we would like to discuss the project on Monday morning before 11:00 am. Exciting to hear all about it. Thanks.

Mary **CPRA-15-BOE-000144**

Mary Wu, AIA
Associate Principal

GGA+
135 WEST GREEN ST #200 PASADENA, CA 91105
626 568 1428 Ext. 207
GGARCH.COM

From: Marina Quinonez <marina.quinonez@lacity.org>
Sent: Friday, July 7, 2023 8:21 AM
To: Mary Wu <mwu@ggarch.com>; Ali Barar <abarar@ggarch.com>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>
Subject: CD 5 THV: New Proposal

Hi Ali and Mary,

Hope you are well. CD 5 would like to build a THV with a different product, I am sending you the information I have. We would like to receive a proposal from you to complete a bridging set for all disciplines. Your proposal should include time to meet and coordinate with LifeArk, all their products are state certified and will be purchased by the City. The intention is to keep this shelter in place for 10 years.

The biggest difference here is that the GC will only work on the site and utility connections, no structures.

Please let me know if you would like to meet Monday to discuss this new project.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org

Mary Wu <mwu@ggarch.com>

Mon, Jul 10, 2023 at 9:02 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Ali Barar <abarar@ggarch.com>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

Are you available this morning to discuss the new project?

Thanks

Mary

Sent from my iPhone

Mary Wu, AIA

Associate Principal

GGA+

135 WEST GREEN ST #200 PASADENA, CA 91105

626 568 1428 Ext. 207

GGARCH.COM

On Jul 7, 2023, at 9:14 AM, Mary Wu <mwu@ggarch.com> wrote:

Hi Marina,

Yes, we would like to discuss the project on Monday morning before 11:00 am. Exciting to hear all about it. Thanks.

Mary

From: Marina Quinonez <marina.quinonez@lacity.org>

Sent: Friday, July 7, 2023 8:21 AM

To: Mary Wu <mwu@ggarch.com>; Ali Barar <abarar@ggarch.com>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Subject: CD 5 THV: New Proposal

Hi Ali and Mary,

Hope you are well. CD 5 would like to build a THV with a different product, I am sending you the information I have. We would like to receive a proposal from you to complete a bridging set for all disciplines. Your proposal should include time to meet and coordinate with LifeArk, all their products are state certified and will be purchased by the City. The intention is to keep this shelter in place for 10 years.

The biggest difference here is that the GC will only work on the site and utility connections, no structures.

CPRA-15-BOE-000146

Please let me know if you would like to meet Monday to discuss this new project.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect

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1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org

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1K

Marina Quinonez <marina.quinonez@lacity.org>

To: Mary Wu <mwu@ggarch.com>

Cc: Ali Barar <abarar@ggarch.com>, Erik Villanueva <Erik.Villanueva@lacity.org>

Mon, Jul 10, 2023 at 9:33 AM

Mary, can we meet tomorrow at 10 am?

Marina Quiñónez, AIA

Architectural Division | Senior Architect

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O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org

CPRA-15-BOE-000147

[Quoted text hidden]

Mary Wu <mwu@ggarch.com>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Ali Barar <abarar@ggarch.com>, Erik Villanueva <Erik.Villanueva@lacity.org>

Mon, Jul 10, 2023 at 9:52 AM

Great! Let me send you the Zoom invite. Thanks.

Mary

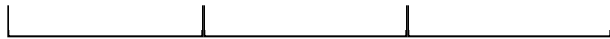
Mary Wu, AIA
Associate Principal

GGA+
[135 WEST GREEN ST #200 PASADENA, CA 91105](#)
626 568 1428 Ext. 207
[GGARCH.COM](#)

From: Marina Quinonez <marina.quinonez@lacity.org>
Sent: Monday, July 10, 2023 9:33 AM
To: Mary Wu <mwu@ggarch.com>
Cc: Ali Barar <abarar@ggarch.com>; Erik Villanueva <Erik.Villanueva@lacity.org>
Subject: Re: CD 5 THV: New Proposal

Mary, can we meet tomorrow at 10 am?

Marina Quiñónez, AIA
Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Mon, Jul 10, 2023 at 9:02 AM Mary Wu <mwu@ggarch.com> wrote:

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 14, 2023 at 7:44 AM

To: Mary Wu <mwu@ggarch.com>

Cc: Ali Barar <abarar@ggarch.com>, Erik Villanueva <Erik.Villanueva@lacity.org>, Carolina Elias <celias@ggarch.com>

Mary,

The layout for Midvale is set, we will not need to comply with adaptability, please submit your proposal according to the information you received.

LADBS does not consider the units "dwellings" unless they have a kitchen.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



[Quoted text hidden]

Mary Wu <mwu@ggarch.com>

Fri, Jul 14, 2023 at 11:20 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Ali Barar <abarar@ggarch.com>, Erik Villanueva <Erik.Villanueva@lacity.org>, Carolina Elias <celias@ggarch.com>

Hi Marina,

Thanks for the update. To prepare the fee proposal reflecting the scope, would you please respond to the questions below:

CPRA-15-BOE-000149

1. Do we provide a guard booth?
2. Do we provide an Administrative space using the same type of module unit? How many units?
3. Is there a permanent overhead canopy over the eating area? Or we just provide table/bench with umbrella?
4. Can we design landscaping area throughout the site?
5. Using the raised decking to access the modules will be tricky if the grade is not level, has survey been done for this site?
6. How many double occupant units should we provide?
7. Do we provide fire sprinkler system and fire alarm system?
8. Do we need fire lane within the site? Technically fire fighting can be done on the street as long as it can reach 150'
9. We will coordinate with LifeArk in terms of utilities and equipment connection, structural support, access, and clearances, do we need to review shop drawings?

We will submit the fee proposal to you by next week and thank you for the opportunity, Marina.

Mary

Mary Wu, AIA
Associate Principal

GGA+
135 WEST GREEN ST #200 PASADENA, CA 91105
626 568 1428 Ext. 207
GGARCH.COM

From: Marina Quinonez <marina.quinonez@lacity.org>
Sent: Friday, July 14, 2023 7:44 AM
To: Mary Wu <mwu@ggarch.com>
Cc: Ali Barar <abarar@ggarch.com>; Erik Villanueva <Erik.Villanueva@lacity.org>; Carolina Elias <celias@ggarch.com>
Subject: Re: CD 5 THV: New Proposal

Mary,

The layout for Midvale is set, we will not need to comply with adaptability, please submit your proposal according to the information you received.

LADBS does not consider the units "dwellings" unless they have a kitchen.

Thank you

Marina Quiñónez, AIA

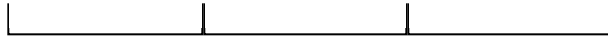
Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

[1149 S. Broadway St., suite 830](#)

[Los Angeles, CA 90015](#)

[CPRA-15-BOE-000150](#)



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Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 14, 2023 at 11:32 AM

To: Mary Wu <mwu@ggarch.com>

Cc: Ali Barar <abarar@ggarch.com>, Erik Villanueva <Erik.Villanueva@lacity.org>, Carolina Elias <celias@ggarch.com>

1. Do we provide a guard booth? yes
2. Do we provide an Administrative space using the same type of module unit? How many units? [The admin spaces have been included in the proposed design](#)
3. Is there a permanent overhead canopy over the eating area? Or we just provide table/bench with umbrella? [The proposal shows a cover, we need to confirm that it will be code compliant with the required separation](#)
4. Can we design landscaping area throughout the site? [there is landscape proposed](#)
5. Using the raised decking to access the modules will be tricky if the grade is not level, has survey been done for this site? [a Survey will be ready next Friday](#)
6. How many double occupant units should we provide? [the layout has been completed, all units are single accommodation.](#)
7. Do we provide fire sprinkler system and fire alarm system? [yes, the units are already designed with sprinklers and fire alarms](#)
8. Do we need fire lane within the site? Technically fire fighting can be done on the street as long as it can reach 150' [No, LAFD has already confirmed](#)
9. We will coordinate with LifeArk in terms of utilities and equipment connection, structural support, access, and clearances, do we need to review shop drawings? [no shop drawings will be reviewed for LifeArk product](#)

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



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Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Tiny Home Village: LifeArk Proposal

18 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 7, 2023 at 8:13 AM

To: Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Hani Malki <hani.malki@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Shine Lin <shine.lin@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>, Negar Nejad <negar.nejad@lacity.org>, Isaac Almaraz <isaac.almaraz@lacity.org>, Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>, Son Vuong <Son.Vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Good morning everyone,

CD 5 has decided to build a tiny home village with a different product, I am sending you their proposal. CD 5 would like to arrange a meeting early next week to finalize the design and would like to ensure that issues are resolved early on.

Please take a moment and review the pre-submission file and have comments ready for our meeting, we understand that these are preliminary and you may not have specific comments. The residential units are state certified. Some key items the team would like to discuss are the following:

1. Fire access to the site through the alley and the street, and required pedestrian gates.
2. Required setbacks from lot lines along the north to a residential neighborhood and the west to commercial buildings.
3. The site is intended to be in place for 10 years, how does this impact the "temporary" status?
4. Permanent foundations are being considered, how does this impact the "temporary" status?
5. What will the requirements be for anchoring to the asphalt? LifeArk's state certification includes the anchoring
6. Requirements for accessibility and adaptability, LifeArk does not believe that all lower units need to comply with adaptability. LifeArk's interpretation is that a bed and a restroom do not fit a "dwelling" category.
7. What green requirements would impact the current design?
8. According to LifeArk, the units meet title 24 requirements

Thank you for your continued collaboration.

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



2 attachments



CD5-2377 Midvale-CLA-pre-submission-final (1).pdf
4018K



CD5-Hope Pavilion-final.pdf
6852K

To: marina.quinonez@lacity.org

For projects that qualify, please schedule a virtual or in-person counter appointment at this link: <https://appointments.lacity.org/apptsys/Public/Account>

- General emails to me have a 3 business day turnaround time(Tuesday - Friday). **Off Every Monday**

--

Pejman Noori
Fire Protection Engineer Associate IV
Los Angeles Fire Department Fire Prevention Bureau
213-392-6507

<http://www.lafd.org/customer-survey>

This electronic message transmission contains information from the Los Angeles Fire Department which may be confidential or proprietary. If you are not the intended recipient, be aware that any disclosure, copying, distribution or unauthorized use of the content of this information is prohibited. If you have received this communication in error, please notify us immediately by e-mail and delete the original message and any attachments without reading or saving in any manner.

Menoa Aghajani <menoa.aghajani@lacity.org>

Fri, Jul 7, 2023 at 8:14 AM

To: marina.quinonez@lacity.org

Automated Reply

Responses will be made as soon as is practical and our goal is to reply within 72 business hours.

For general plan check questions or for technical support with your FIMS customer account, please email lafd.fdsapplication@lacity.org.

For technical support regarding your Angeleno Account, please visit <https://angeleno.lacity.org/help>.

For Inspection-related questions, please email lafddss@lacity.org.

For Hydrants & Access questions, please email lafdhydrants@lacity.org.

*Click here for instructions for how to submit plans and/or Mods to plan check for review.

<https://docs.google.com/document/d/1WSUthUMUqI62k8x970qru-ZI2e_9U4qPH0NI-sn-tQ4/edit?usp=sharing>*

--



Menoa Aghajani, PE

Fire Protection Engineering Associate IV

Los Angeles Fire Department Fire Prevention Bureau

(213)482-6925 / (213)574-5821



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Sameh Bolous <sameh.bolous@lacity.org>

Fri, Jul 7, 2023 at 8:23 AM

Hi Sameh,

Missed you in the cc. Sending this over for your reference. Perhaps you will not have comments but wanted to include you.

Thank you

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2 attachments



CD5-2377 Midvale-CLA-pre-submission-final (1).pdf
4018K



CD5-Hope Pavilion-final.pdf
6852K

Sameh Bolous <sameh.bolous@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Fri, Jul 7, 2023 at 9:22 AM

Hi Marina,

Thank you for your email. I do not have any comments.

Best,

Sameh Bolous, P.E.

[Los Angeles Dept. of Building & Safety](#)

[6262 Van Nuys Blvd, 2nd Floor, Room 251 Van Nuys, CA 91401](#)

Phone: [\(818\)374-4365](tel:(818)374-4365)

Cell: [\(818\)374-4388](tel:(818)374-4388)

We strive to answer all emails within 2 business days.

For general Zoning and Building code questions, please refer to call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

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Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jul 10, 2023 at 8:04 AM

To: Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Hani Malki <hani.malki@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Shine Lin <shine.lin@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>, Negar Nejad <negar.nejad@lacity.org>, Isaac Almaraz <isaac.almaraz@lacity.org>, Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>, Son Vuong <Son.Vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Please let me know if this Wednesday works at 10 am or 1 pm, or if Friday would be best.

Thank you

[Quoted text hidden]

[Quoted text hidden]

Eugene Barbeau <Eugene.Barbeau@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jul 10, 2023 at 8:39 AM

Wednesday works for me; I won't be in the office on Friday.

[Quoted text hidden]

Isaac Almaraz <isaac.almaraz@lacity.org>
CPRA-15-BOE-000155

Mon, Jul 10, 2023 at 4:22 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Greetings Marina,

I will be available on Wednesday(07/12) at 10am or 1pm. Either time works for me. Are there any electrical plan check questions for this project?

All the best,

Isaac Almaraz, M.S., P.E.

Building Electrical Engineer

Los Angeles Department of Building and Safety

201 N Figueroa St, 5th floor

Los Angeles, CA 90012

P: 213-482-0035

isaac.almaraz@lacity.org



For general Zoning and Building code questions, please refer to call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

Code question? Contact our Electrical Code desk via:

(213) 732-0903 or Elie.Maalouf@lacity.org

[ePlan LA portal](#)

[Schedule Appointment \(Electrical Counter: Metro or Van Nuys\)](#)

[RTI Permit Issuance for ePlans \(C10\):](#)

[Status of permit:](#)

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jul 10, 2023 at 5:02 PM

To: Isaac Almaraz <isaac.almaraz@lacity.org>

not yet, we need to meet with the vendor to see if they have any questions for you or if you have any initial comments on their proposal.

[Quoted text hidden]

[Quoted text hidden]

Kevin Easton <kevin.easton@lacity.org>

Mon, Jul 10, 2023 at 9:12 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Marina,

I have contacted my team to see what time and day works best. I will let you know ASAP.

Thank you,

Kevin J Easton

Captain I

Los Angeles City Fire Department

Affordable Housing Unit

Fire Development Services

201 N. Figueroa St.

CPRA-15-BOE-000156

Suite 210
Los Angeles, CA 90012

Office 213-482-6578
Fax 213-482-6949
kevin.easton@lacity.org

****Normal day off Friday****

"Never let success get in your head; never let failure get in your heart."

<http://www.lafd.org/customer-survey>

[Quoted text hidden]

Faruk Sezer <faruk.sezer@lacity.org>

Tue, Jul 11, 2023 at 7:00 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Hani Malki <hani.malki@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Shine Lin <shine.lin@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>, Negar Nejad <negar.nejad@lacity.org>, Isaac Almaraz <isaac.almaraz@lacity.org>, Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>, Son Vuong <Son.Vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Friday works the best for me but I can make it for tomorrow as well.

Thank you.

*****I will be out of office on every other MONDAY;**

*****We strive to answer all emails within 48 hours.**

Faruk Sezer, MS, PE, CASp, I.C.C
Disabled Access Section
Los Angeles Department of Building and Safety
[201 N. Figueroa St. Room 880](#)
[Los Angeles, CA 90012](#)
213.482.0093

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: [LADBS.org](#) and [Continuity of Operations for LADBS](#)

[Quoted text hidden]

Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>

Tue, Jul 11, 2023 at 7:32 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Good morning Marina,

Do you need mechanical plan check in your meeting? None of the questions in the previous email are within the scope of mechanical plan check. If you do, I am available tomorrow at 1 pm.

Cristina

[Quoted text hidden]

--

*Cristina Acevedo-Leija, P.E.
Mechanical Plan Check Engineer
[201 N. Figueroa Street, 4th Floor](#)
[Los Angeles, CA 90012](#)
Phone: (213) 202-9902*

To check the status of a plan check or permit, please click [here](#)

We strive to answer all emails within 2 business days.

For general Zoning and Building code questions, please refer to call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org

Marina Quinonez <marina.quinonez@lacity.org>
To: Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>

Tue, Jul 11, 2023 at 7:41 AM

Hi Cristina,

Only if you have comments/suggestions, I know this is early on in the design process.

[Quoted text hidden]

[Quoted text hidden]

Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 11, 2023 at 8:10 AM

For plumbing, if the units are State approved, we just really check the outside of the building. Like we have been for all the other projects. I don't really see a need for us to be in the meeting.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>

Tue, Jul 11, 2023 at 8:21 AM

Ok, thank you.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Deborah Weintraub <Deborah.Weintraub@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Tue, Jul 11, 2023 at 2:57 PM

Deborah,

Sending this over for your reference.

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----
From: **Marina Quinonez** <marina.quinonez@lacity.org>
CPRA-15-BOE-000158

Date: Fri, Jul 7, 2023 at 8:13 AM

Subject: CD 5 Tiny Home Village: LifeArk Proposal

To: Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Hani Malki <hani.malki@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Shine Lin <shine.lin@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>, Negar Nejad <negar.nejad@lacity.org>, Isaac Almaraz <isaac.almaraz@lacity.org>, Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>, Son Vuong <Son.Vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

[Quoted text hidden]

2 attachments



CD5-2377 Midvale-CLA-pre-submission-final (1).pdf
4018K



CD5-Hope Pavilion-final.pdf
6852K

Marina Quinonez <marina.quinonez@lacity.org>
To: Sean Dang <sean.dang@lacity.org>

Tue, Jul 18, 2023 at 11:53 AM

Hi, making sure you received this.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>

Date: Fri, Jul 7, 2023 at 8:13 AM

Subject: CD 5 Tiny Home Village: LifeArk Proposal

To: Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Faruk Sezer <faruk.sezer@lacity.org>, Hani Malki <hani.malki@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Shine Lin <shine.lin@lacity.org>, Kevin Easton <kevin.easton@lacity.org>, Laurinda Meade <laurinda.meade@lacity.org>, Negar Nejad <negar.nejad@lacity.org>, Isaac Almaraz <isaac.almaraz@lacity.org>, Cristina Acevedo-Leija <Cristina.Acevedo-Leija@lacity.org>, Son Vuong <Son.Vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

[Quoted text hidden]

2 attachments



CD5-2377 Midvale-CLA-pre-submission-final (1).pdf
4018K



CD5-Hope Pavilion-final.pdf
6852K

Sean Dang <sean.dang@lacity.org>

To: Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 18, 2023 at 2:22 PM

received. thanks.

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD 5 Tiny Home Village: Midvale

4 messages

Marina Quinonez <marina.quinonez@lacity.org>

Tue, May 9, 2023 at 10:09 AM

To: Uriel Jimenez <uriel.jimenez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Uri,

CD 5 would like to know the process that BOE would need to follow to close off a portion of an Alley. We confirmed with LADOT that this alley is under BOE's jurisdiction.

The proposal would close a portion at the end of an alley, please refer to the attached file for reference.

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



CD5 Midvale THV_042523.pdf

2521K

Marina Quinonez <marina.quinonez@lacity.org>

Tue, May 9, 2023 at 10:17 AM

To: Janelle Parra <janelle.parra@lacity.org>, Jason Vargas <jason.vargas@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Janelle and Jason, I got a notice that Uri is out, hope you can help with input as soon as possible.

CD 5 would like to know the process that BOE would need to follow to close off a portion of an Alley. We confirmed with LADOT that this alley is under BOE's jurisdiction.

The proposal would close a portion at the end of an alley, please refer to the attached file for reference.

Thank you

[Quoted text hidden]



CD5 Midvale THV_042523.pdf

2521K

Uriel Jimenez <uriel.jimenez@lacity.org>

Fri, May 26, 2023 at 4:55 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Janelle Parra <janelle.parra@lacity.org>, Jonathan Quan <jonathan.quan@lacity.org>

CPRA-15-BOE-000161

Hi Marina,

Thank you for your patience, I've been off for a couple of weeks. We assisted in a similar situation on San Fernando Rd., however in that case I'm not sure that the area was functioning right of way like this alley appears.

As such, we'll need to run this by the City Attorney's office, closing and opening streets and alleys in the City has been a thorn in some of our sides. That said,

Can you tell us how long the City would close the alley for? We may be able to close it on a temporary basis.

Thank you and have a great weekend!

Uri Jimenez
Real Estate Division / Chief Real Estate Officer II
1149 S. Broadway, Suite 610, Mail Stop 515
Los Angeles, CA 90015
Phone - (213) 485-5787
E-Mail uriel.jimenez@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Sat, May 27, 2023 at 10:29 AM

To: Uriel Jimenez <uriel.jimenez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Janelle Parra <janelle.parra@lacity.org>, Jonathan Quan <jonathan.quan@lacity.org>

Hi Uri,

The alley would be closed for 5 to 7 years.

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD 5: Midvale_ Public housing Code

2 messages

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Jun 21, 2023 at 1:04 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Hi Zack,

Please see below for the information pertaining to Mobility and Adaptability:

Public Housing is under 11B-233 which has requirements for Mobility units, Visually impaired units and adaptable units. Please see below for Public housing definition and section 11B-233.

PUBLIC HOUSING. [DSA-AC & HCD 1-AC] Housing facilities owned, operated, or constructed by, for or on behalf of a public entity including but not limited to the following:

- 1. Publically owned and/or operated one- or two-family dwelling units or congregate residences;*
- 2. Publically owned and/or operated buildings or complexes with three or more residential dwelling units;*
- 3. Reserved.*
- 4. Publically owned and/or operated homeless shelters, group homes and similar social service establishments;*
- 5. Publically owned and/or operated transient lodging, such as hotels, motels, hostels and other facilities providing accommodations of a short term nature of not more than 30 days duration;*
- 6. Housing at a place of education owned or operated by a public entity, such as housing on or serving a public school, public college or public university campus;*
- 7. Privately owned housing made available for public use as housing.*

11B-233.1 General

Public housing facilities with residential dwelling units shall comply with Section 11B-233. See Chapter 2, Section 202 of this code for the definition of Public Housing.

11B-233.2 Reserved

11B-233.3 Public Housing Facilities

Public housing facilities with residential dwelling units shall comply with Section 11B-233.3.

Note: Senior citizen housing may also be subject to Civil Code, Division 1. Part 2. Sections 51.2, 51.3 and 51.4.

11B-233.3.1 Minimum Number: New Construction

Newly constructed facilities with residential dwelling units shall comply with Section 11B-233.3.1.

Exception: Where facilities contain 15 or fewer residential dwelling units, the requirements of Sections 11B-233.3.1.1 and 11B-233.3.1.3 shall apply to the total number of residential dwelling units that are constructed under a single contract, or are developed as a whole, whether or not located on a common site.

11B-233.3.1.1 Residential Dwelling Units With Mobility Features

In facilities with residential dwelling units, at least 5 percent, but no fewer than one unit, of the total number of residential dwelling units shall provide mobility features complying with Sections 11B-809.2 through 11B-809.4 and shall be on an accessible route as required by Section 11B-206.

11B-233.3.1.2 Residential Dwelling Units With Adaptable Features

In facilities with residential dwelling units, adaptable residential dwelling units complying with Sections 11B-809.6 through 11B-809.12 shall be provided as required by Sections 11B-233.3.1.2.1 through 11B-233.3.1.2.6. Adaptable residential dwelling units shall be on an accessible route as required by Section 11B-206.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



Marina Quinonez <marina.quinonez@lacity.org>

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Zack,

Wed, Jun 21, 2023 at 4:20 PM

CPRA-15-BOE-000164

We received confirmation that a vent currently at the corner of Midvale and Pico is part of the neighborhood storm drain system, it must remain protected on site. This will likely eliminate a unit at the southeast corner unless you are able to get a revocable permit to build on top of the easement, a redesign would be needed.



[Quoted text hidden]

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD5 Midvale contract

15 messages

Paul Cho <pcho@lifeark.net>

Fri, Oct 27, 2023 at 9:38 AM

To: Connie Espinoza <CONNIE.ESPINOZA@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Connie,

Following up again on the status of the contract for the Midvale interim housing project. We need to enter into a contract for LifeArk to begin preparation for the project. Let me know if you need anything from us for the contracting. Thank you.

Regards,

Paul Cho

CFO

(424) 888-7666



CONFIDENTIALITY NOTE: The information transmitted, including attachments, is intended only for the person(s) or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and destroy any copies of this information.

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Oct 27, 2023 at 9:48 AM

To: Paul Cho <pcho@lifeark.net>

Cc: Connie Espinoza <CONNIE.ESPINOZA@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Good morning Paul,

Connie is waiting on an RQM form from our Analyst, it should be completed shortly. Funds are being processed, though already approved, the controller's office needs to transfer funds.

Zachary, Connie needs confirmation that the emergency declaration is still in place, do you have a council file of the extension? I could not find it on the city clerk website.

Lastly, please add Nathan to all correspondence.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



CPRA-15-BOE-000166

[Quoted text hidden]

Connie Espinoza <connie.espinoza@lacity.org>

Fri, Oct 27, 2023 at 9:50 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Paul Cho <pcho@lifeark.net>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Martha Medina <martha.medina@lacity.org>

Thank you Marina, adding Martha Medina to the thread - Martha will be processing the RQM.

Connie Espinoza, Supply Services Manager I

Department of General Services

Supply Chain Services

Ph: 213-928-9546

Fx: 213-928-9511

The Supply Services Division's mission is to procure all supplies, equipment and services in a cost-effective and timely manner. In attempting to fulfill this mission, all qualified suppliers will be given an equal opportunity to do business with the City.

[Quoted text hidden]

Paul Cho <pcho@lifeark.net>

Fri, Oct 27, 2023 at 9:50 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Connie Espinoza <CONNIE.ESPINOZA@lacity.org>, Charles Wee <cwee@lifeark.net>, Zachary Warma <zachary.warma@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Marina,

Thank you for the update.

Regards,

Paul Cho

CFO

(424) 888-7666



CONFIDENTIALITY NOTE: The information transmitted, including attachments, is intended only for the person(s) or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and destroy any copies of this information.

On Fri, Oct 27, 2023 at 9:48 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Fri, Oct 27, 2023 at 2:15 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>

Marina, Connie, and Martha:

CPRA-15-BOE-000167

I checked in with the Mayor's Office, and the Emergency Declaration renewal/extension should actually be voted on by Council next week. I will provide the CF upon its publishing.

I will note that the revised declaration can be found in [CF: 23-0652](#) and [CF: 23-0652-S1](#), though the files are admittedly a bit convoluted.

Cheers,

Zack

[Quoted text hidden]

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Oct 27, 2023 at 2:21 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Charles Wee <cwee@lifeark.net>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>

Thank you Zack.

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Fri, Oct 27, 2023 at 4:17 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>

Marina, Connie, and Martha:

Apologies - the Council File on this is even more muddled than I thought. The actual Council File is [CF: 22-1545](#). You can find the [current July declaration here](#).

Next Tuesday, the Council will be voting on extending the Emergency Declaration ([item 23](#)). Here is the draft resolution ([link](#)).

- ZW

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Oct 31, 2023 at 7:59 AM

To: Zachary Warma <zachary.warma@lacity.org>, Charles Wee <cwee@lifeark.net>

Cc: Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>

Thank You Zack,

LifeArk Team, what is your availability to meet this week? I am available Wednesday between 10 and 11 or 1 to 3pm, Friday 10 to 11am.

I would like to review a draft schedule with you, please provide the following durations:

1. Completion of drawings
2. State plan check and certification

CPRA-15-BOE-000168

3. Fabrication
4. Delivery
5. On-site assembly (construction duration for the project will be 120 days)
6. Testing and Inspections

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Tue, Oct 31, 2023 at 8:41 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Charles Wee <cwee@lifeark.net>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>

Marina:

Wednesday 10-11am, Friday 10-11am both work great for CD5.

If necessary, can make Wednesday 1-1:30 or 2:30-3pm work.

Thank you so much for getting the ball rolling on this meeting! Very excited to chat through all of this with the group!

- ZW

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Oct 31, 2023 at 9:24 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

Hi Marina,

LifeArk team is OK for both days and times.

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Oct 31, 2023 at 2:49 PM

To: Charles Wee <cwee@lifeark.net>

Cc: Zachary Warma <zachary.warma@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

LifeArk team, in hopes of having a productive meeting, we created a draft schedule for discussion, as mentioned earlier, please provide durations for the listed items below, and we will update the draft.

1. Completion of drawings
2. State plan check and certification
3. Fabrication
4. Delivery
5. On-site assembly (construction duration for the project will be 120 days)
6. Testing and Inspections

[Quoted text hidden]

[Quoted text hidden]



Charles Wee <cwee@lifeark.net>

Tue, Oct 31, 2023 at 3:08 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

Hi Marina,

Thanks for providing this. OK, let us look at this and provide the team with the duration for 9 items below before the meeting and we can go over it together tomorrow.

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Nov 1, 2023 at 6:03 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

Good morning Marina,

Here is an updated draft Lifeark schedule based on the same completion date. We can discuss it more during our meeting.

Completion of drawings- **11/27 to 1/26**

State plan check and certification- **1/29 to 2/16**

Fabrication-**1/8 to 3/31**

Delivery- **4/1 to 4/12**

On-site assembly (construction duration for the project will be 120 days)- **4/15-6/21**

Testing and Inspections-**6/25**

| | | | | |
|----|--------------------------------------|------------------|------------------------------------|-------------------------|
| 29 | Fabrication & Delivery | 157 days? | Mon 11/20/23 | Tue 6/25/24 |
| 30 | Issue Purchase Order | 1 day? | Mon 11/20/23 | Mon 11/20/23 |
| 31 | Design Phase and State Certification | 30 days | Mon 11/27/23 | Fri 1/5/24 2/16 |
| 32 | Fabrication | 90 days | Mon 1/8/24 | Fri 5/10/24 3/31 |
| 33 | Start Delivery | 0 days 10 | Tue 5/21/24 4/1 | Tue 5/21/24 4/12 |
| 34 | Delivery units 1-5 | 1 day | Tue 5/21/24 | Tue 5/21/24 |
| 35 | Delivery units 6-10 | 1 day | Wed 5/22/24 | Wed 5/22/24 |
| 36 | Delivery units 11-15 | 1 day | Thu 5/23/24 | Thu 5/23/24 |
| 37 | Delivery units 16-20 | 1 day | Fri 5/24/24 | Fri 5/24/24 |
| 38 | Delivery units 21-25 | 1 day | Mon 5/27/24 | Mon 5/27/24 |
| 39 | Delivery units 26-32 | 1 day | Tue 5/28/24 | Tue 5/28/24 |
| 40 | Final installation, testing | 20 days | Wed 5/29/24 9/15 | Tue 6/25/24 OK |

Thanks,

Charles

213-324-7228



[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Nov 1, 2023 at 11:04 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

Team,

Please find attached the updated schedule from our meeting this morning.

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



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CD5 Midvale Tiny Home Village 11-1-23.pdf

140K

Charles Wee <cwee@lifeark.net>

Wed, Nov 1, 2023 at 11:12 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>, Paul Cho <pcho@lifeark.net>, Gary Gero <gary.gero@lacity.org>, Rebecca Wee <rwee@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>

Thanks Nathan!

Thanks,

Charles

213-324-7228



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CD5 West LA - Midvale Ave THV

10 messages

Erik Villanueva <erik.villanueva@lacity.org>

Mon, Apr 24, 2023 at 4:35 PM

To: Nathan Ho <nathan.ho@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Son Vuong <son.vuong@lacity.org>

Cc: Diego Rodriguez <diego.rodriguez@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Hi Nathan,

Attached is the draft layout for the new THV in West LA.

Son and Raymond, please provide your utilities info so I can update the cover page.

Thank you,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING



CD5 Midvale THV_042423.pdf

2521K

Son Vuong <son.vuong@lacity.org>

Mon, Apr 24, 2023 at 9:26 PM

Reply-To: Son.Vuong@lacity.org

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Hello,

The electric utility information looks good. Thank you!

Kind Regards,

Son T. Vuong, P.E.

Architectural Division | Electrical Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830

Los Angeles, CA 90015

C: (213) 573-5546



[Quoted text hidden]

Raymond Huang <raymond.huang@lacity.org>

Tue, Apr 25, 2023 at 9:36 AM

To: Son.Vuong@lacity.org

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

DOMESTIC / FIRE WATER: • (E) 6" WATER MAIN ON MIDVALE AVE . (N) 2" DOMESTIC WATER METER INSTALLED BY LADWP; APPROXIMATELY (N) 70 FT OF 2" DOMESTIC WATER LINE WITHIN THE PROPERTY LINE.

SANITARY SEWER: • (E) 10" SEWER MAIN (PIPE ID:5191009951910116A) ON ALLEY.; APPROXIMATELY (N)20 FT OF 6" HOUSE CONNECTION LINE TO THE PROPERTY LINE. APPROXIMATELY (N)60 FT OF 4" SANITARY SEWER LINE WITHIN THE PROPERTY LINE.

Hsu-Liang Raymond Huang, P.E., LEED-AP BD+C

Architectural Division | Building Mechanical Engineer
Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830

Los Angeles, CA 90015

Mail Stop:507

O: 213 485 4874 F: 213 485 4836

raymond.huang@lacity.org

ENGINEERING

CITY OF LOS ANGELES



[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Wed, Apr 26, 2023 at 10:33 AM

To: Raymond Huang <raymond.huang@lacity.org>

Cc: Son.Vuong@lacity.org, Nathan Ho <nathan.ho@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Thanks for the input Son and Raymond.

Nathan, attached is the revised layout ready for your ROM. Let me know if you have any questions.

Thanks,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING

CITY OF LOS ANGELES



[Quoted text hidden]



CD5 Midvale THV_042523.pdf

2521K

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Apr 26, 2023 at 10:38 AM

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Raymond Huang <raymond.huang@lacity.org>, Son.Vuong@lacity.org, Nathan Ho <nathan.ho@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>

Nathan, please provide a draft ROM by Friday morning, I would like to review it before it goes to the CAO.

Thanks,

CPRA-15-BOE-000173

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org

[Quoted text hidden]

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Apr 26, 2023 at 3:20 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Raymond Huang <raymond.huang@lacity.org>, Son.Vuong@lacity.org,
Diego Rodriguez <diego.rodriguez@lacity.org>

Marina,

Please find attached the draft ROM for your review.

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](tel:2134854428)

Email: nathan.ho@lacity.org



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3 attachments



Schedule of Work & Prices_CD 5 Midvale LADOT Lot#707 04.28.23.xls
71K



ROM estimate_CD 5 Midvale LADOT Lot#707 04.28.23.pdf
91K



Line Item Estimate- CD 5 Midvale LADOT Lot#707 04.28.23.xlsx
59K

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Apr 26, 2023 at 3:22 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Raymond Huang <raymond.huang@lacity.org>, Son.Vuong@lacity.org,
Diego Rodriguez <diego.rodriguez@lacity.org>

Nathan, please print it, let's review it together at 4, and print the layout as well. Thanks

[Quoted text hidden]

[Quoted text hidden]

Son Vuong <son.vuong@lacity.org>

Wed, Apr 26, 2023 at 4:27 PM

Reply-To: Son.Vuong@lacity.org

To: Marina Quinonez <marina.quinonez@lacity.org>

Site lighting: approximately 6 light poles @7K each.

CPRA-15-BOE-000174

Overhead power: 30K

[Quoted text hidden]

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Apr 26, 2023 at 4:35 PM

To: Son.Vuong@lacity.org

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Hi Son, will you need additional site lighting?

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



On Mon, Apr 24, 2023 at 9:26 PM Son Vuong <son.vuong@lacity.org> wrote:

[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Apr 26, 2023 at 6:08 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Hi Marina,

Please see the revised ROM estimate documents.

Thanks,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



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3 attachments



Schedule of Work & Prices_CD 5 Midvale LADOT Lot#707 04.28.23.xls
78K



Line Item Estimate- CD 5 Midvale LADOT Lot#707 04.28.23.xlsx
59K



ROM estimate_CD 5 Midvale LADOT Lot#707 04.28.23.pdf
91K



Marina Quinonez <marina.quinonez@lacity.org>

CD5 x BOE chat re: housing interventions on city-owned parcels

8 messages

Zachary Warma <zachary.warma@lacity.org>

Tue, Mar 7, 2023 at 4:09 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>

Marina:

Please allow me to introduce myself. My name is Zachary Warma, and I am the new Housing & Homelessness Policy Director for Councilwoman Yaroslavsky.

I am reaching out because Shannon Hoppes noted your central role in helping to deliver housing interventions on city-owned parcels, and our team would love to meet to help better understand the city's current processes.

As you might be aware, our office recently initiated efforts to analyze a few different LADOT and GSD-controlled parcels in CD-5 for potential interim, supportive, and affordable housing developments. The prioritized list of parcels [can be found here](#).

We have submitted that list to the City's Homelessness Coordinator, which to our understanding has been shared with BOE to begin the initial Feasibility Analyses. We have also sent the list directly to LADOT - with whom we have had a preliminary discussion as a precursor to a longer sitdown with the Parking Team - and just finished our meeting with Shannon and the office of Procurement. A meeting with Deputy Mayor Jenna Hornstock should hopefully be on the books shortly.

Unless you have any availability at the end of this week, could you let us know any times that work for you the week of 3/20?

Thank you so much for considering this request, Marina, and we are so excited to connect soon!

Regards,

Zachary Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Mar 7, 2023 at 4:29 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Annabelle,

Are these sites coming to BOE soon? They are not familiar, I want to make sure I respond accordingly.

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering | Department of Public Works

CPRA-15-BOE-000176

1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Mar 8, 2023 at 7:55 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Steven Fierce <steven.fierce@lacity.org>

Good morning Zachary and team,

A pleasure to meet you! Yes, I currently manage the homeless program for BOE and currently work directly with the CAO with respect to potential sites for interim housing. The five sites you are referring to have not been sent to BOE for feasibility review, usually, CAO will complete their own review before sites are presented to BOE. I can reach out to the CAO if you would like us to.

I am available to meet early next week, looking forward to working with your team on interim housing and other projects as your administration settles in. Please let me know your availability for Monday, I have added Deborah, our Deputy City Engineer, and Steven, Principal Architect to join, in case you have yet to meet them.

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



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Deborah Weintraub <deborah.weintraub@lacity.org>

Wed, Mar 8, 2023 at 8:01 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Steven Fierce <steven.fierce@lacity.org>

Hi Marina,

As you are taking direction from the CAO and from the Mayor's office, I am fine with you meeting with Zachary and hearing his concerns, but I wonder if you should suggest that CAO staff join you in that call.

CPRA-15-BOE-000177

Deborah

[Quoted text hidden]

--

Deborah Weintraub, AIA, LEEDAP
Chief Deputy City Engineer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700
Los Angeles, CA 90015-2213
T: 213-485-5499 C:213-923-6359
deborah.weintraub@lacity.org





Marina Quinonez <marina.quinonez@lacity.org>
To: Deborah Weintraub <deborah.weintraub@lacity.org>
Cc: Steven Fierce <steven.fierce@lacity.org>

Wed, Mar 8, 2023 at 8:02 AM

Good morning. Yes, I have reached out to Annabelle to get an update on the sites, I will ask that she or Brian join.

Thanks

[Quoted text hidden]

[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Wed, Mar 8, 2023 at 8:55 AM

Hi Marina,

The GSD lot may be headed your way, but the other 4 lots that are owned by DOT, may not be feasible. Both our office and the Council Office are in discussion with DOT now since those 4 may require parking replacement, making them infeasible. If that's the case, we won't route them to you. Will keep you posted.

Thanks for following up.

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Steven Fierce <steven.fierce@lacity.org>

Wed, Mar 8, 2023 at 4:56 PM

Marina, Deborah, and Steven:

It's great to e-meet you all, and our office is so excited by the prospect of working with you!

If it's not too much of an inconvenience, would it be possible for us to schedule the meeting for the week of 3/20? I am out of town next week, and while my Team CD5 colleagues are rockstars, I quite selfishly want to be part of this conversation.

Do any of the following time slots work for all of you:

- Monday 3/20 9-11am

CPRA-15-BOE-000178

- **Tuesday 3/21:** 12-1pm; 4:30-5:00pm
- **Wednesday 3/22:** 1-3:30pm
- **Thursday 3/23:** 9-10am; 10:30-11:30am; 4-5pm
- **Friday 3/24:** 1-4pm

Thanks so much!

- Zack Warma

On Wed, Mar 8, 2023 at 7:56 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Mar 8, 2023 at 6:15 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Steven Fierce <steven.fierce@lacity.org>

Zachary, Please see my availability below. Enjoy your vacation.

- **Monday 3/20:** 9-11am [10 to 11](#)
- **Tuesday 3/21:** 12-1pm; 4:30-5:00pm [12-1](#)
- **Wednesday 3/22:** 1-3:30pm [2-3](#)
- **Thursday 3/23:** 9-10am; 10:30-11:30am; 4-5pm [10-11](#)
- **Friday 3/24:** 1-4pm [1-4](#)

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Marina Quinonez <marina.quinonez@lacity.org>

CD5=Midvale- revised budget and MEP

Charles Wee <cwee@lifeark.net>

Fri, Sep 1, 2023 at 2:32 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>

Cc: Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Marina and Nathan,

Please find attached with brief explanation for each:

1. Revised budget

- Pricing was revised for changes in equipment for water heating and HVAC systems to eliminate the need for a 3-phase switchgear system. We also included the surcharge that would result from paying prevailing wage rates on all work performed at the project site. Work done at the modular factory is not subject to prevailing wage

2. Preliminary power demand study

- After doing some preliminary estimating, we think we can eliminate the need for a 3-phase switchgear system at this project by using a central boiler system that can operate on a single-phase power supply. However, we need to confirm with LADWP if they can supply 400 amps to each of the lots (North and South lots) with an overhead service. We are estimating the North lot will need a 240V, Single-Phase with 285 amps. The South lot will need a 240V, Single-Phase with 354 amps. There is an existing power pole in the middle of the alley that we believe could work as a source of the overhead drop. (See pic)



- See Drawing for preliminary specification of water heater and HVAC locations used for the power demand calculation.

3. Preliminary sewer POC and slope study

- See drawing to preliminary locations of POC and the locations of A/G and B/G piping.
- The study is based on the location of lateral running at the center of the alley.

4. Structural loading design report- RST has almost completed the preliminary structural loading study based on the latest siteplan for the seismic and wind loading. We will be able to submit this report by Mon.

Hope this will help you to get closer to a sitework budget number. Let me know if you would like to have a call to go over this submission next week.

Have a great weekend!

Thanks,

CPRA-15-BOE-000180

3 attachments



230831-2377 midvale-mep1-power demand.pdf
1061K



230831-2377 midvale-mep2-sewer poc-slope study.pdf
1517K



LifeArk Pricing Quote - CD5 230901 - Google Sheets.pdf
64K



Nathan Ho <nathan.ho@lacity.org>

CD5=Midvale- revised budget and MEP

11 messages

Charles Wee <cwee@lifeark.net>

Fri, Sep 1, 2023 at 2:32 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>

Cc: Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Marina and Nathan,

Please find attached with brief explanation for each:

1. Revised budget

- Pricing was revised for changes in equipment for water heating and HVAC systems to eliminate the need for a 3-phase switchgear system. We also included the surcharge that would result from paying prevailing wage rates on all work performed at the project site. Work done at the modular factory is not subject to prevailing wage

2. Preliminary power demand study

- After doing some preliminary estimating, we think we can eliminate the need for a 3-phase switchgear system at this project by using a central boiler system that can operate on a single-phase power supply. However, we need to confirm with LADWP if they can supply 400 amps to each of the lots (North and South lots) with an overhead service. We are estimating the North lot will need a 240V, Single-Phase with 285 amps. The South lot will need a 240V, Single-Phase with 354 amps. There is an existing power pole in the middle of the alley that we believe could work as a source of the overhead drop. (See pic)



- See Drawing for preliminary specification of water heater and HVAC locations used for the power demand calculation.

3. Preliminary sewer POC and slope study

- See drawing to preliminary locations of POC and the locations of A/G and B/G piping.
- The study is based on the location of lateral running at the center of the alley.

4. Structural loading design report- RST has almost completed the preliminary structural loading study based on the latest siteplan for the seismic and wind loading. We will be able to submit this report by Mon.




Hope this will help you to get closer to a sitework budget number. Let me know if you would like to have a call to go over this submission next week.

Have a great weekend!

CPRA-15-BOE-000182

Thanks,
Charles
213-324-7228


3 attachments

-  **230831-2377 midvale-mep1-power demand.pdf**
1061K
-  **230831-2377 midvale-mep2-sewer poc-slope study.pdf**
1517K
-  **LifeArk Pricing Quote - CD5 230901 - Google Sheets.pdf**
64K

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Sep 5, 2023 at 1:24 PM

To: Charles Wee <cwee@lifeark.net>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Charles, can you please send me your list of exclusions, it is not attached.

Also, please let me know the square footage amount you have shown for the deck.

Since anchoring is part of your State certification, will you be anchoring your units or the GC?

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Sep 5, 2023 at 3:48 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Marina,

Sorry, I thought it was part of the quote.

1. Attached is the exclusions and inclusions sheet.
2. Total deck area shown is 3,491SF
3. We will do the anchoring.
4. Attached is the loading calcs.

CPRA-15-BOE-000183

Thanks,
Charles
213-324-7228


[Quoted text hidden]

2 attachments



LifeArk Pricing Quote - CD5 230901-inc-exc.pdf
49K



RST#23173- 2023.09.05 - GDS - CD5 2377 Midvale - Pad footing concept Design Calcs.pdf
908K

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Tue, Sep 5, 2023 at 3:59 PM

Nathan,

Please take care of the Foundation coordination with the ENG group as soon as possible. We need to confirm placement and anchoring by Thursday to submit the estimate.

Thanks

[Quoted text hidden]

2 attachments



LifeArk Pricing Quote - CD5 230901-inc-exc.pdf
49K



RST#23173- 2023.09.05 - GDS - CD5 2377 Midvale - Pad footing concept Design Calcs.pdf
908K

Marina Quinonez <marina.quinonez@lacity.org>
To: Charles Wee <cwee@lifeark.net>
Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Tue, Sep 5, 2023 at 5:24 PM

Charles, Are you available tomorrow at 1pm, to review some aspects of the estimate?

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Fri, Sep 1, 2023 at 2:33 PM Charles Wee <cwee@lifeark.net> wrote:

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Sep 5, 2023 at 5:36 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Marina,

I am OK but let me check with Paul and Jon and get back to you.

Thanks,
Charles
213-324-7228



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Tue, Sep 5, 2023 at 7:06 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Marina,

Can we do the call at 12 or 2pm? Paul has a conflict at 1pm.

Thanks,
Charles
213-324-7228



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Sep 6, 2023 at 6:20 AM

To: Charles Wee <cwee@lifeark.net>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

2pm works.

[Quoted text hidden]

[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Sep 6, 2023 at 6:26 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: nathan.ho@lacity.org, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Thanks. Talk to you then.

Thanks,
Charles
213-324-7228



[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Wed, Sep 13, 2023 at 11:06 AM

To: Charles Wee <cwee@lifeark.net>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Good morning Charles,

Please also send us your warranty information.

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428

Email: nathan.ho@lacity.org



[Quoted text hidden]

Charles Wee <cwee@lifeark.net>

Wed, Sep 13, 2023 at 11:22 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Paul Cho <pcho@lifeark.net>, Jonathon Dilworth <jdilworth@lifeark.net>, Rebecca Wee <rwee@lifeark.net>

Hi Nathan,

OK, will have Paul Cho send the warranty information.

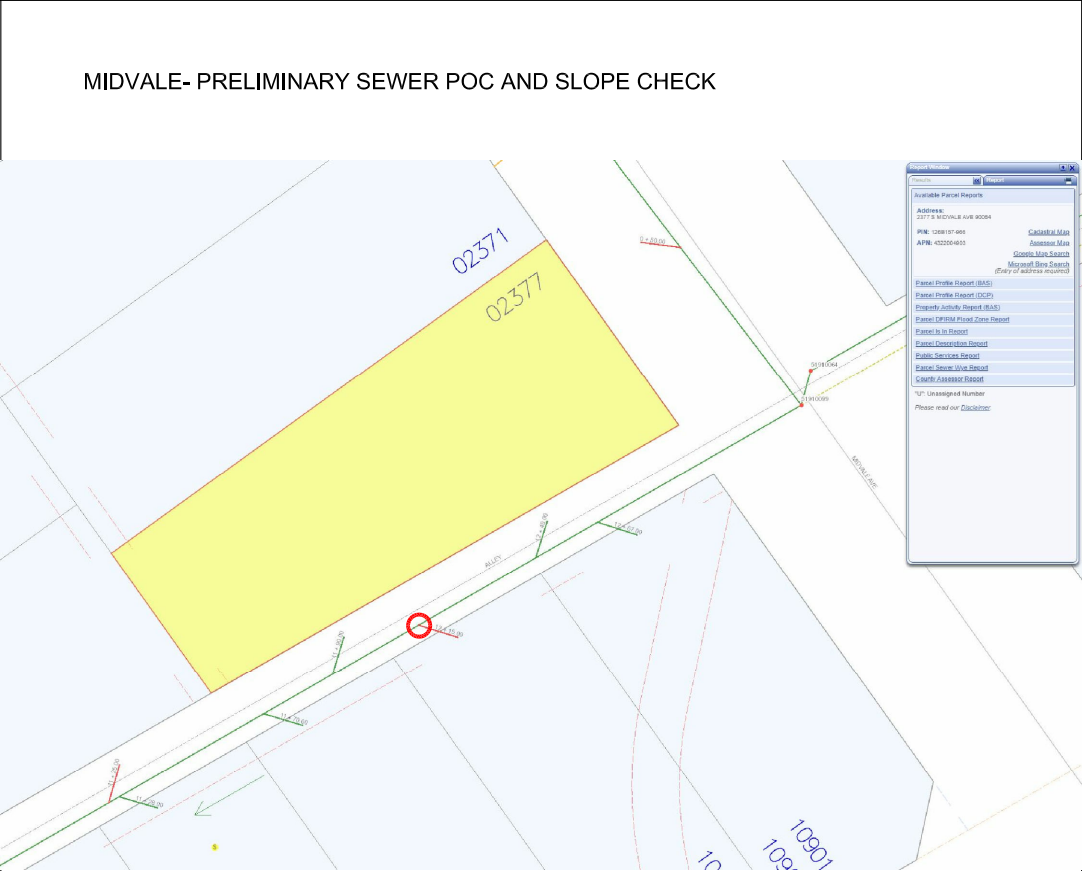
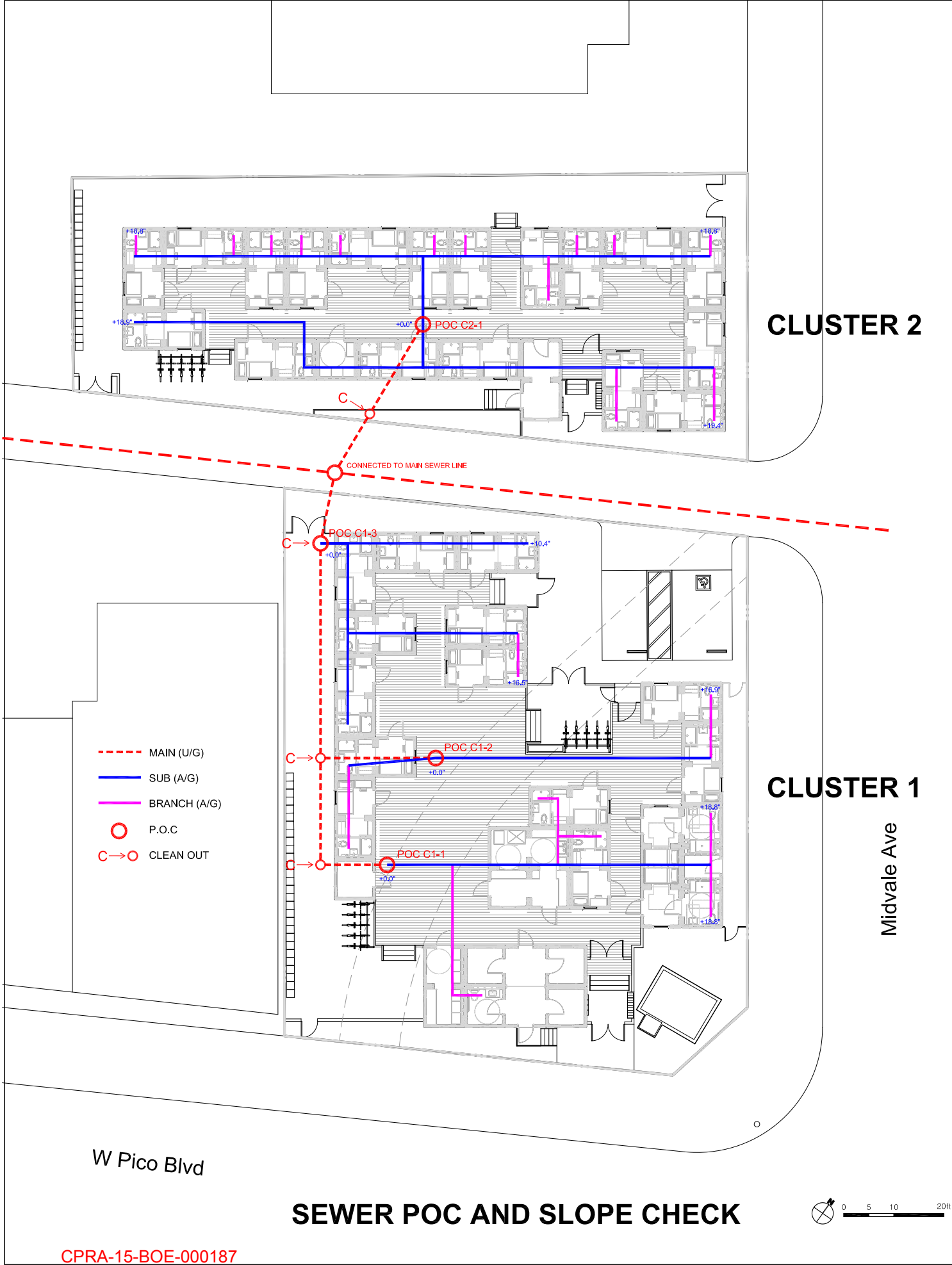
Thanks,

Charles

213-324-7228



[Quoted text hidden]



MIDVALE PRELIMINARY SEWER POC AND SLOPE CHECK

- 1. Study based on main sewer line running in the alley, connecting to the marked lateral (see NaviLA map)
- 2. Sewer slope check to determin optimal POC locations.
 - 2.1. Need 3 for C-1 and 1 for C-2
 - 2.2. Main underground shown with Red dotted line.
 - 2.3. Pink and Blue sub-lines will all be in the crawl space above grade.
 - 2.4. Two sub-lines crossing the easement.
 - 2.4.1. Decking to be designed to be accessible to allow maintenance and repair of the main storm drain.



| MODULAR HOUSING MANUFACTURER | |
|------------------------------|---|
| NAME | LIFEARK SPC |
| PHONE | (626) 535-9370 |
| EMAIL | info@lifeark.net |
| WEB | www.lifeark.net |
| PLANT LOCATIONS | MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET. |

GDS
ARCHITECTS INC.
831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



| Revision Schedule | | |
|-------------------|-------------|------|
| # | Description | Date |

PROFESSIONAL STAMP

./weee-arch license stamp-103123.jpg

CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
PRELIMINARY SEWER POC
& SLOPE CHECK

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE
8/31/2023

SHEET NO.

MEP-1



CD-5 PICO-MIDVALE INTERIM HOUSING PROJECT

10907-10909 W. PICO BLVD, 2377 MIDVALE AVE, LA CA 90064

ARCHITECTURAL SUMMARY:

| | |
|------------------------|---|
| 1. SITE AREA: | 16,340 SF |
| 2. BUILDING AREA: | 5,622 SF |
| 2.1. ENSUITE UNITS | 4,154 SF (31 BEDS) |
| 2.2. ENSUITE ADA UNITS | 400 SF (2 BEDS)- (33 X 5% = 1.65 REQUIRED) 2 UNITS PROVIDE |
| 2.3. COMMUNITY ROOM | 267 SF |
| 2.4. OFFICE/SERVICES | 400 SF |
| 2.3. OFFICE | 134 SF |
| 2.4. LAUNDRY | 200 SF |
| 2.4. STORAGE | 67 SF |
| 3. NUMBER OF BEDS: | 33 TOTAL |
| 4. OCCUPANCY: | R2 |

CLUSTER 2

POWER REQUIREMENTS:

GEN - 2496S.F. X 1.1 X 2W/SQ. FT = 5491
AC - (7500+4500)X 1.25 = 15,000
W/H's 2 X 24,000= 48,000
68491W

@240V/1Ø = 285A
@208V/3Ø = 190A

FIGURE 400A SERVICE

CLUSTER 1

POWER REQUIREMENTS:

GEN - 2880 S.F. X 1.1 X 2W/SQ. FT =6336
AC - (6000x 2+3000)X 1.25 = 18,750
W/H's 2 X 18,000 + 24,000= 60,000
85,086W

@240V/1Ø = 354A
@208V/3Ø = 236A

FIGURE 400A SERVICE



| | |
|------------------------------|---|
| MODULAR HOUSING MANUFACTURER | |
| NAME | LIFEARK SPC |
| PHONE | (626) 535-9370 |
| EMAIL | info@lifeark.net |
| WEB | www.lifeark.net |
| PLANT LOCATIONS | MANUFACTURING PLANTS ADDRESSES ARE LISTED ON THE COVER SHEET. |



831 Meridian Street
Duarte, California 91010
Tel : 626.535.9370



| Revision Schedule | | |
|-------------------|-------------|------|
| # | Description | Date |

PROFESSIONAL STAMP

.\\wee-arch\license stamp-103123.jpg

CLIENT
COUNCIL DISTRICT 5
CITY OF LOS ANGELES

MODEL #
PICO / MIDVALE
INTERIM HOUSING
PROJECT

SHEET TITLE
PRELIMINARY SEWER POC
& SLOPE CHECK

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE 8/31/2023

SHEET NO.

MEP-1

LifeArk Modular Housing Pricing Quote - Revised



Date: 9/1/2023

Bill To: City of Los Angeles

Ship To:

Pico & Midvale
Los Angeles, CA 90064

| Product Model | Unit Price | Quantity | Total Price |
|---------------------------------|------------|----------|--------------------|
| HOUSING UNITS (33 Units) | | | |
| 2x1 Ensuite | \$53,927 | 31 | \$1,671,750 |
| 1.5x2 ADA Ensuite | \$73,227 | 2 | \$146,453 |
| OFFICE/COMMUNITY UNITS | | | |
| 1x1 Laundry | \$33,151 | 3 | \$99,453 |
| 2x2 Community Room | \$95,878 | 1 | \$95,878 |
| 3x2 Office | \$133,004 | 1 | \$133,004 |
| 2x1 Office | \$45,302 | 1 | \$45,302 |
| 1x1 IT/Utility | \$27,628 | 1 | \$27,628 |
| Products Sub-Total | | | \$2,219,468 |
| Prevailing Wage Surcharge | | | \$75,750 |
| Sales Tax* | | | \$110,792 |
| Delivery & Handling | | | \$26,124 |
| TOTAL PRICING QUOTE | | | \$2,432,133 |

TERMS: 50% deposit upon signing of contract

* **SALES TAX** under Regulation 1521.4 on 40% of sales price for factory-built housing models (excludes commercial modular units) approved by HCD.

INCLUSIONS/EXCLUSIONS: see attached



LA City Council District 5 - Pico & Midvale Interim Housing Project

INCLUSIONS:

- 1 Fully fitted out LifeArk ensuite and ADA units with full private bathrooms. (ADA units with roll-in shower)**
- 2 Fully fitted out admin/office unit.**
- 3 Fully fitted out community building including built-in cabinets, roll-down shutters etc.**
- 4 Laundry unit ready to hook up to a washer and a dryer.**
- 5 Modular units are approximately 80% completed in the factory and delivered to the project site. Units come with interior finished with paint, flooring, MEP finishes, doors, and hardware. Remaining 20% to completion is work on site, including connecting the units, anchoring to foundation, site utilities hookup, and interior walls patched at connection points. Fixtures & finishes are the standard material provided by LifeArk.**
- 6 Units include mechanical HVAC mini-splits, with condensers located in the set-back area.**
- 7 Module staging and on/off loading at the site is included.**
- 8 Module assembly on-site and final testing.**
- 9 Architecture/Engineering/Design services for all LifeArk HCD models.**
- 10 HCD certification, permit and inspection fees.**

EXCLUSIONS:

- 1 Site work including, but not limited to, grading, paving, gates and fences, trash enclosures.**
- 2 Landscaping, green walls, planters, hardscaping, irrigation and common area amenities.**
- 3 Site accessories including storage bins, bike racks, lockers, mailboxes etc.**
- 4 Decks, handicap lifts, railings, stairs, and ramps.**
- 5 Any work related to the underground storm drain and catch basin.**
- 6 Any demolition, repairs and/or improvements to the existing structures.**
- 7 All city utilities including sewer, power, gas and storm drain work.**
- 8 All trenching and repairs to the sidewalks.**
- 9 Utility connections on site to module stub down points of connections**
- 10 Final testing of all systems**
- 11 Cost of land, construction financing, taxes, city fees.**
- 12 All Permit costs including any costs for street use, SFFD, excludes SMP and SWPPP plans.**
- 13 Architecture/Engineering/Design services for site-related (non-LifeArk units) work.**
- 14 Costs of testing and inspection (non-HCD) including costs for trade permits and inspection.**
- 15 Utility fees, account setup, power poles, transformers, conductors, etc. by owner.**
- 16 Handling and removal of any hazardous material.**
- 17 Removal of any underground obstacles not shown.**
- 18 All main power connection costs to connect to the switchgear.**
- 19 Low Voltage Tele/Data, WiFi.**
- 20 All Owner provided FF&E.**
- 21 Costs for storing, double-handling or trucking owner supplied materials.**
- 22 Appliances and furniture.**
- 23 Central fire alarm system, PV system, emergency generator, site lighting.**
- 24 Fire truck access.**
- 25 Fire hydrants or other fire department improvements.**
- 26 Owner's GL Property Insurance.**

FOUNDATION CONCEPT DESIGN

RST JOB# 23173

For: GDS Architects, Inc.
831 Meridian St.
Duarte, CA 91010

Job: LifeArk , CD5 2377 Midvale
- Pad Foundation
2377 Midvale Ave,
Los Angeles, CA 90064

DESIGN BASED ON CALIFORNIA BUILDING CODE (CBC)
RISK CATEGORY II
94 MPH, 3 SEC GUST EXPOSURE "C" PER ASCE 7-16
SEISMIC $S_s = 2.021g$, $S_1 = 0.721g$ PER ASCE 7-16
SEISMIC DESIGN CATEGORY "D", SITE CLASS D (default),
R=6.5 (LIGHT FRAME SHEAR WALL SYSTEM)
WOOD PAD FOUNDATION WITH ASPHALT ANCHOR

CALCULATION REPORT

INDEX

| | |
|---|-------|
| Cover Page | 1 |
| Design Summary | 2 |
| Pad Footing Bearing Design. | 3-6 |
| Seismic & Wind Lateral Calculations. | 7-9 |
| Lateral and Uplift to Foundation Loadings | 10-12 |
| Building Anchor Check. | 13-15 |

Total of **Fifteen** Pages

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DESIGN SUMMARY

Design concept for temporary building foundation on parking lot paved with asphalt,

- Assuming parking lot bearing capacity is 1000 psf (based on max soil bearing with wood pad footing) - **This needs to be confirmed and verified.**
- Max applied pressure from building on wood pad footing is 340 psf (worst case of bearing check attached). This shows the applied load from the building does not exceed the parking lot capacity. Note that larger pads may be used for reducing the applied pressure further.
- Point load capacity for Parking Garge on 4.5"x4.5" area is 3000 lbs per CBC table 1607.1, item 14 and Note a.
- Max applied point load from building is 2875 lbs (worst case of point load check attached). This shows the applied point load does not exceed the parking lot capacity.
- No heavy weight should be applied from craning during construction on the easement.

PAD FOOTING BEARING DESIGN ON PARKING LOT

$$w_{RDL} := 7 \text{ psf} \quad w_{WDL} := 7 \text{ psf} \quad w_{FDL} := 10 \text{ psf} \quad w_{FLL} := 40 \text{ psf}$$

$$d_{mod} := 8.083 \text{ ft} \text{ Modular dimensions (8'-1" x 8'-1")} \quad h_{wall} := 8 \text{ ft} \quad h_{build} := 11.083 \text{ ft} \quad B := d_{mod} = 8.083 \text{ ft} \quad L := 2 \cdot d_{mod} = 16.166 \text{ ft}$$

Total load per leg:

$$P_{leg} := \left[(w_{RDL}) \cdot d_{mod}^2 + (w_{FLL} + w_{FDL}) \cdot (4 \cdot 2.75^2) + w_{WDL} \cdot h_{wall} \cdot 4 \cdot (d_{mod}) \right] \cdot \frac{1}{4} = 945 \text{ lbs/leg}$$

$$P_{cross.leg} := (w_{FLL} + w_{FDL}) \cdot (d_{mod}^2 - 4 \cdot 2.75^2) = 1754 \text{ lbs/mid cross leg}$$

Bearing check:

$$Soil_{bearing} := 1000 \text{ psf} \text{ assumed based on soil bearing for parking lot with wood pad footing}$$

$$\text{Single corner leg: } \frac{P_{leg} \cdot 144}{20 \cdot 20} = 340 \text{ psf}$$

$$\text{Double side legs: } \frac{(2) \cdot P_{leg} \cdot 144}{20 \cdot 40} = 340 \text{ psf}$$

$$\text{Triple int. corner legs: } \frac{(3) \cdot P_{leg} \cdot 144}{40 \cdot 44} = 232 \text{ psf}$$

$$\text{Quadruple int. legs: } \frac{(4) \cdot P_{leg} \cdot 144}{40 \cdot 48} = 284 \text{ psf}$$

$$\text{Cross mid leg: } \frac{P_{cross.leg} \cdot 144}{40 \cdot 40} = 158 \text{ psf}$$

$$340 \text{ psf (worst case)} < Soil_{bearing} = 1000 \text{ psf} \quad \text{OK}$$

Point load bearing check:

$\text{Point}_{\text{bearing}} := 3000$ lbs/4.5"x4.5" point load capacity for Parking Garge on 4.5"x4.5" area per CBC table 1607.1, item 14 and Note a

340 psf max applied pressure (worst case)

$$\frac{340}{12 \cdot 12} \cdot 4.5 \cdot 4.5 = 48 \text{ lbs / 4.5" SQ} < \text{Point}_{\text{bearing}} = 3000 \text{ lbs / 4.5" SQ} \quad \text{OK}$$

Total leg point load check without reduction of 4.5" SQ area consevatively (not divided by 4.5" SQ area)

Single corner leg: $P_{\text{leg}} = 945$ lbs

Double side legs: $2 \cdot P_{\text{leg}} = 1890$ lbs

Triple int. corner legs: $3 \cdot P_{\text{leg}} = 2835$ lbs

Quadruple int. legs:

this scenario occurs only at mods' interior area with less partitions

$$P_{\text{leg.INT}} := \left[(w_{\text{RDL}}) \cdot d_{\text{mod}}^2 + (w_{\text{FLL}} + w_{\text{FDL}}) \cdot (4 \cdot 2.75^2) + w_{\text{WDL}} \cdot h_{\text{wall}} \cdot 2 \cdot (d_{\text{mod}}) \right] \cdot \frac{1}{4} = 719 \text{ lbs/Int.leg}$$

$$4 \cdot P_{\text{leg.INT}} = 2875 \text{ lbs}$$

Cross mid leg: $P_{\text{cross.leg}} = 1754$ lbs

2875 lbs max applied point load (worst case)

$$2875 \text{ lbs} < \text{Point}_{\text{bearing}} = 3000 \text{ lbs} \quad \text{OK}$$

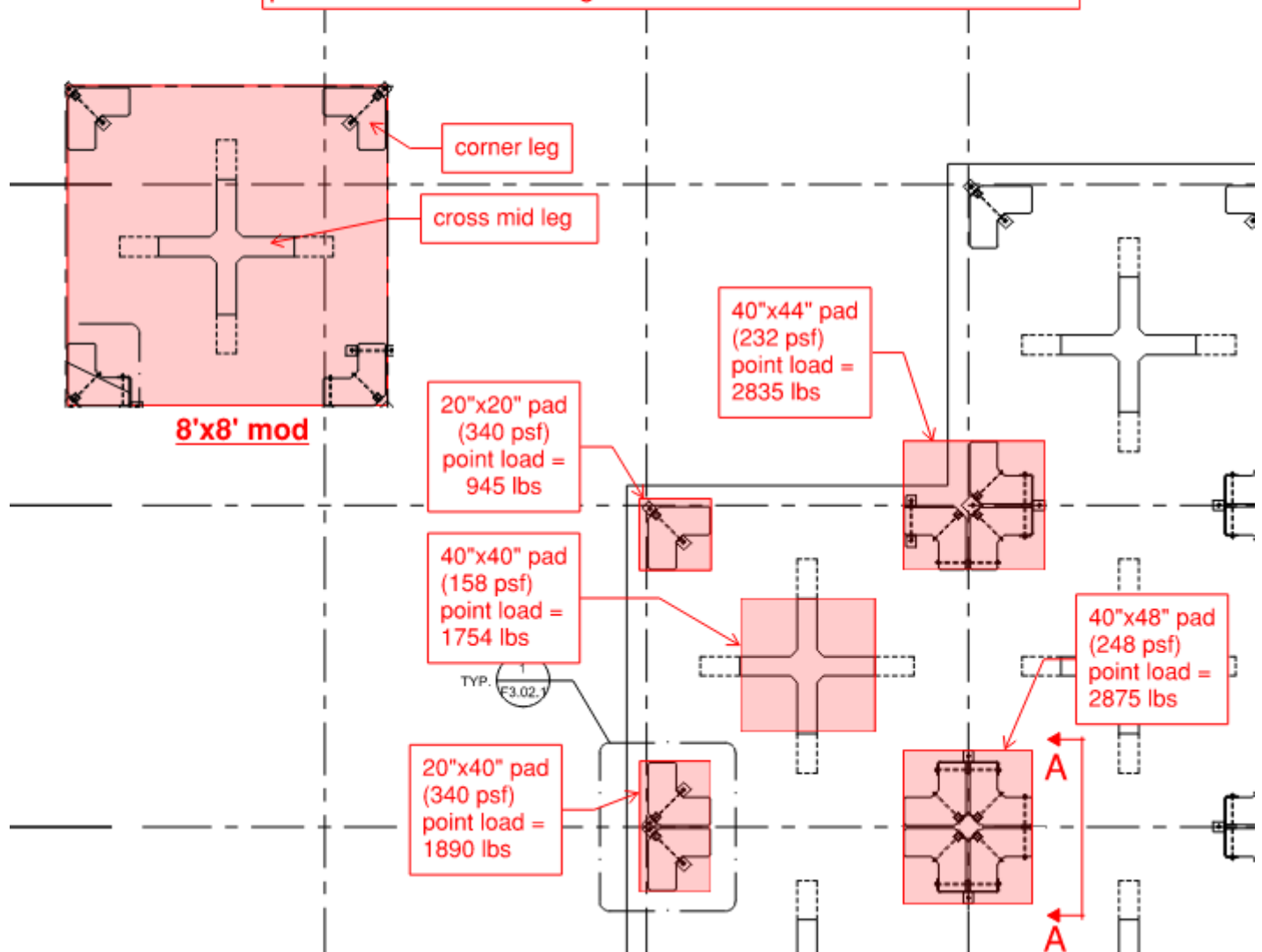
TYPICAL FOUNDATION LAYOUT WITH LOADING

Notes:

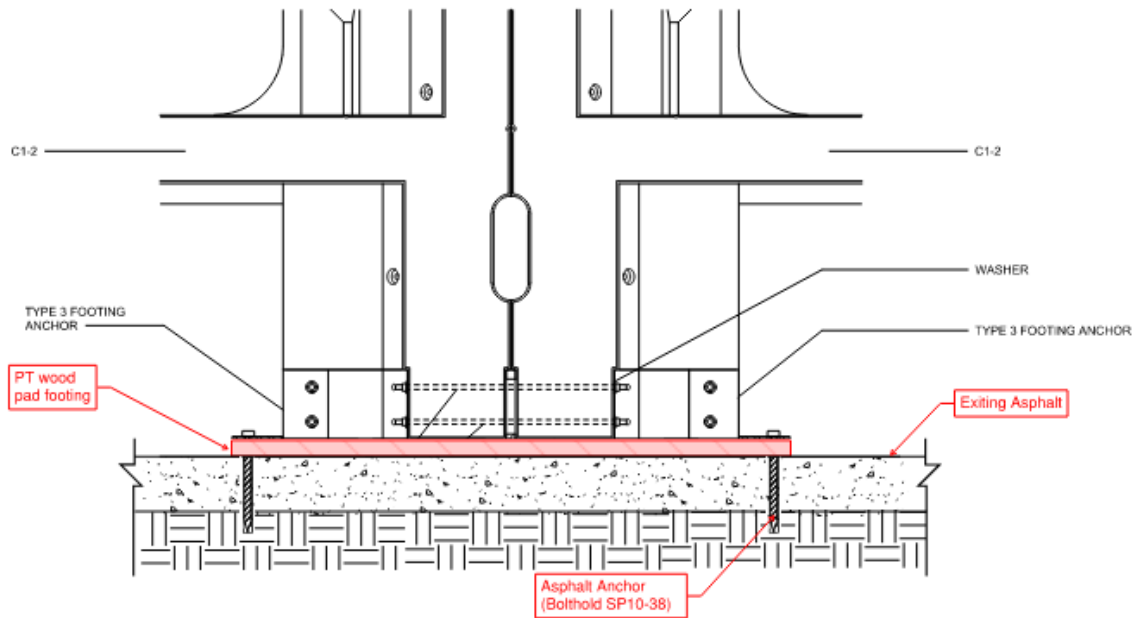
The loads are per one leg of the 4 corner legs of an 8'x8' mod and cross mid leg of the mod

Total load = unfactored floor live (40 psf) + total dead (floor, roof, walls)

Below are max applied pressure per leg/legs based on shown pad sizes for each configuration



TYPICAL FOUNDATION SECTION WITH ASPHALT ANCHORS



Section A-A
Typical Pad footing with Asphalt anchor

SEISMIC ANALYSIS SEISMIC LOAD

**SEISMIC
Per ASCE 7-16**

SITE CLASS D, RISK CATEGORY II

SEISMIC DESIGN CATEGORY E (BASED ON S1 and SDS)

$$h_{\text{build}} := 11.083 \text{ ft}$$

$$\rho := 1.3 \quad \text{Redundancy Factor for Seismic Design Category D per Section 12.3.4}$$

$$R := 6.5 \quad \Omega_0 := 3 \quad C_d := 4 \quad \text{Light frame sheathed wall (shear wall system) per Table 12.2-1}$$

$$I_e := 1.0 \quad \text{Seismic Importance Factor for Risk Category II per Table 1.5-2}$$

$$S_s = 2.021 \text{ g} \quad \text{Per USGS}$$

$$F_a := 1.2 \quad \text{Per Table 11.4-1 (Default)}$$

$$S_{ms} := F_a \cdot S_s \quad \text{Per Eq. 11.4-1}$$

$$S_{ms} = 2.43$$

$$S_{ds} := \left(\frac{2}{3} \cdot S_{ms} \right) \quad \text{Per Eq. 11.4-3}$$

$$S_{ds} = 1.617$$

$$S_1 = 0.721 \text{ g} \quad \text{Per USGS}$$

$$F_v = 1.7 \quad \text{Per Table 11.4-2}$$

$$S_{m1} := F_v \cdot S_1 \quad \text{Per Eq. 11.4-2}$$

$$S_{m1} = 1.23$$

$$S_{d1} := \frac{2}{3} \cdot S_{m1} \quad \text{Per Eq. 11.4-4}$$

$$S_{d1} = 0.82$$

$$T_L := 6 \text{ s} \quad \text{Lowest Mapped Long-Period Transition Period Per Figure 22-12}$$

$$T := 0.02 \cdot h_{\text{build}}^{\frac{3}{4}} \quad \text{Approximate Fundamental Period Per Eq. 12.8-7}$$

$$T = 0.121 \text{ s}$$

$$T_s := 1.5 \cdot \left(\frac{S_{d1}}{S_{ds}} \right) = 0.758 \text{ s} > T = 0.121 \text{ s} \quad \text{hence, Eq. 12.8-2 is used for determining } C_s \text{ and no need for ground motion hazard analysis per exception 2, sec. 11.4.8}$$

$$C_s := \frac{S_{ds}}{\frac{R}{I_e}} \quad \text{Seismic Response Coefficient Per 12.8-2}$$

$$C_s = 0.249$$

$$\text{Since } T < T_L, \quad C_{s_max} := \frac{S_{d1}}{\frac{R}{I_e} \cdot T} \quad \text{Per 12.8-3}$$

$$C_{s_max} = 1.035$$

$$C_{s_min} := \max \left(0.044 \cdot S_{ds} \cdot I_e, 0.01, \frac{0.5 \cdot S_1}{\frac{R}{I_e}} \right) \quad \text{Per 12.8-6}$$

$$C_{s_min} = 0.071$$

$$\text{SeisCoef} := \begin{cases} \rho \cdot C_s & \text{if } C_{s_min} < C_s < C_{s_max} \\ \rho \cdot C_{s_min} & \text{if } C_s < C_{s_min} \\ \rho \cdot C_{s_max} & \text{otherwise} \end{cases}$$

$$\text{SeisCoef} = 0.323$$

WIND ANALYSIS

WIND LOAD @ 94 mph, 3-sec Gust, Exp."C" - 15' max. Mean Roof Ht.

Per ASCE-7-16 Chapter 26 and Chapter 28 - MWFRS (Envelope Procedure)

WIND
Per ASCE 7-16

$V := 94$ Equivalent Basic Wind Speed (3 Sec Gust)

$K_d := 0.85$ Wind Directionality Factor, per Table 26.6-1 ASCE Pg. 266

$K_{15} := 0.85$ Velocity Pressure Exposure Coefficients per Table 26.10-1 ASCE Pg. 268 Up to Roof Mean Ht of 15' Elev.

$K_{zt} := 1.0$ Topographic Factor per ASCE Section 26.8

$K_e := 1.0$ Ground elevation factor Section 26.9, ASCE Pg. 268

$q_h := 0.00256 \cdot K_{15} \cdot K_{zt} \cdot K_d \cdot K_e \cdot V^2$ Velocity Pressure (psf) per Eq. 26.10-1 ASCE Pg. 268

$q_h = 16.34$ psf

rise := 0.25 in/ft

$P = q_h \cdot (GC_{pf} - GC_{pi})$ Design Wind Pressure (psf) per Eq. 28.3-1 ASCE Pg. 311

| Wind Perpendicular to Ridge | | | | | | | |
|-----------------------------|----|------------------|------------------|--------|--------|--------|--------|
| Building Surface | | GC _{pf} | GC _{pi} | P | Avg. | Uplift | Latera |
| Windward Roof | 2 | -0.69 | 0.18 | -14.22 | -17.32 | -17.32 | -0.36 |
| | 2E | -1.07 | 0.18 | -20.43 | | | |
| Leeward Roof | 3 | -0.37 | 0.18 | -8.99 | -10.30 | -10.29 | -0.21 |
| | 3E | -0.53 | 0.18 | -11.60 | | | |
| Windward Wall | 1 | 0.40 | -0.18 | 9.48 | 11.19 | | |
| | 1E | 0.61 | -0.18 | 12.91 | | | |
| Leeward Wall | 4 | -0.29 | -0.18 | -1.80 | -2.94 | | |
| | 4E | -0.43 | -0.18 | -4.09 | | | |

$UP_w = -17.32$ psf

$UP_l = -10.29$ psf

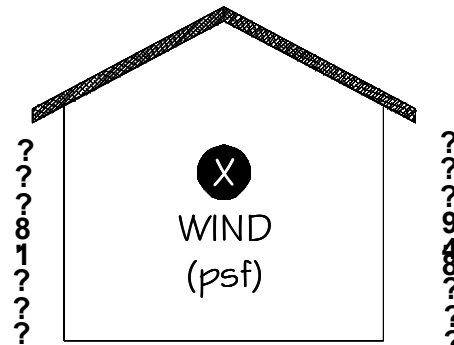
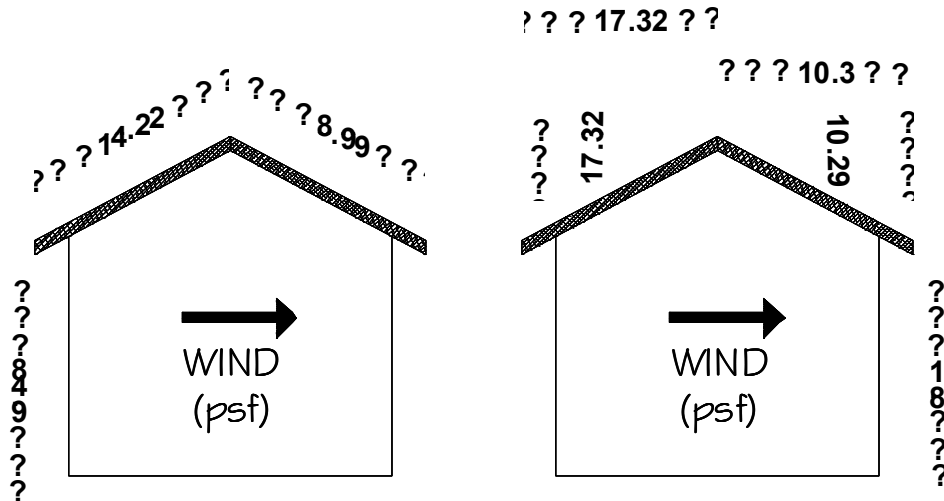
$WH_w = 11.19$ psf

$WH_l = -2.94$ psf

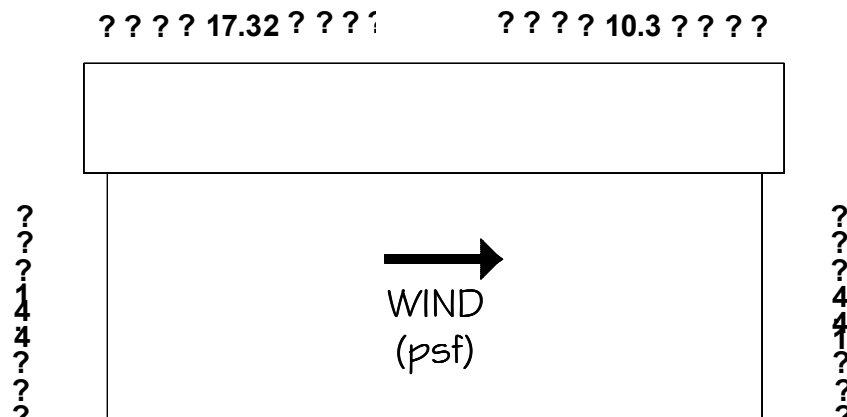
$\theta = 1.193$

| Wind Parallel to Ridge | | | | | | | |
|------------------------|----|------------------|------------------|--------|--------|----------|--------|
| Building Surface | | GC _{pf} | GC _{pi} | P | Avg. | Vertical | Latera |
| Front Roof | 2 | -0.69 | 0.18 | -14.22 | -17.32 | -17.32 | -0.36 |
| | 2E | -1.07 | 0.18 | -20.43 | | | |
| Rear Roof | 3 | -0.37 | 0.18 | -8.99 | -10.30 | -10.29 | -0.21 |
| | 3E | -0.53 | 0.18 | -11.60 | | | |
| Wind Adj. Wall | 1 | -0.45 | -0.18 | -4.41 | -4.66 | | |
| | 1E | -0.48 | -0.18 | -4.90 | | | |
| Lee Adj. Wall | 4 | -0.45 | -0.18 | -4.41 | -4.66 | | |
| | 4E | -0.48 | -0.18 | -4.90 | | | |
| Leeward Wall | 6 | -0.29 | -0.18 | -1.80 | -2.94 | | |
| | 6E | -0.43 | -0.18 | -4.09 | | | |
| Windward Wall | 5 | 0.40 | -0.18 | 9.48 | 11.19 | | |
| | 5E | 0.61 | -0.18 | 12.91 | | | |

WIND LOADING DIAGRAMS



$$\begin{aligned} UP_w &= -17.32 \text{ psf} \\ UP_l &= -10.29 \text{ psf} \\ WH_w &= 11.19 \text{ psf} \\ WH_l &= -2.94 \text{ psf} \end{aligned}$$

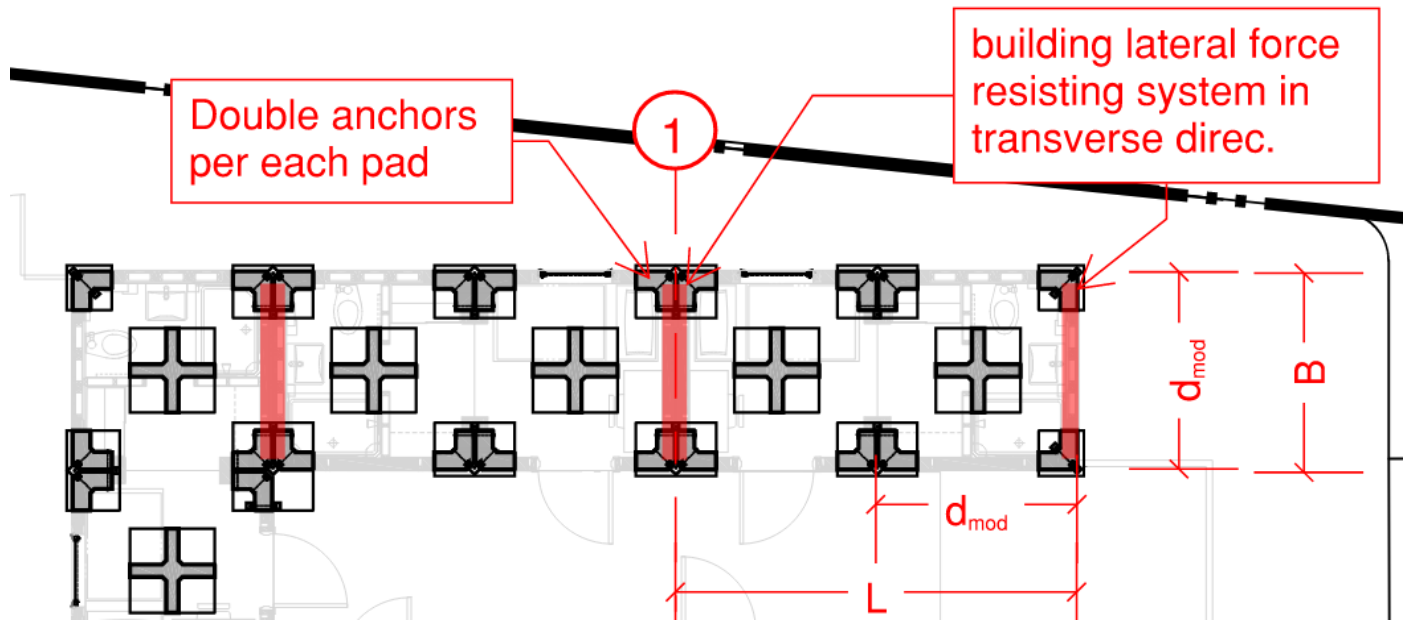


$$W_H := WH_w + (-WH_l) = 14.14 \text{ psf}$$

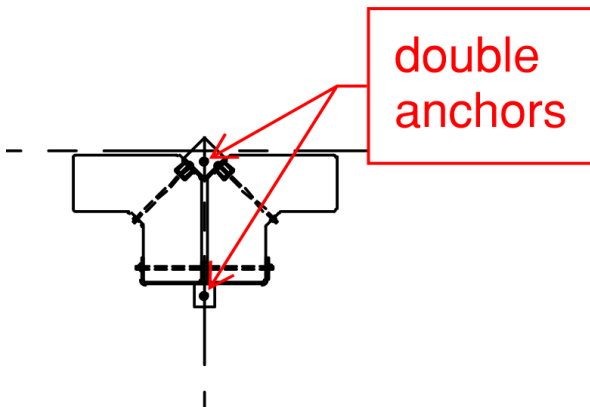
<< 15' >>

$$W_{up} := \frac{-(UP_w + UP_l)}{2} = 13.8 \text{ psf}$$

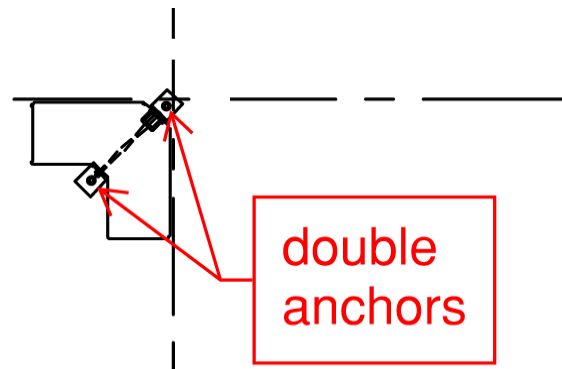
BUILDING/FOUNDATION LAYOUT



double anchors
@ double legs



double anchors
@ single leg



LATERAL SHEAR TO FOUNDATION SUMMARY

$W_H = 14.14$ psf wind lateral
 $Seis_{Coef} = 0.323$ Seismic Coef.
 $w_{RDL} := 8$ psf
 $w_{WDL} := 8$ psf
 $w_{FDL} := 10$ psf
 $d_{mod} := 8.083$ ft Modular dimensions (8'-1" x 8'-1")
 $h_{wall} := 8$ ft
 $h_{build} := 11.083$ ft
 $B := d_{mod} = 8.083$ ft
 $L := 2 \cdot d_{mod} = 16.166$ ft

WIND:

TOTAL LATERAL SHEAR PARALLEL TO LINE 1:

$$P_{wind_SW} := W_H \left(L \cdot \frac{h_{build}}{2} \right) + W_H \left(d_{mod} \cdot \frac{h_{build}}{2} \right)$$

$P_{wind_SW} = 1900$ lb

Wind Governs

SEISMIC:

TOTAL LATERAL SHEAR PARALLEL TO LINE 1 :

$$P_{seis_SW} := Seis_{Coef} \cdot \left[\left(w_{RDL} \cdot (B \cdot L) + w_{WDL} \cdot \left(\frac{h_{wall}}{2} \right) \cdot 2 \cdot (B + L) \right) + \left(w_{FDL} \cdot (B \cdot d_{mod}) + w_{WDL} \cdot \left(\frac{h_{wall}}{2} \right) \cdot 2 \cdot (B + d_{mod}) \right) \right]$$

$P_{seis_SW} = 1386$ lb

Max Base shear at line 1 on legs:

$$V_{apply} := \frac{P_{wind_SW}}{2} = 950 \quad lbs \quad \text{Applied shear per leg/leg group}$$

$$V_{apply.anchor} := \frac{V_{apply}}{2} = 475 \quad lbs \quad \text{Applied shear per anchor (2 anchors per pad OR leg/leg group)}$$

UPLIFT TO FOUNDATION SUMMARY

Wind Governs

$$W_H = 14.14 \text{ psf} \quad \text{wind lateral} \quad h_{\text{build}} = 11.083 \text{ ft} \quad h_{\text{wall}} := 8 \text{ ft} \quad d_{\text{mod}} := 8.083 \text{ ft} \quad B = 8.083 \text{ ft} \quad L = 16.166 \text{ ft}$$

$$W_{\text{up}} = 13.807 \text{ psf} \quad \text{wind uplift} \quad w_{\text{RDL}} = 8 \text{ psf} \quad w_{\text{WDL}} = 8 \text{ psf} \quad w_{\text{FDL}} = 10 \text{ psf}$$

Total lateral and vertical loads at line 1 (per trib area):

$$P_{\text{wind.lateral}} := W_H \cdot (L \cdot h_{\text{build}}) = 2533 \text{ lbs} \quad \text{lateral load}$$

$$P_{\text{wind.up}} := W_{\text{up}} \cdot (B \cdot d_{\text{mod}}) = 902 \text{ lbs} \quad \text{upward load}$$

$$P_{\text{DL}} := [(w_{\text{RDL}} + w_{\text{FDL}}) \cdot (B \cdot d_{\text{mod}}) + w_{\text{WDL}} \cdot (h_{\text{wall}}) \cdot 2 \cdot (B + d_{\text{mod}})] = 3245 \text{ lbs} \quad \text{downward load}$$

Overturning Moments:

$$M_{\text{OT}} := P_{\text{wind.lateral}} \cdot \frac{h_{\text{build}}}{2} + W_{\text{up}} \cdot \frac{B}{2} = 14092 \text{ lbs-ft}$$

Resisting Moments:

$$M_{\text{DL}} := P_{\text{DL}} \cdot \frac{B}{2} = 13116 \text{ lbs-ft}$$

Max uplift due to wind lateral and uplift on legs:

$$P_{\text{up.apply}} := \frac{M_{\text{OT}} - 0.9 \cdot M_{\text{DL}}}{B} = 283 \text{ lbs} \quad \text{Applied uplift per leg/leg group}$$

$$P_{\text{up.apply.anchor}} := \frac{P_{\text{up.apply}}}{2} = 141 \text{ lbs} \quad \text{Applied uplift per anchor (2 anchors per pad OR leg/leg group)}$$

BUILDING ANCHOR CHECK

Asphalt anchor per BOLT HOLD Specs (attached) - SP10-38

$T_{Capacity.anchor} := 1500$ lbs Pull resistance per manufac. specs

$V_{Capacity.anchor} := 1000$ lbs Shear resistance per manufac. specs

Recall:

$P_{up.apply.anchor} = 141$ lbs Applied uplift per anchor

$V_{apply.anchor} = 475$ lbs Applied shear per anchor

$P_{up.apply.anchor} = 141$ lbs < $T_{Capacity.anchor} = 1500$ lbs **OK**

$V_{apply.anchor} = 475$ lbs < $V_{Capacity.anchor} = 1000$ lbs **OK**

BOLTHOLD™ SP10-38 Asphalt Anchors Datasheet V4.0

Overview

Asphalt Anchors Corp. has developed the *BoltHold™* family of anchors suitable for mounting objects to asphalt surfaces. The SP10-38 anchors body is 6" long and 3/8" in diameter, with a 3/4"-16 female thread. The anchor is bonded to the asphalt using special grouts such as our EPX2 or EPX3.

The SP10-38 is recommended for most light applications, where pull forces are less than 1,500 lb. per anchor and shear forces are moderate (less than 1,000 lb. per anchor).

Description

The SP10-38 is constructed from a thick-walled tube. The bottom is flared and sealed to act as a wedge when pushing the anchor into the ground. A welded spiral along the length of the anchor provides a strong bond with the grout.

The top of the anchor incorporates a large washer with an internal 3/4" female thread. The washer prevents the anchor from dropping below the surface.

The standard SP10 is made of zinc plated steel, with 10-hour salt spray rating. A Dacromet - coated version offers enhanced rust protection (1,000 hours salt spray rating) but can only be used with the EPX3. An all stainless-steel version is available. Each anchor is preinstalled with a 1" long grade 5 hex bolt and a 1" washer.



Force Rating

The resistance of the installed anchors to extraction depends on the nature of the asphalt and the gravel below it. The SP10-38 is pull-rated for 1,500 lb.(6.7kN) when installed with the EPX2 or EPX3 grouts (see note 1). At ground level, the anchor can resist 1,000 lb. of shear force. The anchor is rated for 200 in.-lb. rotary torque; this torque is exerted when tightening the attaching bolt.

To find out if an anchor is suitable for your application, the safe way is to make a test installation. You will be able to leave the anchors in place after the test without the need to remove them as they are flush with the roadway surface.

Note 1: When installing anchors close together, derate the pull strength of additional anchors by 6% for every 1 inch less than 12. For example, 4 SP10 arranged 4" apart will resist a total pull force of 3,840 lb. (1,500 + 3 x (52% x 1500))

About Asphalt

Asphalt is 20 times weaker than concrete. Asphalt flows under pressure over time and thus cannot support expansion-type wedge anchors that are so effective in concrete. BoltHold anchors use a stress-free bond between the anchors and the asphalt, assuring long term stability.

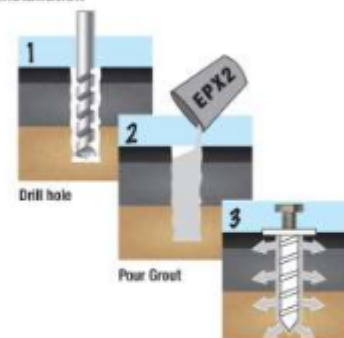
The length of the anchor serves to increase the shear resistance by embedding the anchor in the compacted gravel below the asphalt layer.

Installation

The installation requires drilling a 3/8", 6" deep hole into the asphalt and the gravel below it. The hole is then filled with grout and the anchor is dropped in. The anchor is ready for use in 15-45 minutes depending on the grout and ambient temperature. Below 45°F use our EPX3 resin grout.

Always consult the latest inline installation instructions before installing these anchors. A comprehensive installation manual is available on our web site under "Library". The online manual is updated regularly to reflect the availability of grouts, new installation techniques and user feedback.

Installation



1. Drill a hole per anchor specs
2. Fill hole with EPX2 grout
3. Push anchor in flush with surface.
4. Wait 15 minutes and attach object to anchor.



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email: marketing@asphaltanchors.com

Tel: 1.973.669.8214 Fax: 1.973.669.5161
WEB: www.asphaltanchors.com

Page 1 of 2

BOLTHOLD™ SP10-38 Asphalt Anchors Datasheet V4.0

Grout Selection

The term "grout" is used here in a broad meaning; the actual materials can be expanding cement or certain 2-part hard epoxies. We offer our tested EPX2 cement and EPX3 resin (epoxy) grouts.

In general, the anchoring grout must be self-leveling (meaning that it flows easily, to fill in all the crevices and voids). It must cure to a hard material and must be immune to extended exposure to water and temperature fluctuations. **Do not use Kwikset or Rockite.**

You will need about 2 Fluid oz (1/4 cup) or 60 cc of grout per anchor. Our EPX2 resealable bag supplies 4 anchors. The EPX2 10 lb. tubs supply 55 anchors. Our EPX3 single-cartridge epoxy tube covers 5 SP10 anchors.

Packing

The BoltHold SP10-38 anchors are packaged 6 anchors to a "Set" carton. 9 Sets are packaged in a Master carton which holds 54 anchors.

| KIT PACKING INFORMATION | |
|--------------------------------|-------------------|
| Anchors per Set | 6 |
| Set Carton dimensions, mm | 106 x 186 x 53 |
| Set Carton dimensions, inch | 4.2" x 7.3 x 2.1 |
| Set Carton weight | 2.5 lb. / 1.14 Kg |
| Set Carton Volume | 0.001 CBM |
| Number of anchors per Master | 54 |
| Master Carton dimensions, mm | 200 x 340 x 191 |
| Master Carton dimensions, inch | 7.8 x 13.4 x 7.5 |
| Master Carton Gross Weight | 20 lb. / 9 Kg |
| Master carton Volume | 0.013 CBM |

Tariffs

The SP10-38 are shipped under schedule 55. HTS code (export) 7318.19.0000

Links

[Installation Manual](#)

[Prices](#)

| Anchor Metrics | |
|-----------------------|------------------|
| Anchor Length | 6" (150 mm) |
| Anchor body diameter | 5/8" (18 mm) |
| Anchor head diameter | 1.35" (43 mm) |
| Washer thickness | 0.08" (2 mm) |
| Anchor weight | 0.2 lb. (0.1 Kg) |
| Internal Thread | 3/8"-16 UNC |
| Bolt allowed depth | 4" (100 mm) |
| Finish SP10-38 | Zinc plating |
| Finish SP10-38S | SS 304 |
| Finish SP10-38-D | Dacromet 320 |
| Pull resistance | 1,500 lb. |
| Shear Resistance | 1,000 lb. |
| Torque rating | 200 lb.-in |
| Grout volume required | 60cc (2 FL oz) |
| SP10 per EPX2 bag/Tub | 4 / 45 |
| SP10-38 6-pack SKU | 01-6310.38K |
| SP10-38S 6-pack SKU | 01-6310.35K |
| SP10-38-D 6-pack SKU | 01-6310.38K-D |



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WEB: www.asphaltanchors.com

Page 2 of 2



Marina Quinonez <marina.quinonez@lacity.org>

CEQA Finding for Midvale- URGENT-

25 messages

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Sep 6, 2023 at 11:59 AM

To: Maria Martin <maria.martin@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>

Hi Annabelle and Maria,

CD 5 just informed me that they plan to submit their motion for approval on September 19th.

Are you aware Annabelle?

Maria, we need to get this going. I am sending you the information I have, let me know what else you need.

Right now, it is servicing 33 homeless individuals.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



CD5-Hope Pavilion-final.pdf
6852K

Maria Martin <maria.martin@lacity.org>

Wed, Sep 6, 2023 at 12:06 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Hi Marina and Annabelle,

Please let me know my deadline. I will squeeze it in somehow. Thanks.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org

CPRA-15-BOE-000206

[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Wed, Sep 6, 2023 at 12:08 PM

To: Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Cc: Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Hi Maria and Marina,

We were not aware that the motion will be introduced on that day. I will reach out to CD 5, thanks for the flag.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Sep 12, 2023 at 2:17 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Maria,

Checking in. The CD 5 will be introducing the motion on the 19th.

Annabelle, please let Maria know when to upload the motion.

Thanks

[Quoted text hidden]

[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Tue, Sep 12, 2023 at 2:32 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Thanks, Marina. The motion will not have a CF until after it's introduced. @Maria Martin Can you please provide the CEQA language that must be included in the motion?

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Wed, Sep 13, 2023 at 9:40 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Steve Martin <steve.martin@lacity.org>

Cc: Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

I need to know the motion's actions. I also need to consult with Steve regarding the current applicable CEQA exemption(s) for the bridge shelters.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 600
Los Angeles, CA 90015
Mail Stop 939
O: 213.485.5753
CPRA-15-BOE-000207

maria.martin@lacity.org



[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Wed, Sep 13, 2023 at 10:07 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Steve Martin <steve.martin@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Hi Anabelle and Steve,

I've been out due to illness. My brain is a bit foggy, but I will do what I can.

What is the deadline for the CEQA language and do you anticipate they will need the NOE uploaded by this Friday 9/15?

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Wed, Sep 13, 2023 at 10:46 AM

To: Maria Martin <maria.martin@lacity.org>

Cc: Steve Martin <steve.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Good morning Marina,

CD 5 intends to introduce this language via motion on Tuesday, 9/19, so the language will need to be finalized by then. A new CF will need to be created, and the timing won't be as consistent since this is a motion and not an actual report, so I can notify you of when it's created. It will probably be a day or two after the introduction.

Thank you.

Respectfully,

Annabelle Gonzales

Office of the City Administrative Officer

E: annabelle.gonzales@lacity.org

P: (213) 978-2752

[Quoted text hidden]

Steve Martin <steve.martin@lacity.org>

Wed, Sep 13, 2023 at 11:51 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>

CPRA-15-BOE-000208

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Annabelle and Maria,

We have a couple of comments for BOE (regarding the CEQA compliance) and CAO (regarding needing the Council action to show that qualifying HEAP, HHAPP, Prop HHH, or Measure H funding will be used).

1) CEQA Exemption

The Mayor's emergency declaration does not exempt the City from CEQA compliance. But, it might serve as one piece of evidence supporting our reliance on CEQA's emergency exemption. The City still needs to provide substantial evidence supporting that we fit the CEQA exemption. And as we've said before, the emergency exemption is a weaker exemption for homeless shelters, which might be easily attacked. So, the City should additionally rely on AB 1197 for emergency shelters, if they qualify.

The motion appears to commit the City to this project because it instructs departments to repurpose the parking lot for interim housing, design the project, and enter into a contract for the modular units. When the City Council considers and adopts those commitments through adopting the motion, the City Council should also determine that the project is exempt from CEQA, and that exemption determination should be supported with substantial evidence in a supplementary report prepared by BOE.

2) Qualifying Funding for the CEQA Exemption

Specific funding (HHAPP, HEAP, Prop HHH, or Measure H) is needed to qualify for the AB 1197 CEQA exemption. The draft motion only instructs CAO to explore funding. That is not substantial evidence supporting that the project is funded by qualifying funds for AB 1197. The City should provide evidence that it will be applying HHAPP, HEAP, Prop HHH, or Measure H funds to qualify for the AB 1197 exemption. CAO could work that out with CD5 and specifically identify in the motion (or through an amendment to the motion before City Council adopts it) the HHAPP, HEAP, Prop HHH, or Measure H funding that will be appropriated for the project.

Please let us know if you have any questions.

Thanks,

Steve

Steven G. Martin
Deputy City Attorney
Los Angeles City Attorney's Office
200 N. Main Street, 7th Floor
Los Angeles, California 90012
Office/Cell: (213) 978-8253
Fax: (213) 978-8090
steve.martin@lacity.org

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Maria Martin <maria.martin@lacity.org>

Wed, Sep 13, 2023 at 12:04 PM

To: Steve Martin <steve.martin@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>

Annabelle and Ed, please recall that in the past, the amount did not matter as long as it was identified.

I need to know as soon as possible if a commitment can be made, for some funding, so I can prepare the CEQA findings.

CPRA-15-BOE-000209

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 600
Los Angeles, CA 90015
Mail Stop 939
O: 213 485 5753
maria.martin@lacity.org



[Quoted text hidden]

Maria Martin <maria.martin@lacity.org> Wed, Sep 13, 2023 at 12:07 PM
To: Steve Martin <steve.martin@lacity.org>
Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>

Thank you Steve.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 600
Los Angeles, CA 90015
Mail Stop 939
O: 213 485 5753
maria.martin@lacity.org



On Wed, Sep 13, 2023 at 11:51 AM Steve Martin <steve.martin@lacity.org> wrote:
[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org> Thu, Sep 14, 2023 at 2:29 PM
To: Maria Martin <maria.martin@lacity.org>
Cc: Steve Martin <steve.martin@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>

Hi Maria,

Our intention is to use HHAP funds for a portion of construction, however at this time, both funding and CEQA will not be included in the motion. This will be a standalone instruction from the Council Office, and we can respond in the future with funding recommendations and CEQA determination. But for your awareness, we will use HHAP. If you have any questions or concerns, please let me know.

Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752
CPRA-15-BOE-000210

[Quoted text hidden]

Steve Martin <steve.martin@lacity.org>

Thu, Sep 14, 2023 at 5:09 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>

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Annabelle,

I'm unclear about what is meant by the standalone Council Office instruction. Does this mean the motion is going to be changed to say something different, and remove the various instructions in the motion to perform the project?

If not, then CEQA compliance and evidence of funding may be needed when this motion is adopted. To clarify, when the motion is introduced on Sept 19th, we do not recommend including a CEQA determination at that point. But, when the subsequent Council action is taken, where the Council votes to adopt this motion, it should also make a CEQA determination, because the motion effectively commits the City to performing a project that could impact the environment. So, BOE's supporting CEQA documentation should be included for Council's consideration when it votes to approve the motion (which would be sometime after the Sept 19 introduction), and the Council should make a determination that its action (adopting the motion approving the project) is exempt from CEQA.

The action should also show how qualifying HHAP funding is funding the project when it is approved by Council. For example, with the Mayfair Hotel, the City has just been served with a lawsuit arguing we did not clearly demonstrate the project would be funded by qualifying funds when we approved the project. So, we strongly recommend including evidence supporting that we meet all the requirements for the exemption, including the funding part, particularly where this Midvale project has vocal opposition from neighbors.

Thanks,
Steve

Steven G. Martin
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steve.martin@lacity.org

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[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Wed, Sep 27, 2023 at 4:03 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Steve Martin <steve.martin@lacity.org>

Hi Annabelle and Ed,

Do we have any documentation or evidence supporting the qualifying funding part? Thanks.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 600](#)
[Los Angeles, CA 90015](#)
Mail Stop 939
O: [213 485 5753](tel:2134855753)
[CPRA-15-BOE-000211](#)

maria.martin@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, Sep 28, 2023 at 8:36 AM

To: Maria Martin <maria.martin@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Steve Martin <steve.martin@lacity.org>, Mindy Pothongsunun <mindy.pothongsunun@lacity.org>

Good morning Maria,

We will use HHAP-1 funds for construction. This will be programmed alongside the CEQA language in the report. If you have any more questions, please let me know.

Thank you.

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 8:44 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Steve Martin <steve.martin@lacity.org>, Mindy Pothongsunun <mindy.pothongsunun@lacity.org>

Good morning. Thanks Anabelle.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
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[Los Angeles, CA 90015](#)
Mail Stop 939
O: [213 485 5753](tel:2134855753)
maria.martin@lacity.org



[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 11:57 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>

Good morning,

CPRA-15-BOE-000212

I need this information today so I can finalize the NOE for upload tomorrow before 9am. I am working on the NOE and need to verify the project description is correct. First, I am listing 3 questions followed by my draft project description:

1. The LifeArk plans indicate the Site area is 16,340 and the info from UPRS indicates 22,360 SF is this difference because we will be able to use the alley? Please confirm SF I should use.
2. How many parking spaces?
3. How many staff do you anticipate will be working on-site.

The CD 5 - [2377 Midvale Ave](#) Interim Housing project (Project) consists of funding allocation, construction of approximately 45 units including sleeping cabins (ensuite units) with restrooms in each unit, on-site laundry facilities, storage bins and a storage module, pet area, office/case management conferencing space, dining area/community space, security fencing, and staff parking; lease or similar agreement, and operation of an interim housing facility on an existing underutilized City-owned parking lot. The purpose of the Project is to provide emergency shelter for approximately 33 individuals experiencing homelessness to help bridge their transition from living on the streets to finding services and, ultimately, living in transitional and/or permanent housing. Project beneficiaries include the homeless community, the public, and local businesses.

This interim housing facility will provide emergency shelter, hygiene, storage, food services and case management for **approximately 33 individuals** experiencing homelessness. Additional services may include job training, group therapy, resume building and other workshops. Project operations will include **XX employees** scheduled in shifts throughout the day with site security provided on a 24/7 basis or per a security plan consistent with the Los Angeles Homeless Services Authority's (LAHSA) standards. The homeless shelter will be operated consistent with LAHSA's program requirements for crisis and bridge shelters including, but not limited to, LAHSA's Scope of Required Services and Program Standards, as noted in the references section. A third-party service provider, County, and/or LAHSA will operate the Project for the City, and it is anticipated that a lease or similar operating and/or funding agreements may be executed with the service provider, County, and/or LAHSA.

The Project site consists of two parcels, APNs 4322-004-902 (Lot 1) and 4322-004-903 (Lot 2), bisected by an alley and with an area of approximately **16,340 square feet with frontages along Pico Boulevard and Midvale Avenue**. The Project site is developed with an LADOT surface parking lot. Lot 1 is zoned NMU(EC)-POD, designated with a Neighborhood Commercial land use; and Lot 2 is zoned R1-1, designated with a low residential land use.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

To: Maria Martin <maria.martin@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Thu, Sep 28, 2023 at 12:25 PM

Looping in [@Erik Villanueva](#) for support. Would you be able to assist with this please?

Respectfully,

Annabelle Gonzales

Office of the City Administrative Officer

E: annabelle.gonzales@lacity.org

P: (213) 978-2752

CPRA-15-BOE-000213

[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 12:24 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Annabelle,

Thanks. Do you know how many employees are anticipated? Thanks.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, Sep 28, 2023 at 12:44 PM

To: Maria Martin <maria.martin@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Maria,

1. Please use 22,360 SF.
2. I'll defer to Marina and the team regarding the parking.
3. I don't have an exact number since the service provider hasn't been selected yet, but I would estimate 6-8 employees throughout the day, with at least 3 on site at a time.

Thank you.

Respectfully,

Annabelle Gonzales

Office of the City Administrative Officer

E: annabelle.gonzales@lacity.org

P: (213) 978-2752

[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 12:42 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Steve Martin <steve.martin@lacity.org>, Mindy Pothongsunun <mindy.pothongsunun@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

EMG Recommended CEQA language for the Agenda is below:

Funding allocation, construction, lease or similar agreement, and operation of an interim housing facility the City-owned property [2377 Midvale Avenue](#); and California Environmental Quality Act (CEQA) exemption determination that the project is statutorily exempt under Public Resources Code Section 21080(b)(4) as specific action necessary to prevent or mitigate an emergency as also reflected in CEQA Guidelines Section 15269(c); and under Public Resources Code

CPRA-15-BOE-000214

Section 21080.27 (AB 1197) applicable to City of Los Angeles emergency homeless shelters.
Recommendations for the CEQA Findings:

EMG Recommendations for the CEQA Findings:

DETERMINE that the Interim Housing Project at [2377 Midvale Avenue](#), which allows for funding allocation, construction, lease or similar agreement, and operation of an interim housing facility to provide temporary emergency shelter to people experiencing homelessness, is statutorily exempt from the California Environmental Quality Act (CEQA) pursuant to Public Resources Code, Section 21080(b)(4), as a specific action necessary to prevent or mitigate an emergency, and as reflected in State CEQA Guidelines, Section 15269(c); and Public Resources Code, Section 21080.27 (AB 1197), applicable to City of Los Angeles emergency homeless shelters.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 600](#)
[Los Angeles, CA 90015](#)
Mail Stop 939
O: [213 485 5753](#)
maria.martin@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, Sep 28, 2023 at 12:47 PM

To: Maria Martin <maria.martin@lacity.org>

Cc: Erik Villanueva <erik.villanueva@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Maria,
Correction, I defer to Marina and the team regarding the square footage and parking. Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Thu, Sep 28, 2023 at 12:48 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Maria,

I just double checked the three parcels on NavigateLA (without the alley) = TOTAL area is 16,860sf

The proposed LifeArk layout has 2 parking stalls, and one of those is ADA.

Erik Villanueva C-35430

Architectural Division | Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 830](#), Mail Stop 507
Los Angeles, CA 90015
[CPRA-15-BOE-000215](#)

Phone: 213.485.4488



[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 12:55 PM

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Erik.

Thanks! Can you please verify if it is okay to attach pages 5 and 6 of the conceptual set at the following box link?

<https://englacity.box.com/s/l4iottmb248d7c8qitz63az4ykavrxdx>

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Thu, Sep 28, 2023 at 1:23 PM

To: Maria Martin <maria.martin@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Maria,

Yes, those look like the latest we have received as well.

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

CF 23-1066 UPLOAD BOE Report for Bridge Housing CD 5 - 2377 Midvale Ave

2 messages

Maria Martin <maria.martin@lacity.org>

Fri, Sep 29, 2023 at 12:29 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Mandy Morales <mandy.morales@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Alfred Mata <alfred.mata@lacity.org>

Hi Annabelle and Mindy,

The BOE Report and the NOE were just uploaded to the CF. Thanks.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org

ENGINEERING



Mandy Morales <mandy.morales@lacity.org>

Fri, Sep 29, 2023 at 12:30 PM

To: Maria Martin <maria.martin@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Alfred Mata <alfred.mata@lacity.org>, Heidi Schultheis <heidi.schultheis@lacity.org>, Meg Healy <meg.healy@lacity.org>

Thank you, Maria. I will keep checking PrimeGov, so far it has not been received.

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Council Approval: Midvale Tiny Home Village

2 messages

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Oct 20, 2023 at 10:45 AM

To: "Mary Wu, AIA" <mwu@ggarch.com>, "Ali Barar, AIA" <abarar@ggarch.com>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Ali and Mary,

The Midvale project was approved at Council today. CD 5 would like to receive a tentative schedule, your proposal states 8 weeks, we would like to meet on Monday morning to discuss your availability and staffing.

Let us know if Monday at 9:30 is doable.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



Mary Wu <mwu@ggarch.com>

Fri, Oct 20, 2023 at 2:15 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Ali Barar <abarar@ggarch.com>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Marina,

Glad to hear that CD5 is approved. Both Ali and I are available on Monday at 9:30 am to discuss staffing and schedule. Please send invite.

Thanks,

Mary

Mary Wu, AIA

Associate Principal

Direct: 626 568 3462

CPRA-15-BOE-000218

GGA+

135 WEST GREEN ST #200 PASADENA, CA 91105

626 568 1428

GGARCH.COM

From: Marina Quinonez <marina.quinonez@lacity.org>

Sent: Friday, October 20, 2023 10:45 AM

To: Mary Wu <mwu@ggarch.com>; Ali Barar <abarar@ggarch.com>

Cc: Nathan Ho <nathan.ho@lacity.org>; Erik Villanueva <Erik.Villanueva@lacity.org>

Subject: Council Approval: Midvale Tiny Home Village

Ali and Mary,

The Midvale project was approved at Council today. CD 5 would like to receive a tentative schedule, your proposal states 8 weeks, we would like to meet on Monday morning to discuss your availability and staffing.

Let us know if Monday at 9:30 is doable.

Thank you

Marina Quiñónez, AIA

Architectural Division I Senior Architect

Bureau of Engineering| Department of Public Works

[1149 S. Broadway St., suite 830](#)

[Los Angeles, CA 90015](#)

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org

| | |



Marina Quinonez <marina.quinonez@lacity.org>

F682/50_Homeless Project_Request for AFE and Issuance of Will Call Check for LA County Clerk for 2377 Midvale Interim Housing - \$75.00

4 messages

Thelma Castelltort <thelma.castelltort@lacity.org>

Thu, Oct 19, 2023 at 12:35 PM

To: Amalia Robles <amy.robles@lacity.org>, Franny Huang <franny.huang@lacity.org>, Michael Prendiz

<michael.prendiz@lacity.org>, Karen Lucero <karen.lucero@lacity.org>, OOA INVOICES

<bpw_scanned_ooa_repository@lacity.org>

Cc: Ivet Madatyan <ivet.madatyan@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez

<marina.quinonez@lacity.org>

Hi Franny, Michael and Karen:

We are requesting that an AFE as well as GAX be processed for the Los Angeles County Clerk in the amount of \$75.00. This is for the payment of Notice of Exemption from the California Environmental Quality Act (CEQA) for 2377 Midvale Interim Housing.

Hi Amy:

In connection with this, we are also requesting authority from the Controller's Office for the issuance of a Will Call check payable to LA County for \$75.00. As stated in the AFE, I will be the one to pick up the check from the Paymaster's Office as soon as the check becomes available.

Attached are the following documents:

1. Memo to the Controller's Office requesting for the issuance of Will Call Check.
2. AFE to County Clerk (GAEEAE No. AE24682003)
2. Application for Notice of Exemption from CEQA (Invoice No AE24682003)

Please let us know if you have any questions or concerns.

Thank you.

Thelma B. Castelltort

Architectural Division | Sr. Management Analyst I

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 820

Los Angeles, CA 90015

Mail Stop 295

O: 213 847 1696 | F: 213 847 1794

thelma.castelltort@lacity.org

 <http://eng.lacity.org/> 

3 attachments



Memo Will Call Check for Midvale.pdf

343K

CPRA-15-BOE-000220



AE24682006M - \$75.00 for Midvale_.pdf
445K



Invoice No. AE24682006M for LA County \$75.00 for Midvale.pdf
2217K

Amalia Robles <amy.robles@lacity.org>

Thu, Oct 19, 2023 at 12:50 PM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Franny Huang <franny.huang@lacity.org>, Michael Prendiz <michael.prendiz@lacity.org>, Karen Lucero <karen.lucero@lacity.org>, OOA INVOICES <bpw_scanned_ooa_repository@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, CTR PAYMASTER <ctrpaymaster@lacity.org>, Lourdes Zabala <LOURDES.ZABALA@lacity.org>, Benjamin Buenaventura <benjamin.buenaventura@lacity.org>, Annie Marie Reyes <anniemarie.reyes@lacity.org>

Will Call request is approved.
Please provide GAX # once available.
Thank you.

Kind regards,

AMY ROBLES, CIA | Principal Accountant
Office of the City Controller
Fiscal Oversight Support Services (FOSS)
Tel. (213) 978-7407
<http://controller.lacity.org/>
RDO: 1st Friday



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Thelma Castelltort <thelma.castelltort@lacity.org>

Thu, Oct 19, 2023 at 1:06 PM

To: Amalia Robles <amy.robles@lacity.org>

Cc: Franny Huang <franny.huang@lacity.org>, Michael Prendiz <michael.prendiz@lacity.org>, Karen Lucero <karen.lucero@lacity.org>, OOA INVOICES <bpw_scanned_ooa_repository@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, CTR PAYMASTER <ctrpaymaster@lacity.org>, Lourdes Zabala <LOURDES.ZABALA@lacity.org>, Benjamin Buenaventura <benjamin.buenaventura@lacity.org>, Annie Marie Reyes <anniemarie.reyes@lacity.org>

Thank you, Amy.

Thelma B. Castelltort
Architectural Division | Sr. Management Analyst I
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 820
Los Angeles, CA 90015
Mail Stop 295
O: 213 847 1696 | F: 213 847 1794
thelma.castelltort@lacity.org

CPRA-15-BOE-000221

 <http://eng.lacity.org/> 

[Quoted text hidden]

Karen Lucero <karen.lucero@lacity.org>

Thu, Oct 19, 2023 at 1:35 PM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Amalia Robles <amy.robles@lacity.org>, Franny Huang <franny.huang@lacity.org>, Michael Prendiz <michael.prendiz@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Thelma,

Received, thank you.

Karen

On Thu, Oct 19, 2023 at 12:35 PM Thelma Castelltort <thelma.castelltort@lacity.org> wrote:

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Fwd: 09/29/2023 - Items for Council and Committee Referrals - 09/29/2023

1 message

Carla Vallejo <carla.vallejo@lacity.org>

Tue, Oct 3, 2023 at 7:57 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Maria Martin <Maria.Martin@lacity.org>

FYI

23-1066

CD 5

To Housing and Homelessness Committee

Bureau of Engineering report, dated September 29, 2023, relative to a California Environmental Quality Act Notice of Exemption for the Crisis and Interim Housing site located at [2377 Midvale Avenue](#).

Thank you,
Carla

Carla L. Vallejo, P.E.
Executive Division | Council/Board Liaison
Bureau of Engineering | Department of Public Works
[200 N. Spring Street, Suite M-154](#)
[Los Angeles, CA 90012](#)
Mail Stop 195
C: 213-978-2074

carla.vallejo@lacity.org

ENGINEERING



----- Forwarded message -----

From: **City Clerk** <Clerk.LSadmin@lacity.org>

Date: Mon, Oct 2, 2023 at 10:33 AM

Subject: 09/29/2023 - Items for Council and Committee Referrals - 09/29/2023

To: <CLK_REFERRALMEMO@listserv.lacity.org>

TITLE: Items for Council and Committee Referrals - 09/29/2023

DATE: 09/29/2023

To view the document online please visit: http://ens.lacity.org/clk/referralmemo/clkreferralmemo9174716_09292023.html

Please DO NOT reply to this automated email.

If you have a specific question concerning the attached Council Referral, contact the Council Public Services office at 213-978-1133.

If you have problems subscribing or unsubscribing to the Council Referrals, contact the City Clerk Systems Division at 213-978-0353.

If you do not want to receive further mailings, you can unsubscribe from the list by going to <https://www.lacity.org/your-government/council-votes/subscribe-council-meeting-agendas> using a web browser and by following the instructions OR

To unsubscribe from this list, please click on this link:

http://listserv.lacity.org/cgi-bin/wa.exe?SUBED1=clk_referralmemo&A=1



[clkreferralmemo9174716_09292023.html](#)

21K



Marina Quinonez <marina.quinonez@lacity.org>

Fwd: CD 5 - Underutilized Properties for IH/AH/PSH

8 messages

Zachary Warma <zachary.warma@lacity.org>

Fri, Apr 7, 2023 at 11:45 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>

Marina:

I hope this message finds you well!

As a follow up to our conversation last month - with the CAO having finalized their property profiles of various city-owned parcels in the 5th District our office is contemplating for potential housing interventions, I want to emphasize that the [2377 Midvale Ave](#) LADOT lot #707 is the only property for which our office requests a BOE analysis for interim housing. Would you mind reminding me the average / approximate length of time it takes to generate one of these reports?

We also want to uplift our desire that *no* parking replacement be formally contemplated as part of the Midvale analysis, given the Councilwoman's recent introduction of a motion to nullify the 2019 LADOT/HCIDLA MOU that set the requirements for parking spot replacements when an LADOT lot is converted into housing.

For 2367 Prosser and Olympic/Crenshaw, we will very likely be bringing forward a council motion in the near future for a formal analysis of both sites for either 100% affordable or permanent supportive housing development.

And for the Robertson and Broxton LADOT garages, neither of these sites are a near term priority, as they both necessitate more substantive conversations with an array of stakeholders before any additional analysis should proceed.

Please let us know how our office can be supportive of you and your team's work, and we so look forward to continuing this partnership and dialogue!

Regards,

Zack Warma

----- Forwarded message -----

From: **Annabelle Gonzales** <annabelle.gonzales@lacity.org>

Date: Thu, Apr 6, 2023 at 10:26 PM

Subject: CD 5 - Underutilized Properties for IH/AH/PSH

To: Zachary Warma <zachary.warma@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Dylan Sittig <dylan.sittig@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Matthew Tenchavez <matthew.tenchavez@lacity.org>

Cc: Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Rachel Fox <rachel.fox@lacity.org>

Hi everyone,

Please find attached the property profiles for the 5 underutilized properties within your district that are being considered for interim housing, affordable housing, or permanent supportive housing.

I know there's special interest in the site on Midvale, so I will share this with BOE to begin the feasibility review for interim housing. If anyone has any questions, please let me know.

Thank you and have a great weekend!

CPRA-15-BOE-000224

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

--



Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

5 attachments

- 2367 Prosser Ave (03.10.23)(EAB).pdf**
419K
- 123 S. Robertson (03.14.23)(EAB).pdf**
337K
- 2377 Midvale Ave (03.10.23)(EAB).pdf**
381K
- Olympic and Crenshaw (03.20.23)(EAB).pdf**
399K
- 1036 Broxton Ave (03.16.23)(EAB).pdf**
353K

Annabelle Gonzales <annabelle.gonzales@lacity.org> Fri, Apr 7, 2023 at 6:41 PM
To: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>
Cc: Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Hi Zach,

Thank you for the clarification! To the BOE team, can you please begin reviewing [2377 Midvale Ave.](#) for a THV?

If anyone has any questions, please do not hesitate to reach out.

Thank you and have a great weekend!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Mon, Apr 10, 2023 at 6:54 AM
To: Annabelle Gonzales <annabelle.gonzales@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>,

CPRA-15-BOE-000225

Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Good morning Zachary and Annabelle,

Thank you for the confirmation. We will get started with this site on Monday the 17th, we will submit a feasibility study and an estimate within two weeks.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Mon, Apr 10, 2023 at 8:55 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Kristen Pawling <kristen.pawling@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Great, thanks everyone!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, May 1, 2023 at 2:01 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Marina:

I hope you had a pleasant weekend.

Two quick items:

i. At your convenience, would you mind providing an update on when we can expect the feasibility analysis for 2377 Midvale?

ii. Would it be possible for your team to possibly conduct an analysis of utilizing the rooftop and/or the top floor of the LADOT Parking Garage #680 at [1036 Broxton Ave](#) (CAO property profile attached) for either safe parking or interim housing?

CPRA-15-BOE-000226

As always, Marina, thank you so much!

- Zack Warma

On Mon, Apr 10, 2023 at 6:55 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

[Quoted text hidden]



1036 Broxton Ave (03.16.23)(EAB).pdf
353K

Marina Quinonez <marina.quinonez@lacity.org>

Mon, May 1, 2023 at 2:19 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Hi Zachary,

The feasibility for Midvale will be submitted by the end of day today.

We have never looked at a rooftop application for either of your requests, though certainly, LADBS and LAFD would not approve this for interim housing. The Ordinance is very specific that all shelters must be on the first floor, this facilitates fire-life safety.

Safe parking is a possibility, though hygiene amenities would be very difficult, perhaps portable toilets would be possible for short-term use. CAO is most experienced in safe-parking sites.

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, May 1, 2023 at 3:39 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Cc: Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Marina:

Going to take this opportunity to thank you and your amazing team again for the Midvale Feasibility analysis. Re: the Broxton parking garage and use for interim housing - totally understood.

Annabelle and Kendra: who would you recommend I engage to initiate a Safe Parking analysis for 1-2 floors of the LADOT parking garage #680 at [1036 Broxton Ave](#)?

Cheers,

Zack

[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Tue, May 2, 2023 at 4:36 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Steven Fierce <steven.fierce@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>, Gary Gero <gary.gero@lacity.org>, Megan Falcone <megan.falcone@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>

Good afternoon Zack,

We would need to engage LAHSA in assessing the site for possible Safe Parking. They would be able to provide data of PEH that are living in their cars within the area. I can loop you into that review request.

Thank you!

CPRA-15-BOE-000227

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Fwd: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

12 messages

Elise Hernandez <elise.hernandez@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jul 20, 2023 at 10:01 AM

Hello Marina,

Here are the topo files for the CD5 - 2377 Midvale LADOT Lot 707 project.

Thank you,

----- Forwarded message -----

From: **Elise Hernandez** <elise.hernandez@lacity.org>

Date: Thu, Jul 20, 2023 at 8:01 AM

Subject: CD5 - 2377 Midvale LADOT Lot 707 /// Topo Files

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>, Valerie Lai <valerie.lai@lacity.org>

Hello Nathan,

Here are the topo files for the above mentioned project. Please let me know if you have any questions or concerns.

Thank you,

--

Elise Hernandez
Survey Division | Survey Party Chief
Bureau of Engineering | Department of Public Works
[201 N. Figueroa St., Suite 1100](#)
[Los Angeles, CA 90012](#)
Mail Stop: 904
Office:
Email: elise.hernandez@lacity.org

 <http://eng.lacity.org/> 

--

Elise Hernandez
Survey Division | Survey Party Chief
Bureau of Engineering | Department of Public Works
[201 N. Figueroa St., Suite 1100](#)
[Los Angeles, CA 90012](#)
Mail Stop: 904
Office:
Email: elise.hernandez@lacity.org

 <http://eng.lacity.org/> 

4 attachments

 **CD5 - 2377 Midvale Lot 707.dwg**
1238K

 **CD5 MIDVALE.XML**
238K

CPRA-15-BOE-000229



CD5 - 2377 Midvale Lot 707.pdf

545K



Survey Control Plat - CD5 - 2377 Midvale Lot 707.pdf

254K

Marina Quinonez <marina.quinonez@lacity.org>
To: Elise Hernandez <elise.hernandez@lacity.org>

Thu, Jul 20, 2023 at 10:23 AM

Thank you!

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Erik Villanueva <Erik.Villanueva@lacity.org>

Thu, Jul 20, 2023 at 10:23 AM

[Quoted text hidden]

4 attachments



CD5 - 2377 Midvale Lot 707.dwg

1238K



CD5 MIDVALE.XML

238K



CD5 - 2377 Midvale Lot 707.pdf

545K



Survey Control Plat - CD5 - 2377 Midvale Lot 707.pdf

254K

Marina Quinonez <marina.quinonez@lacity.org>
To: Elise Hernandez <elise.hernandez@lacity.org>

Fri, Jul 21, 2023 at 4:30 PM

Cc: Nathan Ho <nathan.ho@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>

Elise,

There is an easement on this site, we need it marked in the survey.

Please let us know how quickly we can have the work done.

Thank you.

[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>, cwee@lifeark.net
Cc: Marina Quinonez <Marina.Quinonez@lacity.org>

Fri, Jul 21, 2023 at 7:13 PM

Afternoon Zach and Charles,
Please see the attached survey for the Midvale site, pdf and AutoCAD.
Kind regards

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works





1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

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4 attachments

-  **CD5 - 2377 Midvale Lot 707.dwg**
1238K
-  **CD5 MIDVALE.XML**
238K
-  **CD5 - 2377 Midvale Lot 707.pdf**
545K
-  **Survey Control Plat - CD5 - 2377 Midvale Lot 707.pdf**
254K

Charles Wee <cwee@lifeark.net> Sat, Jul 22, 2023 at 8:43 AM
To: Erik Villanueva <erik.villanueva@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Marina Quinonez <Marina.Quinonez@lacity.org>

Thanks Eric! We did get a copy of the survey from Nathan Ho.

Thanks,
Charles
213-324-7228


[Quoted text hidden]

Elise Hernandez <elise.hernandez@lacity.org> Mon, Jul 24, 2023 at 7:57 AM
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Nathan Ho <nathan.ho@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>

Good morning Marina,

We'll try and get it to you by the end of the week.

Thank you,
[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org> Mon, Jul 24, 2023 at 11:37 AM
To: Elise Hernandez <elise.hernandez@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>

Thank you Elise.

Regards,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](#)
Email: nathan.ho@lacity.org

[Quoted text hidden]

Elise Hernandez <elise.hernandez@lacity.org>

Mon, Jul 24, 2023 at 12:11 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.amos@lacity.org>

Hello Marina and Nathan,

Here is the updated drawing & PDF with the easements that you have requested. Please let me know if you have any other questions or concerns.

Thank you,

[Quoted text hidden]

2 attachments

 **CD5 - 2377 Midvale Lot 707.dwg**
1357K

 **CD5 - 2377 Midvale Lot 707.pdf**
546K

Elise Hernandez <elise.hernandez@lacity.org>

Mon, Jul 24, 2023 at 1:58 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.amos@lacity.org>

Hello Marina and Nathan,

Please use this updated version of the drawing with the property lines and easements.

Thank you,

On Mon, Jul 24, 2023 at 11:39 AM Nathan Ho <nathan.ho@lacity.org> wrote:

[Quoted text hidden]

[Quoted text hidden]

2 attachments

 **CD5 - 2377 Midvale Lot 707.dwg**
1704K

 **CD5 - 2377 Midvale Lot 707.pdf**
547K

Nathan Ho <nathan.ho@lacity.org>

Mon, Jul 31, 2023 at 12:07 PM

To: Elise Hernandez <elise.hernandez@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.amos@lacity.org>

Hi Elise,

Thank you again for these updated versions. Does your CAD file show the exact location of the storm drain pipe and easement? The pipe alignment is proving critical for the design team, and I wanted to see if you got it off of NavigateLA or the as-built drawings.

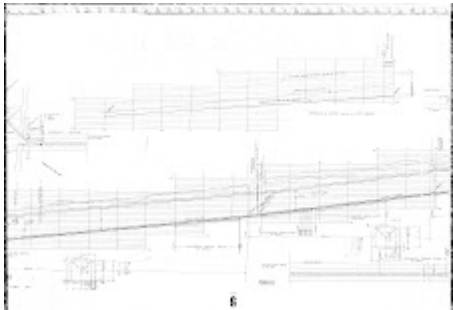
Thanks,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org

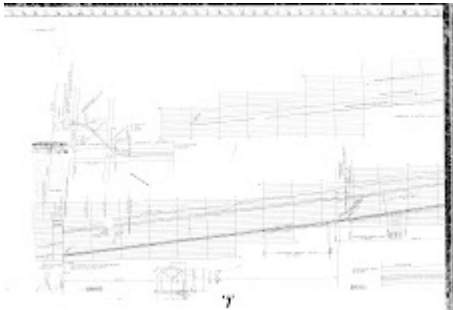


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2 attachments



la000338495 (1).tif
912K



UNL-28962 (7).tif
1002K

Elise Hernandez <elise.hernandez@lacity.org>

Tue, Aug 1, 2023 at 7:38 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Eric Ramos <eric.ramos@lacity.org>


Good morning Nathan,


I put the easement in per the deed that was provided by the cadastral, because the plans do not give enough information to calculate it in.

Thank you,

[Quoted text hidden]

2 attachments

 **126B157.pdf**
548K

 **CE 87-27.pdf**
406K



Marina Quinonez <marina.quinonez@lacity.org>

Fwd: From the NY Times: L.A. Opens Its New Light-Rail Link

4 messages

Deborah Weintraub <deborah.weintraub@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Sat, Jun 24, 2023 at 8:56 AM

Take a look at the article on LifeArk.

Deborah

----- Forwarded message -----

From: **Elena Stern** <elena.stern@lacity.org>
Date: Fri, Jun 23, 2023, 2:15 PM
Subject: From the NY Times: L.A. Opens Its New Light-Rail Link
To: <DEBORAH.WEINTRAUB@lacity.org>

June 23, 2023

[View this email in your browser](#)



CITY OF LOS ANGELES
Department of Public Works
Public Affairs Office

NEWS CLIPPINGS

Today's Contents

Below are articles culled from newspapers and other periodicals relating to the activities of the Department of Public Works. They are being submitted to you for information purposes only.

- [L.A. Opens Its New Light-Rail Link](#)
- [LA Needs To House The Unhoused Fast. Are Plastic Homes An Answer?](#)
- [High living costs prompt Californians to consider leaving](#)
- [Metro looks to create its own police force. It won't be easy](#)
- [To reach net-zero emissions, American homes need an electric makeover](#)

NEW YORK TIMES

L.A. Opens Its New Light-Rail Link

By: Douglas Morino

June 23, 2023



A passenger at the Expo/Western Station in Los Angeles. Monica Almeida/The New York Times

A city famous for its choked freeways and crawling commutes has a new claim to fame: the longest light-rail line in the world.

That's according to the Los Angeles County Metropolitan Transportation Authority, which opened a 1.9-mile subway tunnel under downtown Los Angeles last week. The tunnel caps a \$1.8 billion project that will now allow riders to travel directly between Long Beach and Azusa, a journey of nearly 50 miles, or between Santa Monica and East Los Angeles.

The new link, called the Regional Connector, includes three new underground stations and links three light-rail lines, reducing travel times by eliminating the need for many riders to transfer.

Transit agencies across California and the nation are [trying to reinvent themselves](#) after the coronavirus pandemic drastically changed commuting patterns and ridership. Los Angeles leaders hope that by making use of the light-rail network more convenient, they can lure new riders, ease traffic and cut pollution.

"It remakes transportation in Los Angeles County," Bart Reed, executive director of the Transit Coalition, a public-transit advocacy group, said of the new link. "Anywhere you go, driving is often slow. The truth is that trains are a mobility solution in Los Angeles."

I rode the newly extended A line recently, from Long Beach through downtown Los Angeles, across Pasadena and into Azusa at the foot of the San Gabriel Mountains. The whole trip took just under two hours at speeds reaching 56 miles an hour. Train cars were mostly uncrowded.

At a time when transit budgets are being squeezed across the country, the Los Angeles County Metropolitan Transportation Authority, known as Metro, is expanding light rail in part because of a series of voter-approved sales tax increases meant to fund such projects, dating back to Proposition A in 1980.

"We're following the will of the voters," said Janice Hahn, a Los Angeles County supervisor and a Metro board member. "We're making a major investment in building out a modern transportation system that connects people to where they want to go."

With Los Angeles scheduled to hold the 2028 Summer Olympics, officials believe that expanding the light-rail system will better connect cities across the county, the most populous in the nation, while reducing street congestion and carbon emissions.

"There is no other choice, because we're not going to build new freeways," said Ara Najarian, a Glendale City Council member and the chair of Metro's board of directors. "We want to get people out of cars and into safe, reliable transit."

The expansion also comes at a time when drug overdoses on the trains have been increasing, and a series of [travelers aboard Metro trains](#) have been attacked. Violent crime on public transit in Los Angeles County is up about 10 percent from last year, and drug-related offenses have surged 301 percent, according to Metro figures.

Ridership remains below prepandemic levels but has begun to increase steadily. About 23.4 million riders used Metro trains and buses in April 2023, 10 percent more than in April 2022, according to Metro officials. Buses account for more than two-thirds of total ridership.

As my train traveled back to Long Beach, it was rush hour, and many more riders came on board. Metro "ambassadors" — guides wearing lime-green shirts — stood in pairs at station platforms and on train cars, with black pouches of doses of naloxone, a medication used in opioid overdoses, affixed to their belts.

"They have to do something about crime and people being attacked," said Judy Louie, 69, a Sierra Madre resident riding with her sister to downtown Los Angeles. "It's appalling."

Other passengers said a fast and reliable light-rail system had potential in a sprawling region where car culture reigns and public transit is often seen as uncomfortable or inconvenient.

"There's a stigma," Bill Teweles, 72, said.

Traveling to Little Tokyo, Teweles said he believed the new Regional Connector would make navigating downtown easier while attracting new riders, easing traffic and helping

the environment.

“I’m an optimist,” he added.

[Read article on website](#)

[Back to top.](#)

LAIST

LA Needs To House The Unhoused Fast. Are Plastic Homes An Answer?

By: Josie Huang

June 23, 2023

When it comes to plastic, architect Charles Wee has heard it all. Awful for the environment. Flammable. Flimsy.

But as Southern California tries to pull itself out of a homelessness crisis, Wee is bullish on plastic being part of the fix.

His company [LifeArk](#) is drawing attention for making 8-by-8-foot modules molded from 30% post-consumer recycled plastic that fit together like Legos – if the pieces were made out of a high-density polymer.

“Plastic is such a surprising material,” said Wee, who designed skyscrapers in Asia before making the sharp turn to affordable housing. “We’ve just been using it the wrong way.”

In a world where stick-built homes are the convention, houses made of plastic can be a hard sell. The mention of plastic — already ubiquitous in daily life, including [in our bodies](#) — may turn off some. But there’s nothing like an emergency to shift views.

The unhoused population in L.A. County alone [has climbed to 69,000](#), a situation made worse by [long waits for permanent housing](#) affordable to people with low incomes.

To quickly move people from encampments to interim housing, cities and non-profits have turned to alternative types of housing like shed-like units made of aluminum or shipping containers stacked like building blocks.

But as concerns about cost and habitability with some of those structures emerge, companies like LifeArk are gaining a foothold in the pre-fabricated housing space.

Proof-of-concept in El Monte

The Duarte-based company has started to land contracts up and down the Central Coast. Its modules are going to into a [new interim housing project](#) in Santa Maria and [another one in Paso Robles](#). Next it plans to build a campus of 80 units of permanent and interim housing in San Luis Obispo for a project led by the homeless services division of San Luis Obispo County.

Closer to home, possible collaborations are being discussed with the offices of L.A. city councilmembers and church leaders who are looking to develop unused land.

As a proof of concept, LifeArk used its own product to develop a narrow lot in El Monte last year, partly with a [\\$1 million innovation grant it won from the county](#).

Workers stitched together dozens of modules to create three beige-gray, low-lying buildings that blend into a neighborhood that includes an ice cream supplier and faded stucco apartment complex. One of the 19 units is reserved for case managers offering homelessness support services through the Santa Ana-based [Illumination Foundation](#), which is part owner of the El Monte property.

"It looks all brand-new, like a modern place," said Sharon Downing, resident and on-site property manager, surveying her nearly 200-square-foot space that comes with its own bathroom and kitchenette.

Downing had stayed for 17 years in an encampment in the Azusa Canyon. Rocks and sticks she collected during her life in the mountains accent her unit. A carpeted tower for her cat Kiss Kiss stands near a neatly-made bed she's topped with teddy bears. Outside her window is a garden where she tends to raised beds of green onions and lettuce.

"You wouldn't even think that you're living in plastic," Downing said.

The price tag

The high cost of land and materials in California makes affordable housing, like all housing, expensive to build. Add to that the drawn-out and costly process of securing funding and government subsidies and meeting environmental and labor regulations.

But LifeArk says it managed to slash the cost of the El Monte development to \$3.6 million by completing 90% of the construction at its factory in the Central Valley city of Madera.

Site work was also minimal. There no trenching. And instead of hooking up individual units to utilities, all the rooms in a building access water, power and gas from the same lines.

A [recent report](#) prepared for the United Way of Greater L.A. showed LifeArk's \$190,000 per-unit cost in El Monte was the lowest out of 28 permanent supportive housing studied by the authors.

The median per unit cost for the group was \$470,000 — 2.5 times more than what LifeArk spent.

From the Amazon to L.A.

The original plan hadn't been to house L.A.'s unhoused population.

Wee, who studied architecture at UCLA, said he had grown "jaded" designing high-rises for corporations, which included the much-discussed "[invisible skyscraper](#)" in South Korea.

About eight years ago, he decided to accept a long-standing invite to visit his cousin who had left South Korea to be a missionary in the Amazon. Wee was struck by how locals living along the river had to move whenever waters rose.

"I decided, 'Let me actually see if I can come up with housing that can float on the water,'" Wee said. Hence the name LifeArk.

Around the same time, Paul Cho was trying to find the most affordable way to build homes for Illumination Foundation, the homelessness services provider he had co-founded in Orange County.

A co-worker, who happened to be Wee's cousin, had told him about the architect's quest to build floatable plastic housing. Cho visited Wee's studio, then located in South Pasadena, highly skeptical.

"But the more I learned about it, I thought, actually, this concept would have applications for the homeless right here in our backyard," Cho recalled.

The two men decided to join forces. Cho left his post as chief financial officer at Illumination Foundation to become LifeArk's CFO but still advises the nonprofit, bringing it onto provide support services at the El Monte property.

The pair, both Korean Americans who emigrated to the U.S. with their families as pre-teens, became a rare executive team of color in a home manufacturing industry dominated by white men.

They found other commonalities. Both are in their early 60's. Both had mid-life crises that led to job changes. When he was in his early 40's, Cho quit being an investment banker for firms like Merrill Lynch and Goldman Sachs. He attended graduate school at the University of California, Irvine to start a new career in human services.

Both are also devout Christians. Wee's fellow church-goers, in fact, manage the El Monte property through a [non-profit](#), and have an ownership stake.

LifeArk's faith-driven mission was apparent to the Rev. Paige Eaves, a leader in the [California-Pacific Conference of The United Methodist Church](#) who met Cho at a summit on homelessness convened for religious organizations.

Eaves and her colleagues have been in discussions with LifeArk about developing church-owned land in the region.

"It definitely helps that we have partners with a common heart because there's a common language and it makes it easy for us to understand what motivates us," Eaves said.

Fireballs and earthquakes

Word-of-mouth about the El Monte location has led to regular requests for visits by those active in L.A.'s housing circles.

Cho and Wee recently gave a tour to a group of real estate agents and community leaders, including Jackie Dupont-Walker, who works on affordable housing as a Metro board director and president of [Ward Economic Development Corp.](#) in South L.A.

The LifeArk duo answered questions they knew were coming. How fast can you build? Cho said a 3,600-square-foot building with 12 bedrooms took 55 days to assemble.

What about flammability? Wee explained that the company spent five years formulating a polymer with a non-toxic retardant.

"We're able to get what's called a Class A roof, which means I can actually throw a fireball on my roof and it will self-extinguish," Wee said.

Then there's the little problem of earthquakes. Wee shaped the molded parts in a way to withstand cracks and heavy loads. Testing showed it could survive a 9.0 magnitude quake, he said. (For reference, Northridge was 6.7)

Those on the tour marveled at the speed with which the development was constructed and how it offered both privacy and common space where residents could play games and share meals.

The visitors also envisioned uses for the modules beyond interim housing, such as senior living centers and backyard houses.

"If we have to tweak it a little bit to be back in South Central L.A., that's what we'll do," Dupont-Walker said. "This absolutely is visionary."

The use of plastic didn't seem to bother anyone. The group's members pointed out plastic is everywhere in homes — in vinyl siding, patio furniture. Why not entire houses?

The other kids on the block

As cities look to pre-fab structures as homelessness solutions, other companies have already gotten in the door.

The Washington-based company Pallet [emerged as a market leader in L.A. during the pandemic](#). City officials, under legal pressure to create more beds, saw in the stand-alone units as a fast way to get people into their own space and avoid the coronavirus.

Since 2021, the city and county have bought hundreds of 64-square-foot Pallet units made of aluminum and composite to build "tiny home villages." The expansion of these communities, however, have come with criticism that the units [resemble jail cells](#) and that the city [overspends on site work](#) to accommodate housing with a limited life span and questionable resistance to [fires](#).

The same time Pallet shelters were proliferating, [shipping containers](#) also entered the spotlight. Interim housing projects unveiled during the pandemic had repurposed containers into modular units at the [Hilda L. Solis Care First Village](#) near downtown L.A. and ["bridge" housing](#) opened by the city of L.A. in Westlake.

It's like, 'Okay, well, what comes next?'

— Ross Zelen, on the reaction to fluctuating costs of shipping containers

But the pandemic exposed how wildly the cost of shipping containers can fluctuate. Container prices surged alongside the demand for imported goods from people sequestered at home, according to Ross Zelen, who wrote a recent [white paper on homeless housing](#) for the Urban Land Institute.

"All of the builders who were thinking about using shipping containers were like, 'Stick-building is now the better option because it's more expensive to think about this innovative shipping container model,'" Zelen said. "It's like, 'Okay, well, what comes next?'"

Finding new spaces for building

LifeArk may be the new kid in town but it already has influential supporters such as Lewis Horne, a top executive at [CBRE](#), the country's largest commercial real estate services company.

Horne said as part of CBRE's commitment to social responsibility, he is trying to help locate properties to site LifeArk units. He said LifeArk stands out because of its ability to mass-produce durable and "dignified" homes that can be configured to fit on odd-shaped parcels, of which there are many in L.A.

"We're not going to solve this problem by putting large communities on large land parcels," Horne said. "We're going to be dealing with smaller sites, so the idea is to get better density."

LifeArk's ability to scale up helped to win over the Nonprofit Finance Fund, which provides loans and other financial services to nonprofits.

The fund lent LifeArk \$2.1 million to build its El Monte location at a time when traditional banks didn't want to take the underwriting risk on an untested building technology.

"Why we entered into this was to demonstrate to others that it is a worthwhile investment," said Kristin Giantris, the fund's chief of client services. "Not fundable by philanthropy but investable."

Wee, for his part, is still set on his original dream of getting plastic modules to disaster-prone places like the Amazon. But the housing crunch in his backyard is his focus now and he said he is "eternally grateful" that he met Cho, which put them on a challenging but clear path together.

"If you're really looking at solving not only the homeless crisis, but the affordable housing crisis, you got to be able to pump out houses. Literally," Wee said.

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SPECTRUM NEWS 1

High living costs prompt Californians to consider leaving

By: Susan Carpenter

June 23, 2023

LOS ANGELES — As much as California residents love the Golden State, 40% are considering moving away, according to a new public opinion poll released Friday. The driving force behind their dissatisfaction is anxiety over the cost of health care, housing and everyday living expenses.

What You Need To Know

- Forty percent of Californians are considering moving away, according to a new California Community Poll
- Anxiety over the cost of health care, housing and everyday living expenses is the main reason
- California is home to four of the top 10 U.S. cities with the highest cost of living

- Despite the high costs, 68% of survey respondents said living in California is important to their personal identities

Californians feel less financially secure than they did just three years ago, when the Los Angeles Times and local nonprofits first began conducting the California Community Poll. In early 2020, 77% of those earning more than \$100,000 annually and 54% of people making \$50,000 to \$100,000 said they could live comfortably and save money for the future. Today, those numbers have dropped to 57% and 28%, respectively.

California is home to four of the top 10 U.S. cities with the highest cost of living, according to the Council for Community and Economic Research. San Francisco, Orange County, Los Angeles/Long Beach and San Diego are all significantly higher than the national average.

The median price of a single-family home in California was \$791,490 in March, according to the California Association of Realtors, compared with the national median of \$375,700. Per capita health care spending in California is also higher than the U.S. average at \$10,299 per person, according to the California Health Care Foundation.

Californians are already leaving the state for less expensive places such as Texas, Nevada and Arizona. In 2022, the state population fell for the third year in a row, dropping by 138,443, the California Department of Finance reported last month.

Despite the high costs, the California Community Poll found that most of the people who live in the state are happy because of its diversity and the opportunities it provides to do the things they enjoy. Sixty-eight percent of survey respondents said living in California is important to their personal identities and a place where they fit in and feel comfortable.

The California Community Poll, the sixth survey of its kind conducted since 2020, is a partnership between Strategies 360, the Los Angeles Times, The Center for Asian Americans United for Self Empowerment, Hispanas Organized for Political Equality and the Los Angeles Urban League. The most recent survey was conducted June 6 to 16 among 1,354 California residents.

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LOS ANGELES TIMES

Metro looks to create its own police force. It won't be easy

By: Rachel Uranga

June 23, 2023

Amid a dramatic rise in [drug overdoses](#) and several stabbings, Los Angeles County transit officials moved forward with creating a new police force in hopes of putting riders at ease.

The in-house transit force would save more than \$38 million over contracting with the Los Angeles Police Department, the Long Beach Police Department and the Los Angeles

County Sheriff's Department, which policed the trains and buses at a cost of \$172.9 million this year, according to a study commissioned by the Los Angeles County Metropolitan Transportation Authority board.

On Thursday, the board unanimously voted to develop a blueprint for the new police agency, a move that could end the longtime contracts with local law enforcement.

"This will ultimately lead to a safer and more secure transit experience for riders and employees," said Gina Osborn, Metro's chief safety officer.

Janice Hahn, a Metro board member and L.A. County supervisor, abstained from the vote, expressing concern that the agency was moving too fast without understanding the full cost of building a new department.

The board is expected to decide early next year on whether to green light the blueprint.

"This is such a huge shift in what, how we've been talking about this," Hahn said.

Hahn, [who last month publicly criticized](#) the police response to a brutal attack on a 53-year-old woman on the A Line, said the plan likely blindsided the three law enforcement agencies. And she wanted some time to understand the implications.

Critics say that law enforcement [hasn't been visible enough on a system](#) where drug use has become blatant. With three outside agencies policing the trains, Metro officials can't dictate deployment, and each agency has its own culture and methods.

Safety [is a big issue for female riders](#), who in surveys cite it as their top concern.

In March, the board approved extending [the policing contract](#) with the agencies for another year while exploring what it would take to develop its own force.

After the board-commissioned study by Justice Research Consultants found that a new agency was feasible and would save money, the board voted on Thursday to direct its CEO to develop the blueprint, also known as an implementation plan.

Metro officials have been sensitive to concern about overpolicing and have promoted safety campaigns as part of a layered approach that includes social service responses.

They have poured millions of dollars into programs that include stepped-up cleaning of trains and train stations, as well as help with mental health and housing for homeless people. The agency also added hundreds of customer service ambassadors in a bid to lure more riders.

During the pandemic, ridership plummeted as violence rose. The agency is slowly recovering, with weekday ridership on rail at 64% of prepandemic levels in May, as crime appears to be leveling off. Overall, including trains and buses, weekday ridership is at 74% of prepandemic levels.

"It's a real opportunity to take a very, very bold step," said Los Angeles Mayor and incoming Metro Chair Karen Bass.

But she added that the proposal was far from a done deal and acknowledged that it could have a ripple effect on the LAPD, which pays its officers overtime to work on the trains and buses.

"We have to have community input. We have to talk about exactly how we go about this," she said. "So even though this is moving forward toward implementation, it does still seem

like it's going to be quite a long process, not something that is going to happen overnight.”

Social justice advocates oppose the move. They have been calling for eliminating police except for emergencies, instead putting the money toward social services and more frequent trains and buses. They argue that officers ticket Black riders at higher rates and can make people aboard feel uncomfortable.

A new policing agency would likely take three to five years to fully staff, at a time when law enforcement agencies nationwide are struggling to recruit officers, according to the feasibility study.

Metro would also take on new liabilities like lawsuits stemming from use of force, which could bring an additional \$2.9 million a year in costs.

The study estimated that Metro would need a 464-person force including support staff and 381 sworn officers, who would be more visible because they would patrol solo, as opposed to the pairing that some agencies do. The new agency would cost about \$134.5 million a year, according to the study.

Metro had its own police force until 25 years ago, when then-Mayor Richard Riordan pushed to absorb the 383 officers into the LAPD and Sheriff's Department.

Capt. Shawn R. Kehoe, head of the Sheriff's Transit Services Bureau, said his department is committed to Metro and will help with the process. But he noted that the data in the report was not vetted with his department.

The staffing levels laid out in the report would be 40% short of needs, he said, taking into consideration vacations, sick time and other realities.

Deputy Chief Donald Graham, who heads the LAPD's Transit Services Bureau, cautioned that the discussion was preliminary.

“This is the first in many steps before they actually get to a decision as to whether or not this is in the best interest of the MTA, whether it's in the best interest of the community, whether it will actually provide the budget savings for the same level or improve the service,” he said.

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GRIST

To reach net-zero emissions, American homes need an electric makeover

By: Akielly Hu

June 22, 2023

Households in the U.S. use 1 billion fossil-fuel-powered machines to heat our homes, cook food, and drive to work. Those residential appliances and vehicles produce 42 percent of the nation's energy-related emissions. But electric alternatives, like heat pumps and electric vehicles, already exist — and adopting them will help curb emissions, fast. [A report released on Tuesday](#) by the nonprofit Rewiring America found that to reach President Joe

Biden's goal of a net-zero emissions economy by 2050, Americans will need to buy 14 million more electric household machines than usual over the next three years.

Cora Wyent, director of research at Rewiring America, said that target is “ambitious, but it’s achievable,” mainly due to clean tech incentives created by the 2022 Inflation Reduction Act and [some state policies](#). The report finds that if there are enough early adopters, market trends will soon take over — eventually resulting in widespread adoption with little to no additional effort.

“The good news about this transition is that we have time. We have decades to do it,” Wyent said. “But what happens in the next few years really dictates when that adoption curve starts to take off.”

The report details growth trajectories for five clean technologies: heat pumps, heat pump water heaters, induction stoves, electric vehicles, and rooftop solar. All are eligible for tax rebates or other incentives under the Inflation Reduction Act.

The report quantifies exactly how many electrical machines Americans will need to purchase above business-as-usual scenarios in order to reach net-zero by 2050. It focuses on the amount of sales needed to achieve “market acceleration” — a critical tipping point where sales will begin to increase sustainably on their own.

Heat pumps, which use electricity for space heating and cooling, are currently used in 16 percent of homes in the U.S.. To get on track for net-zero by 2050, sales will need to outpace business-as-usual projections by a factor of three by 2032. To meet that pace, households will need to purchase 2.38 million more heat pumps than usual over the next three years.

Sales of heat pump water heaters, which are used in only 1 percent of households in the U.S., will need to speed up 10 times over the business-as-usual scenario by 2032. That means 200,000 extra units over the next three years.

Induction stoves run on electricity and use magnetic properties to cook food, resulting in none of the toxic pollution generated by gas and propane stoves. To align with its 2050 climate goal, U.S. households will need to adopt induction stoves five times faster than usual, purchasing an additional 1.76 million induction stoves over the next three years.

Meanwhile, electric vehicles, which today make up only 2 percent of U.S. passenger cars on the road, need to accelerate sales seven times over current projections by 2032. The report sets a national goal of selling 6.7 million extra electric vehicles in the next three years. Rooftop solar sales would also need to speed up by a factor of seven, requiring 2.78 million additional installations in three years.

The report aims to inspire policymakers to start identifying gaps in uptake of these technologies and get working on policies to incentivize adoption.

“This transition is already starting to happen,” Wyent said. One encouraging example is heat pumps, which [outpaced gas furnaces in sales](#) in 2022 for the first time. But for that transition to happen equitably, policymakers will need to design laws that ensure lower-income communities and communities of color can access these technologies early — and start reaping the climate and energy efficiency benefits sooner.

“We hope that breaking this down into smaller targets will help cities, states, manufacturers, and everyone else who’s invested in this transition to set near-term goals

that will get us on the right trajectory," Wyent told Grist.

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Jun 26, 2023 at 6:21 AM

To: Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Article on LifeArk.

Nathan, CD 5 has decided to move forward with this product, they are currently drafting a motion to request approval from Council. I would anticipate that it will get going with design in the next two weeks or so.

Marina Quiñónez, AIA

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[Quoted text hidden]

Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 26, 2023 at 9:01 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Good morning Marina,

That's a great article summarizing LifeArk. Thanks for the update.

Best regards,
Nathan Ho

On Mon, Jun 26, 2023 at 6:22 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

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CPRA-15-BOE-000246

----- Forwarded message -----

From: **Deborah Weintraub** <deborah.weintraub@lacity.org>

Date: Sat, Jun 24, 2023 at 8:56 AM

Subject: Fwd: From the NY Times: L.A. Opens Its New Light-Rail Link

To: Marina Quinonez <marina.quinonez@lacity.org>

Take a look at the article on LifeArk.

Deborah

----- Forwarded message -----

From: **Elena Stern** <elena.stern@lacity.org>

Date: Fri, Jun 23, 2023, 2:15 PM

Subject: From the NY Times: L.A. Opens Its New Light-Rail Link

To: <DEBORAH.WEINTRAUB@lacity.org>

June 23, 2023

[View this email in your browser](#)



CITY OF LOS ANGELES
Department of Public Works
Public Affairs Office

NEWS CLIPPINGS

Today's Contents

Below are articles culled from newspapers and other periodicals relating to the activities of the Department of Public Works. They are being submitted to you for information purposes only.

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- [LA Needs To House The Unhoused Fast. Are Plastic Homes An Answer?](#)
- [High living costs prompt Californians to consider leaving](#)
- [Metro looks to create its own police force. It won't be easy](#)
- [To reach net-zero emissions, American homes need an electric makeover](#)

NEW YORK TIMES

L.A. Opens Its New Light-Rail Link

By: Douglas Morino

June 23, 2023



A passenger at the Expo/Western Station in Los Angeles. Monica Almeida/The New York Times

A city famous for its choked freeways and crawling commutes has a new claim to fame: the longest light-rail line in the world.

That's according to the Los Angeles County Metropolitan Transportation Authority, which opened a 1.9-mile subway tunnel under downtown Los Angeles last week. The tunnel caps a \$1.8 billion project that will now allow riders to travel directly between Long Beach and Azusa, a journey of nearly 50 miles, or between Santa Monica and East Los Angeles.

The new link, called the Regional Connector, includes three new underground stations and links three light-rail lines, reducing travel times by eliminating the need for many riders to transfer.

Transit agencies across California and the nation are [trying to reinvent themselves](#) after the coronavirus pandemic drastically changed commuting patterns and ridership. Los Angeles leaders hope that by making use of the light-rail network more convenient, they can lure new riders, ease traffic and cut pollution.

"It remakes transportation in Los Angeles County," Bart Reed, executive director of the Transit Coalition, a public-transit advocacy group, said of the new link. "Anywhere you go, driving is often slow. The truth is that trains are a mobility solution in Los Angeles."

I rode the newly extended A line recently, from Long Beach through downtown Los Angeles, across Pasadena and into Azusa at the foot of the San Gabriel Mountains. The whole trip took just under two hours at speeds reaching 56 miles an hour. Train cars were mostly uncrowded.

At a time when transit budgets are being squeezed across the country, the Los Angeles County Metropolitan Transportation Authority, known as Metro, is expanding light rail in part because of a series of voter-approved sales tax increases meant to fund such projects, dating back to Proposition A in 1980.

"We're following the will of the voters," said Janice Hahn, a Los Angeles County supervisor and a Metro board member. "We're making a major investment in building out a modern transportation system that connects people to where they want to go."

With Los Angeles scheduled to hold the 2028 Summer Olympics, officials believe that expanding the light-rail system will better connect cities across the county, the most populous in the nation, while reducing street congestion and carbon emissions.

"There is no other choice, because we're not going to build new freeways," said Ara Najarian, a Glendale City Council member and the chair of Metro's board of directors. "We want to get people out of cars and into safe, reliable transit."

The expansion also comes at a time when drug overdoses on the trains have been increasing, and a series of [travelers aboard Metro trains](#) have been attacked. Violent crime on public transit in Los Angeles County is up about 10 percent from last year, and drug-related offenses have surged 301 percent, according to Metro figures.

Ridership remains below prepandemic levels but has begun to increase steadily. About 23.4 million riders used Metro trains and buses in April 2023, 10 percent more than in April 2022, according to Metro officials. Buses account for more than two-thirds of total ridership.

As my train traveled back to Long Beach, it was rush hour, and many more riders came on board. Metro "ambassadors" — guides wearing lime-green shirts — stood in pairs at station platforms and on train cars, with black pouches of doses of naloxone, a medication used in opioid overdoses, affixed to their belts.

"They have to do something about crime and people being attacked," said Judy Louie, 69, a Sierra Madre resident riding with her sister to downtown Los Angeles. "It's appalling."

Other passengers said a fast and reliable light-rail system had potential in a sprawling region where car culture reigns and public transit is often seen as uncomfortable or inconvenient.

"There's a stigma," Bill Teweles, 72, said.

Traveling to Little Tokyo, Teweles said he believed the new Regional Connector would make navigating downtown easier while attracting new riders, easing traffic and helping

the environment.

“I’m an optimist,” he added.

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LAIST

LA Needs To House The Unhoused Fast. Are Plastic Homes An Answer?

By: Josie Huang

June 23, 2023

When it comes to plastic, architect Charles Wee has heard it all. Awful for the environment. Flammable. Flimsy.

But as Southern California tries to pull itself out of a homelessness crisis, Wee is bullish on plastic being part of the fix.

His company [LifeArk](#) is drawing attention for making 8-by-8-foot modules molded from 30% post-consumer recycled plastic that fit together like Legos – if the pieces were made out of a high-density polymer.

“Plastic is such a surprising material,” said Wee, who designed skyscrapers in Asia before making the sharp turn to affordable housing. “We’ve just been using it the wrong way.”

In a world where stick-built homes are the convention, houses made of plastic can be a hard sell. The mention of plastic — already ubiquitous in daily life, including [in our bodies](#) — may turn off some. But there’s nothing like an emergency to shift views.

The unhoused population in L.A. County alone [has climbed to 69,000](#), a situation made worse by [long waits for permanent housing](#) affordable to people with low incomes.

To quickly move people from encampments to interim housing, cities and non-profits have turned to alternative types of housing like shed-like units made of aluminum or shipping containers stacked like building blocks.

But as concerns about cost and habitability with some of those structures emerge, companies like LifeArk are gaining a foothold in the pre-fabricated housing space.

Proof-of-concept in El Monte

The Duarte-based company has started to land contracts up and down the Central Coast. Its modules are going to into a [new interim housing project](#) in Santa Maria and [another one in Paso Robles](#). Next it plans to build a campus of 80 units of permanent and interim housing in San Luis Obispo for a project led by the homeless services division of San Luis Obispo County.

Closer to home, possible collaborations are being discussed with the offices of L.A. city councilmembers and church leaders who are looking to develop unused land.

As a proof of concept, LifeArk used its own product to develop a narrow lot in El Monte last year, partly with a [\\$1 million innovation grant it won from the county](#).

Workers stitched together dozens of modules to create three beige-gray, low-lying buildings that blend into a neighborhood that includes an ice cream supplier and faded stucco apartment complex. One of the 19 units is reserved for case managers offering homelessness support services through the Santa Ana-based [Illumination Foundation](#), which is part owner of the El Monte property.

"It looks all brand-new, like a modern place," said Sharon Downing, resident and on-site property manager, surveying her nearly 200-square-foot space that comes with its own bathroom and kitchenette.

Downing had stayed for 17 years in an encampment in the Azusa Canyon. Rocks and sticks she collected during her life in the mountains accent her unit. A carpeted tower for her cat Kiss Kiss stands near a neatly-made bed she's topped with teddy bears. Outside her window is a garden where she tends to raised beds of green onions and lettuce.

"You wouldn't even think that you're living in plastic," Downing said.

The price tag

The high cost of land and materials in California makes affordable housing, like all housing, expensive to build. Add to that the drawn-out and costly process of securing funding and government subsidies and meeting environmental and labor regulations.

But LifeArk says it managed to slash the cost of the El Monte development to \$3.6 million by completing 90% of the construction at its factory in the Central Valley city of Madera.

Site work was also minimal. There no trenching. And instead of hooking up individual units to utilities, all the rooms in a building access water, power and gas from the same lines.

A [recent report](#) prepared for the United Way of Greater L.A. showed LifeArk's \$190,000 per-unit cost in El Monte was the lowest out of 28 permanent supportive housing studied by the authors.

The median per unit cost for the group was \$470,000 — 2.5 times more than what LifeArk spent.

From the Amazon to L.A.

The original plan hadn't been to house L.A.'s unhoused population.

Wee, who studied architecture at UCLA, said he had grown "jaded" designing high-rises for corporations, which included the much-discussed "[invisible skyscraper](#)" in South Korea.

About eight years ago, he decided to accept a long-standing invite to visit his cousin who had left South Korea to be a missionary in the Amazon. Wee was struck by how locals living along the river had to move whenever waters rose.

"I decided, 'Let me actually see if I can come up with housing that can float on the water,'" Wee said. Hence the name LifeArk.

Around the same time, Paul Cho was trying to find the most affordable way to build homes for Illumination Foundation, the homelessness services provider he had co-founded in Orange County.

A co-worker, who happened to be Wee's cousin, had told him about the architect's quest to build floatable plastic housing. Cho visited Wee's studio, then located in South Pasadena, highly skeptical.

"But the more I learned about it, I thought, actually, this concept would have applications for the homeless right here in our backyard," Cho recalled.

The two men decided to join forces. Cho left his post as chief financial officer at Illumination Foundation to become LifeArk's CFO but still advises the nonprofit, bringing it onto provide support services at the El Monte property.

The pair, both Korean Americans who emigrated to the U.S. with their families as pre-teens, became a rare executive team of color in a home manufacturing industry dominated by white men.

They found other commonalities. Both are in their early 60's. Both had mid-life crises that led to job changes. When he was in his early 40's, Cho quit being an investment banker for firms like Merrill Lynch and Goldman Sachs. He attended graduate school at the University of California, Irvine to start a new career in human services.

Both are also devout Christians. Wee's fellow church-goers, in fact, manage the El Monte property through a [non-profit](#), and have an ownership stake.

LifeArk's faith-driven mission was apparent to the Rev. Paige Eaves, a leader in the [California-Pacific Conference of The United Methodist Church](#) who met Cho at a summit on homelessness convened for religious organizations.

Eaves and her colleagues have been in discussions with LifeArk about developing church-owned land in the region.

"It definitely helps that we have partners with a common heart because there's a common language and it makes it easy for us to understand what motivates us," Eaves said.

Fireballs and earthquakes

Word-of-mouth about the El Monte location has led to regular requests for visits by those active in L.A.'s housing circles.

Cho and Wee recently gave a tour to a group of real estate agents and community leaders, including Jackie Dupont-Walker, who works on affordable housing as a Metro board director and president of [Ward Economic Development Corp.](#) in South L.A.

The LifeArk duo answered questions they knew were coming. How fast can you build? Cho said a 3,600-square-foot building with 12 bedrooms took 55 days to assemble.

What about flammability? Wee explained that the company spent five years formulating a polymer with a non-toxic retardant.

"We're able to get what's called a Class A roof, which means I can actually throw a fireball on my roof and it will self-extinguish," Wee said.

Then there's the little problem of earthquakes. Wee shaped the molded parts in a way to withstand cracks and heavy loads. Testing showed it could survive a 9.0 magnitude quake, he said. (For reference, Northridge was 6.7)

Those on the tour marveled at the speed with which the development was constructed and how it offered both privacy and common space where residents could play games and share meals.

The visitors also envisioned uses for the modules beyond interim housing, such as senior living centers and backyard houses.

"If we have to tweak it a little bit to be back in South Central L.A., that's what we'll do," Dupont-Walker said. "This absolutely is visionary."

The use of plastic didn't seem to bother anyone. The group's members pointed out plastic is everywhere in homes — in vinyl siding, patio furniture. Why not entire houses?

The other kids on the block

As cities look to pre-fab structures as homelessness solutions, other companies have already gotten in the door.

The Washington-based company Pallet [emerged as a market leader in L.A. during the pandemic](#). City officials, under legal pressure to create more beds, saw in the stand-alone units as a fast way to get people into their own space and avoid the coronavirus.

Since 2021, the city and county have bought hundreds of 64-square-foot Pallet units made of aluminum and composite to build "tiny home villages." The expansion of these communities, however, have come with criticism that the units [resemble jail cells](#) and that the city [overspends on site work](#) to accommodate housing with a limited life span and questionable resistance to [fires](#).

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It's like, 'Okay, well, what comes next?'

— Ross Zelen, on the reaction to fluctuating costs of shipping containers

But the pandemic exposed how wildly the cost of shipping containers can fluctuate. Container prices surged alongside the demand for imported goods from people sequestered at home, according to Ross Zelen, who wrote a recent [white paper on homeless housing](#) for the Urban Land Institute.

"All of the builders who were thinking about using shipping containers were like, 'Stick-building is now the better option because it's more expensive to think about this innovative shipping container model,'" Zelen said. "It's like, 'Okay, well, what comes next?'"

Finding new spaces for building

LifeArk may be the new kid in town but it already has influential supporters such as Lewis Horne, a top executive at [CBRE](#), the country's largest commercial real estate services company.

Horne said as part of CBRE's commitment to social responsibility, he is trying to help locate properties to site LifeArk units. He said LifeArk stands out because of its ability to mass-produce durable and "dignified" homes that can be configured to fit on odd-shaped parcels, of which there are many in L.A.

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"Why we entered into this was to demonstrate to others that it is a worthwhile investment," said Kristin Giantris, the fund's chief of client services. "Not fundable by philanthropy but investable."

Wee, for his part, is still set on his original dream of getting plastic modules to disaster-prone places like the Amazon. But the housing crunch in his backyard is his focus now and he said he is "eternally grateful" that he met Cho, which put them on a challenging but clear path together.

"If you're really looking at solving not only the homeless crisis, but the affordable housing crisis, you got to be able to pump out houses. Literally," Wee said.

[Read article on website](#)

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SPECTRUM NEWS 1

High living costs prompt Californians to consider leaving

By: Susan Carpenter

June 23, 2023

LOS ANGELES — As much as California residents love the Golden State, 40% are considering moving away, according to a new public opinion poll released Friday. The driving force behind their dissatisfaction is anxiety over the cost of health care, housing and everyday living expenses.

What You Need To Know

- Forty percent of Californians are considering moving away, according to a new California Community Poll
- Anxiety over the cost of health care, housing and everyday living expenses is the main reason
- California is home to four of the top 10 U.S. cities with the highest cost of living

- Despite the high costs, 68% of survey respondents said living in California is important to their personal identities

Californians feel less financially secure than they did just three years ago, when the Los Angeles Times and local nonprofits first began conducting the California Community Poll. In early 2020, 77% of those earning more than \$100,000 annually and 54% of people making \$50,000 to \$100,000 said they could live comfortably and save money for the future. Today, those numbers have dropped to 57% and 28%, respectively.

California is home to four of the top 10 U.S. cities with the highest cost of living, according to the Council for Community and Economic Research. San Francisco, Orange County, Los Angeles/Long Beach and San Diego are all significantly higher than the national average.

The median price of a single-family home in California was \$791,490 in March, according to the California Association of Realtors, compared with the national median of \$375,700. Per capita health care spending in California is also higher than the U.S. average at \$10,299 per person, according to the California Health Care Foundation.

Californians are already leaving the state for less expensive places such as Texas, Nevada and Arizona. In 2022, the state population fell for the third year in a row, dropping by 138,443, the California Department of Finance reported last month.

Despite the high costs, the California Community Poll found that most of the people who live in the state are happy because of its diversity and the opportunities it provides to do the things they enjoy. Sixty-eight percent of survey respondents said living in California is important to their personal identities and a place where they fit in and feel comfortable.

The California Community Poll, the sixth survey of its kind conducted since 2020, is a partnership between Strategies 360, the Los Angeles Times, The Center for Asian Americans United for Self Empowerment, Hispanas Organized for Political Equality and the Los Angeles Urban League. The most recent survey was conducted June 6 to 16 among 1,354 California residents.

[Read article on website](#)

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LOS ANGELES TIMES

Metro looks to create its own police force. It won't be easy

By: Rachel Uranga

June 23, 2023

Amid a dramatic rise in [drug overdoses](#) and several stabbings, Los Angeles County transit officials moved forward with creating a new police force in hopes of putting riders at ease.

The in-house transit force would save more than \$38 million over contracting with the Los Angeles Police Department, the Long Beach Police Department and the Los Angeles

County Sheriff's Department, which policed the trains and buses at a cost of \$172.9 million this year, according to a study commissioned by the Los Angeles County Metropolitan Transportation Authority board.

On Thursday, the board unanimously voted to develop a blueprint for the new police agency, a move that could end the longtime contracts with local law enforcement.

"This will ultimately lead to a safer and more secure transit experience for riders and employees," said Gina Osborn, Metro's chief safety officer.

Janice Hahn, a Metro board member and L.A. County supervisor, abstained from the vote, expressing concern that the agency was moving too fast without understanding the full cost of building a new department.

The board is expected to decide early next year on whether to green light the blueprint.

"This is such a huge shift in what, how we've been talking about this," Hahn said.

Hahn, [who last month publicly criticized](#) the police response to a brutal attack on a 53-year-old woman on the A Line, said the plan likely blindsided the three law enforcement agencies. And she wanted some time to understand the implications.

Critics say that law enforcement [hasn't been visible enough on a system](#) where drug use has become blatant. With three outside agencies policing the trains, Metro officials can't dictate deployment, and each agency has its own culture and methods.

Safety [is a big issue for female riders](#), who in surveys cite it as their top concern.

In March, the board approved extending [the policing contract](#) with the agencies for another year while exploring what it would take to develop its own force.

After the board-commissioned study by Justice Research Consultants found that a new agency was feasible and would save money, the board voted on Thursday to direct its CEO to develop the blueprint, also known as an implementation plan.

Metro officials have been sensitive to concern about overpolicing and have promoted safety campaigns as part of a layered approach that includes social service responses.

They have poured millions of dollars into programs that include stepped-up cleaning of trains and train stations, as well as help with mental health and housing for homeless people. The agency also added hundreds of customer service ambassadors in a bid to lure more riders.

During the pandemic, ridership plummeted as violence rose. The agency is slowly recovering, with weekday ridership on rail at 64% of prepandemic levels in May, as crime appears to be leveling off. Overall, including trains and buses, weekday ridership is at 74% of prepandemic levels.

"It's a real opportunity to take a very, very bold step," said Los Angeles Mayor and incoming Metro Chair Karen Bass.

But she added that the proposal was far from a done deal and acknowledged that it could have a ripple effect on the LAPD, which pays its officers overtime to work on the trains and buses.

"We have to have community input. We have to talk about exactly how we go about this," she said. "So even though this is moving forward toward implementation, it does still seem

like it's going to be quite a long process, not something that is going to happen overnight.”

Social justice advocates oppose the move. They have been calling for eliminating police except for emergencies, instead putting the money toward social services and more frequent trains and buses. They argue that officers ticket Black riders at higher rates and can make people aboard feel uncomfortable.

A new policing agency would likely take three to five years to fully staff, at a time when law enforcement agencies nationwide are struggling to recruit officers, according to the feasibility study.

Metro would also take on new liabilities like lawsuits stemming from use of force, which could bring an additional \$2.9 million a year in costs.

The study estimated that Metro would need a 464-person force including support staff and 381 sworn officers, who would be more visible because they would patrol solo, as opposed to the pairing that some agencies do. The new agency would cost about \$134.5 million a year, according to the study.

Metro had its own police force until 25 years ago, when then-Mayor Richard Riordan pushed to absorb the 383 officers into the LAPD and Sheriff's Department.

Capt. Shawn R. Kehoe, head of the Sheriff's Transit Services Bureau, said his department is committed to Metro and will help with the process. But he noted that the data in the report was not vetted with his department.

The staffing levels laid out in the report would be 40% short of needs, he said, taking into consideration vacations, sick time and other realities.

Deputy Chief Donald Graham, who heads the LAPD's Transit Services Bureau, cautioned that the discussion was preliminary.

“This is the first in many steps before they actually get to a decision as to whether or not this is in the best interest of the MTA, whether it's in the best interest of the community, whether it will actually provide the budget savings for the same level or improve the service,” he said.

[Read article on website](#)

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GRIST

To reach net-zero emissions, American homes need an electric makeover

By: Akielly Hu

June 22, 2023

Households in the U.S. use 1 billion fossil-fuel-powered machines to heat our homes, cook food, and drive to work. Those residential appliances and vehicles produce 42 percent of the nation's energy-related emissions. But electric alternatives, like heat pumps and electric vehicles, already exist — and adopting them will help curb emissions, fast. [A report released on Tuesday](#) by the nonprofit Rewiring America found that to reach President Joe

Biden's goal of a net-zero emissions economy by 2050, Americans will need to buy 14 million more electric household machines than usual over the next three years.

Cora Wyent, director of research at Rewiring America, said that target is "ambitious, but it's achievable," mainly due to clean tech incentives created by the 2022 Inflation Reduction Act and [some state policies](#). The report finds that if there are enough early adopters, market trends will soon take over — eventually resulting in widespread adoption with little to no additional effort.

"The good news about this transition is that we have time. We have decades to do it," Wyent said. "But what happens in the next few years really dictates when that adoption curve starts to take off."

The report details growth trajectories for five clean technologies: heat pumps, heat pump water heaters, induction stoves, electric vehicles, and rooftop solar. All are eligible for tax rebates or other incentives under the Inflation Reduction Act.

The report quantifies exactly how many electrical machines Americans will need to purchase above business-as-usual scenarios in order to reach net-zero by 2050. It focuses on the amount of sales needed to achieve "market acceleration" — a critical tipping point where sales will begin to increase sustainably on their own.

Heat pumps, which use electricity for space heating and cooling, are currently used in 16 percent of homes in the U.S.. To get on track for net-zero by 2050, sales will need to outpace business-as-usual projections by a factor of three by 2032. To meet that pace, households will need to purchase 2.38 million more heat pumps than usual over the next three years.

Sales of heat pump water heaters, which are used in only 1 percent of households in the U.S., will need to speed up 10 times over the business-as-usual scenario by 2032. That means 200,000 extra units over the next three years.

Induction stoves run on electricity and use magnetic properties to cook food, resulting in none of the toxic pollution generated by gas and propane stoves. To align with its 2050 climate goal, U.S. households will need to adopt induction stoves five times faster than usual, purchasing an additional 1.76 million induction stoves over the next three years.

Meanwhile, electric vehicles, which today make up only 2 percent of U.S. passenger cars on the road, need to accelerate sales seven times over current projections by 2032. The report sets a national goal of selling 6.7 million extra electric vehicles in the next three years. Rooftop solar sales would also need to speed up by a factor of seven, requiring 2.78 million additional installations in three years.

The report aims to inspire policymakers to start identifying gaps in uptake of these technologies and get working on policies to incentivize adoption.

"This transition is already starting to happen," Wyent said. One encouraging example is heat pumps, which [outpaced gas furnaces in sales](#) in 2022 for the first time. But for that transition to happen equitably, policymakers will need to design laws that ensure lower-income communities and communities of color can access these technologies early — and start reaping the climate and energy efficiency benefits sooner.

"We hope that breaking this down into smaller targets will help cities, states, manufacturers, and everyone else who's invested in this transition to set near-term goals

that will get us on the right trajectory,” Wyent told Grist.

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Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
[1149 S Broadway, Suite 830](#)
[Los Angeles, CA 90015](#)
Phone: [213 485 4428](#)
Email: nathan.ho@lacity.org



Marina Quinonez <marina.quinonez@lacity.org>
To: Deborah Weintraub <deborah.weintraub@lacity.org>

Mon, Jun 26, 2023 at 9:13 AM

Thank you. CD 5 has decided to move forward with this product, they are currently drafting a motion for Council approval.

We will likely have a more focused meeting in the next week or so.

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



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 **CD5-Hope Pavilion-final.pdf**
6852K



Marina Quinonez <marina.quinonez@lacity.org>

Homeless Program: List of Contracted Vendors

6 messages

Marina Quinonez <marina.quinonez@lacity.org>
To: Connie Espinoza <connie.espinoza@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>

Tue, Mar 21, 2023 at 12:57 PM

Hi Connie,

Zachary Warma is the Director of Homeless Strategies for CD 5, would you please provide him a list of City vendors, also, could you provide any information you have regarding sole-sourcing vendors with the recent Directive from Mayor Bass?

Thank you

Marina Quiñónez, AIA
Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



Zachary Warma <zachary.warma@lacity.org>
To: Connie Espinoza <connie.espinoza@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>

Thu, Mar 30, 2023 at 12:37 PM

Connie:

It's a pleasure to e-meet you!

Following up on Marina's 3/21 message, would you mind providing the list of city-approved Interim Housing vendors? Additionally, any guidelines regarding sole-sourcing tied to either the 2019 shelter crisis emergency declaration or Mayor Bass's recent emergency declaration / ED 1 would be incredibly helpful.

Thanks so much!

- Zachary Warma

[Quoted text hidden]

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Zachary Warma
Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Connie Espinoza <connie.espinoza@lacity.org>
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>

Fri, Mar 31, 2023 at 10:26 AM

Good morning Zachary,

Attached is the latest listing of all active commodity contracts. I highlighted those that were awarded on behalf of the homeless crisis.

The Declaration of Local Emergency allows us to lift competitive bidding restrictions for contracts entered into by City departments, in response to the local emergency and mitigation efforts related to the homelessness emergency until September 1, 2023.

This being the case, we can award a one time purchase order or an annual requirements contract as long as the vendor is willing to work with us in fulfilling the City's compliance forms which were not waived.

Feel free to reach out to me if you have further questions.

Thank you,

Connie Espinoza, Supply Services Manager I
Department of General Services
Supply Chain Services
Ph: 213-928-9546
Fx: 213-928-9511

The Supply Services Division's mission is to procure all supplies, equipment and services in a cost-effective and timely manner. In attempting to fulfill this mission, all qualified suppliers will be given an equal opportunity to do business with the City.

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Procurement Contracts.xlsx
108K

Marina Quinonez <marina.quinonez@lacity.org>
To: Jose FUENTES <jose.fuentes@lacity.org>, Deborah Weintraub <Deborah.Weintraub@lacity.org>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Fri, Mar 31, 2023 at 11:36 AM

Hi Deborah and Jose,

Forwarding you some information pertaining to the Mayor waiving competitive bidding.

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Procurement Contracts.xlsx
108K

Deborah Weintraub <deborah.weintraub@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Jose FUENTES <jose.fuentes@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Fri, Mar 31, 2023 at 11:54 AM

Thanks.

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CPRA-15-BOE-000261

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Deborah Weintraub, AIA, LEEDAP
Chief Deputy City Engineer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700
Los Angeles, CA 90015-2213
T: 213-485-5499 C:213-923-6359
deborah.weintraub@lacity.org

 <http://eng.lacity.org/>



Zachary Warma <zachary.warma@lacity.org>
To: Connie Espinoza <connie.espinoza@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>

Mon, Apr 3, 2023 at 9:38 AM

Connie:

Truly, thank you so much for this incredibly helpful information. Your explanation is the single clearest overview of the contracting process to date.

To ensure that our team has the fullest possible clarity on this topic, would you mind if we set up a 15-30 minute call in the next week or so?

I'm happy to work around your schedule, so do let me know what works best for you.

Really appreciate you considering this request!

- Zack Warma
[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Interim Housing: THV: Midvale

16 messages

Marina Quinonez <marina.quinonez@lacity.org>

Mon, May 1, 2023 at 2:37 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Hi Annabelle,

Sending over the layout and ROM for Midvale. Please let us know if you have any questions.

We removed some concrete curbs but kept all the trees, based on the required separation for the cabins, the space is limited.

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



2 attachments



ROM_CD 5 Midvale LADOT Lot#707 04.28.23.pdf
91K



CD5 Midvale THV_042523.pdf
2521K

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Mon, May 1, 2023 at 2:58 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Good afternoon Marina and team,

Thanks for all of your work on this!

Since the lot is owned by LADOT, we'll need to find out if they have jurisdiction over the alleyway as well, since the site plan incorporates that area as communal space. [@Zachary Warma](#) Can you please advise on who your LADOT contact is?

Thank you!

Respectfully,

Annabelle Gonzales

Office of the City Administrative Officer

E: annabelle.gonzales@lacity.org

CPRA-15-BOE-000268

P: (213) 978-2752

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Mon, May 1, 2023 at 2:57 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina:

On behalf of the entire CD-5 team, please know how deeply appreciative we are of this absolutely tremendous work from you and your team.

Thank you so, so much for this!

We will be reviewing this layout and ROM with the Councilwoman, and be following up shortly.

Regards,

Zack Warma

On Mon, May 1, 2023 at 2:37 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

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Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
200 North Spring Street, Room 440
Los Angeles, CA 90012
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Zachary Warma <zachary.warma@lacity.org>

Mon, May 1, 2023 at 3:00 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Annabelle:

I would recommend sending an email to the following four individuals:

Ken Husting <ken.husting@lacity.org>, Makenzi Rasey <makenzi.rasey@lacity.org>, Fernando Navarrete <fernando.navarrete@lacity.org>, Brian Lee <brian.k.lee@lacity.org>

Please feel free to cc me on the correspondence. I will note that it's our office's preference that the alleyway be sealed off, as is contemplated in the rendering.

- ZW

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Annabelle Gonzales <annabelle.gonzales@lacity.org>

Tue, May 2, 2023 at 9:53 AM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Good morning everyone,

CPRA-15-BOE-000264

According to LADOT, the alleyway in the site plan is under the purview of BOE since it's an active public alleyway. Will an agreement with BOE need to be in place to utilize that portion?

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

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Marina Quinonez <marina.quinonez@lacity.org> Tue, May 2, 2023 at 9:56 AM
To: Annabelle Gonzales <annabelle.gonzales@lacity.org>
Cc: Erik Villanueva <erik.villanueva@lacity.org>, Zachary Warma <zachary.warma@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Hi Anabelle, I will discuss this with our permit counterparts

[Quoted text hidden]

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Zachary Warma <zachary.warma@lacity.org> Mon, May 8, 2023 at 2:34 PM
To: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Gary Gero <gary.gero@lacity.org>

Marina:

Hope you had a pleasant weekend. Quickly, I want to check in on whether you've gotten any update from BOE permit staff regarding what steps are necessary for closing the alley at Midvale Ave in order to link the two LADOT parcels for an interim housing facility.

To make all of you aware - our office will shortly be contacting two vendors to request updated proposals for 2377 Midvale, which we will then bring forward in June for community feedback and input. The Council motion directing the execution of the contract for the purchase of the units will ideally be introduced before the July recess and then passed sometime in early August.

It's the Councilwoman's stated hope that construction will commence on-site during Q4 of this year.

Thank you all for your expertise and support of our office through this process so far!

Regards,

Zack Warma

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Tue, May 9, 2023 at 10:13 AM
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi Zack,

We will follow up with our Real Estate Group and let you know as soon as possible.

Please let us know if we can assist in community outreach by providing boards or assisting community meetings.

Thank you

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Annabelle Gonzales <annabelle.gonzales@lacity.org> Tue, May 9, 2023 at 1:08 PM
CPRA-15-BOE-000265

To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>

Hi everyone,

May I suggest that we have a meeting with everyone on this thread to have a thorough discussion on next steps for this project?

Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org> Tue, May 9, 2023 at 6:24 PM
To: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

The CD5 team would very much like a broader City Family discussion on next steps for the Midvale Interim Housing project.

Please let me know whether any of the following time slots might work for this group (and whomever else should be party to this discussion):

- **Thursday 5/11:** 9-10:30am
- **Friday 5/12:** 10am-onward
- **Monday 5/15:** 11am-1pm; 3-4pm
- **Tuesday 5/16:** 1-2pm; 3pm-onward
- **Thursday 5/18:** 12pm-onward
- **Friday 5/19:** 1-3pm

Looking forward to chatting more soon!

Cheers,

Zack Warma
[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org> Wed, May 10, 2023 at 3:41 PM
To: Zachary Warma <zachary.warma@lacity.org>
Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

I have the following time slots:

- **Thursday 5/11:** 10-11, 1-2pm
- **Monday 5/15:** 10-2pm
- **Tuesday 5/16:** 2pm-3pm
- **Thursday 5/18:** 12pm-3pm
- **Friday 5/19:** 1-3pm

CPRA-15-BOE-000266

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Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, May 11, 2023 at 10:38 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Good morning everyone,

Unfortunately, the CAO team isn't available at noon on Monday 5/15. Would it be possible to meet a little earlier, maybe 11 or 11:30 am?

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, May 11, 2023 at 10:43 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

I'm available at either time.

[Quoted text hidden]

[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, May 11, 2023 at 11:08 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Annabelle Gonzales <annabelle.gonzales@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

All:

I'll recirculate the 5/15 calendar invite with an 11am start time when I'm back in the office.

Thank you, all!

Sent from my iPhone

On May 11, 2023, at 10:44 AM, Marina Quinonez <marina.quinonez@lacity.org> wrote:

[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Fri, May 12, 2023 at 3:54 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Good afternoon all,

CPRA-15-BOE-000267

Attached is a revised concept layout for the Tiny Home Village at Midvale Ave.

A few items to point out:

- 1) We will not be able to close off the alley, so we will need to separate the two areas and provide gates to connect them.
- 2) A large storm drain and it's respective easement runs through the lower portion of our site, shown dashed in red in the plan view. We have to keep that area clear of any structures, which impacts our Pallet count. We now have approx. 23 Tiny Homes (44 beds).
- 3) We are also keeping a 10' setback from adjacent properties and structures for Fire Life safety for now. However, we will review this with LADBS and LAFD to see if we can reduce this setback.

Thank you and look forward to discussing further on Monday.

Have a great weekend,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING



[Quoted text hidden]



CD5 Midvale THV_051223.pdf

2958K

Zachary Warma <zachary.warma@lacity.org>

Fri, May 12, 2023 at 4:17 PM

To: Erik Villanueva <erik.villanueva@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Gary Gero <gary.gero@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Leo Daube <leo.daube@lacity.org>

Erik:

Thank you so much for this information. I'll admit our office is desirous of more information of why the alley can't be closed, as it's very much our hope to create a singular campus. If this is a matter that requires Council action, please let us know.

But we'll look forward to discussing this matter, among others, with you and this group next Monday.

Regards,

Zachary Warma

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Jose Fuentes Letter Approval and CF UPLOAD | Bridge Housing CD 5 - 2377 Midvale Ave

6 messages

Maria Martin <maria.martin@lacity.org>

Thu, Sep 28, 2023 at 11:39 PM

To: Eng Exec Signature <eng.execsignature@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Good morning,

This is a heads up that I have a draft transmittal letter CD 5 - [2377 Midvale Ave](#) Interim Housing that will need to be uploaded Friday morning per CAO's request.

However, I don't yet have a CF Number. I will try to forward the draft letter and CEQA NOE Attachment as soon as possible. Thanks.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 600](#)

[Los Angeles, CA 90015](#)

Mail Stop 939

O: [213 485 5753](#)

maria.martin@lacity.org



Maria Martin <maria.martin@lacity.org>

Fri, Sep 29, 2023 at 9:22 AM

To: Antoinette Barrios <antoinette.barrios@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eng Exec Signature <eng.execsignature@lacity.org>

Good morning Antoinette,

The CAO has requested we upload the NOE for 2377 Midvale Ave today, but they have not given me the Council file number.

I also understand Jose Fuentes is out today. Alfred has processed these when he was my Deputy. Would he be able to help once I get the CF Number?

Thanks.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 600](#)

[Los Angeles, CA 90015](#)

Mail Stop 939

O: [213 485 5753](#)

maria.martin@lacity.org

CPRA-15-BOE-000269



[Quoted text hidden]

Eng Exec Signature <eng.execsignature@lacity.org>

Fri, Sep 29, 2023 at 9:35 AM

To: Maria Martin <maria.martin@lacity.org>

Cc: Antoinette Barrios <antoinette.barrios@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Maria,

I have let Alfred know that you have a Rush Request and are waiting for the CF #. Once it's signed Jasmine will upload it.

Thank you,
Erika

[Quoted text hidden]

Eng Exec Signature <eng.execsignature@lacity.org>

Fri, Sep 29, 2023 at 10:14 AM

To: Maria Martin <maria.martin@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Good morning Maria,

Noted and Alfred replied that he can assist with your request.

Thanks,
Jasmine

[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Fri, Sep 29, 2023 at 10:18 AM

To: Eng Exec Signature <eng.execsignature@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Thanks. I am waiting for the CF from the CAO and will forward the files as soon as I get it.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 600
Los Angeles, CA 90015
Mail Stop 939
O: 213 485 5753
maria.martin@lacity.org



[Quoted text hidden]

Maria Martin <maria.martin@lacity.org>

Fri, Sep 29, 2023 at 10:56 AM

To: Eng Exec Signature <eng.execsignature@lacity.org>

Cc: Jose Fuentes <Jose.Fuentes@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Jasmine Alvarado <jasmine.alvarado@lacity.org>

For upload to CF 23-1066
CPRA-15-BOE-000270

Please find attached the transmittal letter CD 5 - [2377 Midvale Ave](#) Interim Housing. I am sending you the Word file for you to finalize before Alfred's signature because the path may need to be updated.

Attached is also the NOE. Thanks.

Best regards,
Maria Martin
Environmental Management Group | Environmental Affairs Officer
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 600](#)
[Los Angeles, CA 90015](#)
Mail Stop 939
O: [213 485 5753](#)
maria.martin@lacity.org



On Fri, Sep 29, 2023 at 10:14 AM Eng Exec Signature <eng.execsignature@lacity.org> wrote:
[Quoted text hidden]

2 attachments



CEQA_NOE_2377_Midvale_Ave_09-29-23.pdf
1807K



CEQA_NOE_TRANSMITTAL_BOE_Report_CF23-1066_2377_Midvale_Ave_09-29-23.docx
71K



Marina Quinonez <marina.quinonez@lacity.org>

Midvale Project Motion - confirming necessary moving clauses

9 messages

Zachary Warma <zachary.warma@lacity.org>

Mon, Jul 31, 2023 at 4:27 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Nathan and Marina:

First, thank you again for all your work so far on the Midvale project.

As we prepare for this to advance through the various city processes, we want to quickly discuss the motion ([link](#)) the Councilwoman intends to bring forward after we receive an affirmative vote from the Transportation Commission on 8/10.

We had preliminary discussions with Marina (thank you again!), Connie Espinoza at GSD, and Annabelle Gonzales and Kendra Leal at CAO about the motion, but after having met with the City Attorney's office today, want to double back with this group.

In the next week, would you mind **reviewing the motion** to ensure that we include all the necessary moving clauses in order to appropriately direct all necessary action?

I realize the project budget (and then, the identified funding sources) are likely key missing components, but your expertise on what needs to be included / expressly called out is so deeply appreciated.

Thank you so much for your attention to this matter!

Zack

--



cd5.lacity.gov

Zachary Warma

Housing & Homelessness

Policy Director

O: (213) 473-7005

Los Angeles City Hall
200 North Spring St., Room 440
Los Angeles, CA 90012

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Aug 1, 2023 at 6:47 AM

To: Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>

Cc: Thelma Castelltort <thelma.castelltort@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Connie and Martha,

CD 5 is formatting a motion for the project with the LifeArk product that we are working on setting up, would you please take a look at their recommendation and provide feedback regarding the language?

Please let me know if you have any suggestions.

Thank you

https://docs.google.com/document/d/1oMUL0R0gzFAS3CRd63-sIYPxU56BYSKJ_JrJi3CvkBA/edit
CPRA-15-BOE-000272

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Aug 3, 2023 at 6:49 AM

To: Connie Espinoza <connie.espinoza@lacity.org>, Martha Medina <martha.medina@lacity.org>

Cc: Thelma Castelltort <thelma.castelltort@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Connie,

Following up on this, does your group have any comments regarding the language?

[Quoted text hidden]

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Aug 3, 2023 at 6:50 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Zachary,

BOE and GSD are coordinating through the language, we will follow up.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Zachary Warma <zachary.warma@lacity.org>

Thu, Aug 3, 2023 at 7:55 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Gary Gero <gary.gero@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Thank you so much, Marina!

- ZW

[Quoted text hidden]

Connie Espinoza <connie.espinoza@lacity.org>

Thu, Aug 3, 2023 at 10:29 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Martha Medina <martha.medina@lacity.org>, Thelma Castelltort <thelma.castelltort@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Hi Marina,

It looks great however I thought we discussed creating a contract and not a one-time purchase order? If so, please change the language to indicate an annual contract rather than a purchase order.

I THEREFORE MOVE that the Department of General Services (GSD) be instructed to negotiate and execute a purchase order with LifeArk SPC for the acquisition of prefabricated modular units for an interim housing facility to be located at the Los Angeles Department of Transportation (LADOT) lot #707 at [2377 Midvale Avenue](#), in accordance with the provisions of the 2019 Homeless Shelter Emergency Declaration (CF: 15-1138-S33), and Section 8.33 of Article 3, Chapter 3, Division 8 of the Los Angeles Administrative Code, as set forth in Ordinance 187922 (CF: 23-0652);

Thank you,

Connie Espinoza, Supply Services Manager I
Department of General Services
Supply Chain Services
Ph: 213-928-9546
Fx: 213-928-9511

The Supply Services Division's mission is to procure all supplies, equipment and services in a cost-effective and timely manner. In attempting to fulfill this mission, all qualified suppliers will be given an equal opportunity to do business with the City.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Aug 4, 2023 at 11:15 AM

To: Connie Espinoza <connie.espinoza@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Cc: Martha Medina <martha.medina@lacity.org>, Thelma Castelltort <thelma.castelltort@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Connie,

Please check the mark ups, is that what you are referring to? If not, please make the changes with tracked changes on, Erik and Nathan will coordinate with CD 5.

Thanks

[Quoted text hidden]

[Quoted text hidden]



CD5 Motion-2377 Midvale Ave Tiny Home.docx
20K

CPRA-15-BOE-000274

Connie Espinoza <connie.espinoza@lacity.org>

Fri, Aug 4, 2023 at 3:32 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Martha Medina <martha.medina@lacity.org>, Thelma Castelltort <thelma.castelltort@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Yes, that's perfect. Thank you.

Connie Espinoza, Supply Services Manager I

Department of General Services

Supply Chain Services

Ph: 213-928-9546

Fx: 213-928-9511

The Supply Services Division's mission is to procure all supplies, equipment and services in a cost-effective and timely manner. In attempting to fulfill this mission, all qualified suppliers will be given an equal opportunity to do business with the City.

[Quoted text hidden]

Erik Villanueva <erik.villanueva@lacity.org>

Tue, Aug 8, 2023 at 3:32 PM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Gary Gero <gary.gero@lacity.org>, Jose FUENTES <jose.fuentes@lacity.org>

Good afternoon Zack,

BOE reviewed the motion and attached is the word document with edits. BOE's main comment is to recommend a short competitive bidding period from our list of approved contractors rather than sole sourcing the construction contract. This will better serve the City, providing us a better competitive price without jeopardizing any schedule.

Let us know if you have any questions.

Thank you,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 830](#), Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING



[Quoted text hidden]



CD5 Motion-2377 Midvale Ave Tiny Home.docx

20K



Marina Quinonez <marina.quinonez@lacity.org>

Midvale Project: LifeArk

1 message

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Oct 23, 2023 at 10:41 AM

To: Steven Fierce <steven.fierce@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Nathan Ho <nathan.ho@lacity.org>

Steven,

Sending the info for Midvale, let me know if you have any questions regarding the proposal.

Mary and Carolina will be the main designers for Midvale, they will also stay on the Mayfair but Henry and another Architect will be 100% on Mayfair.

Mary and Carolina have the THV system down, this is a completely new product, that is why we have allocated 8 weeks instead of the usual 4 to 6 weeks.

They anticipate being able to start on Midvale by mid-November, they want to get Mayfair going first.

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



2 attachments



CD5-Hope Pavilion-final.pdf

6852K



230801 CD5 THV Fee Proposal_Bridging Doc - Revised (1).pdf

1081K



Marina Quinonez <marina.quinonez@lacity.org>

Midvale Tiny Home: Update

1 message

Marina Quinonez <marina.quinonez@lacity.org>

Fri, Oct 27, 2023 at 7:59 AM

To: Zachary Warma <zachary.warma@lacity.org>, Fernando Morales <fernando.morales@lacity.org>, Gary Gero <gary.gero@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>

Hi CD 5 Team,

We anticipate being able to provide you with a schedule by the end of next week. We are currently in communication with our consultant GGA regarding a start date. GGA is currently also initiating the design for the Mayfair renovations, they would like 3 weeks to get the Mayfair design started to have a team established to also work on Midvale. This means that we anticipate coordination with LifeArk and GGA by Mid November.

I will reach out to LifeArk today to set up a meeting with them on Monday or Tuesday to review their schedule for fabrication and delivery.

CAO Anticipates releasing the controllers instructions by next week, which means funding should be available in the next two weeks, or so.

GSD Procurement has been informed of the council action and has begun coordination for the contract.

Please let us know if you have any specific questions at this time.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org





Marina Quinonez <marina.quinonez@lacity.org>

New Tiny Home Village: Feasibility

4 messages

Marina Quinonez <marina.quinonez@lacity.org>

Mon, Apr 10, 2023 at 7:59 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Hi Nathan,

We will be starting a new feasibility for CD 5 this week. I am attaching the site info for reference. Please open a work order and a UPRS. I'm not sure if you have opened a wo for a THV, I am attaching the template for reference, send it over to me before you send it to Thelma. There is a folder in box with all the WO.

C:\Users\102992\Box\ARC_PROJECTS\HHH\1- PALLET HOUSES\Work Order Form

The Project folder is in box as well.

C:\Users\102992\Box\ARC_PROJECTS\HHH\1- PALLET HOUSES\CD 5 Midvale LADOT Lot#707

Please visit the site, take pictures and note any issues that need to be addressed for access and site development.

Thanks

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O:(213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



2 attachments



Work order Template.doc

67K



2377 Midvale Ave (03.10.23)(EAB).pdf

381K

Nathan Ho <nathan.ho@lacity.org>

Mon, Apr 10, 2023 at 8:33 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Received. I'll start working on this

Thanks

Nathan Ho

[Quoted text hidden]

--

Nathan Ho, P.E.

CPRA-15-BOE-000278

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



Nathan Ho <nathan.ho@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Erik Villanueva <Erik.Villanueva@lacity.org>

Mon, Apr 10, 2023 at 12:12 PM

Hi Marina and Erik,

Please see the attached WO draft. Where can I find the EPCBH number? I left it highlighted in yellow

Thanks,

Nathan Ho, P.E.
Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works
1149 S Broadway, Suite 830
Los Angeles, CA 90015
Phone: 213 485 4428
Email: nathan.ho@lacity.org



On Mon, Apr 10, 2023 at 8:00 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:
[Quoted text hidden]

 **Work order Request CD 5 Midvale LADOT Lot#707.doc**
67K

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>


Mon, Apr 10, 2023 at 12:22 PM

That designation is the council district number. Minor edit.

Please send this to Thelma and cc Ivet. Thelma will need a pdf with your signature and the word file.

[Quoted text hidden]

[Quoted text hidden]

 **Work order Request CD 5 Midvale LADOT Lot#707.doc**
67K



Marina Quinonez <marina.quinonez@lacity.org>

PRIORITY: Midvale

5 messages

Maria Martin <maria.martin@lacity.org>

Tue, Oct 17, 2023 at 3:48 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>

Hi Marina and Annabelle,

I am attending tomorrow's 10am meeting at City Hall and see that both of you have accepted.

I understand the project is scheduled for full Council on Friday. If the project is approved, the Notice of Exemption should be filed right away. Please remember that filing with the County Clerk starts the 35 day statute of limitations on a legal challenge.

Is there any way we can get a \$75 check or USPS money order made out to the Los Angeles Clerk Recorder to be ready for the filing? It typically takes some time for Thelma to get the check.

Does anyone in CD 5 have petty cash or a way to provide the check CAO doesn't?

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



Maria Martin <maria.martin@lacity.org>

Tue, Oct 17, 2023 at 4:09 PM

To: Robert Kadomatsu <Robert.Kadomatsu@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>

Do you know if the BOE has Purchasing Cards available? I am asking if CAO or the Council Office may have a way of covering the filing fee since I don't have petty cash available. This question came up.

I don't believe we do but I want to confirm before I reply because the filing of this NOE is critical and am looking for a potential way of paying for the filing quickly.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 600

Los Angeles, CA 90015

Mail Stop 939

O: 213 485 5753

maria.martin@lacity.org



[Quoted text hidden]

Robert Kadomatsu <robert.kadomatsu@lacity.org>
To: Maria Martin <maria.martin@lacity.org>
Cc: Marina Quinonez <marina.quinonez@lacity.org>

Tue, Oct 17, 2023 at 4:17 PM

We do have a BOE credit card, but it is not intended for the purpose below.

BTW, CD5 and the CAO have access to petty cash, subject to their Management's approval. They'd just rather the BOE pay it some way so they don't have to do the paperwork...and their employee doesn't have to wait for the \$75 reimbursement.

From what Special Fund & Account is the \$75 coming from to reimburse the BOE or the BOE employee?

Robert Kadomatsu, IPMA-SCP
Administration Division | Chief Management Analyst
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700, MS 311
Los Angeles, CA 90015
Mobile: (213) 272-8072
Robert.Kadomatsu@lacity.org



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Robert Kadomatsu <robert.kadomatsu@lacity.org>
Cc: Maria Martin <maria.martin@lacity.org>

Tue, Oct 17, 2023 at 4:20 PM

The money will come from

| | | |
|-----|----|--------|
| 682 | 50 | 50VVHF |
|-----|----|--------|

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Robert Kadomatsu <robert.kadomatsu@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Maria Martin <maria.martin@lacity.org>

Tue, Oct 17, 2023 at 4:43 PM

Thanks!

Robert Kadomatsu, IPMA-SCP
Administration Division | Chief Management Analyst
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 700, MS 311
Los Angeles, CA 90015
Mobile: (213) 272-8072
Robert.Kadomatsu@lacity.org



[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Re: Urgent Request: For Steven's Signature - Filing of NOE from CEQA of 2377 Midvale Interim Housing

1 message

Thelma Castelltort <thelma.castelltort@lacity.org>

Thu, Oct 19, 2023 at 12:23 PM

To: Bernadette Hernandez <bernadette.hernandez@lacity.org>

Cc: Maria Martin <maria.martin@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Eden Gascon <eden.gascon@lacity.org>

Hi Bernadette,

This AFE was already signed by Steven.

However, I need to make some revision because I forgot to indicate that I will be the one who will pick up the Will Call Check. I added this line because the Office of Accounting and the Controller's Office will ask for it. No changes in amount or funding information was made.

See revised document attached.

Thank you.

AUTHORITY FOR EXPENDITURE

Dept. _____

| | | | | | | |
|---|-----------------|---|--|--------------------------------------|-----------------------------------|---------------------------|
| TRANS CODE P O | DEPT. NO. 50 | DOCUMENT NO. TYPE F.Y. AUTHORITY NO. AE 24 AE24682006M | | DOC. DATE M M D D Y Y 10/19/23 | ACCTG. PERIOD P P Y Y 04 24 | BUDGET F.Y. Y 2022 |
| ACTION <input type="checkbox"/> ORIG. ENTRY (E) <input type="checkbox"/> ADJUSTMENT (M) | | TYPE OF ORDER A | | COMMENTS/DEPT. CONTROL NO. | SS OR IRS ID NO. | COMMENTS OR BTRC NO. |
| | | | | | | DOCUMENT TOTAL \$75.00 |

| | |
|---|--|
| TO: (NAME AND ADDRESS) Los Angeles County Clerk 12400 E. Imperial Hwy Norwalk, CA 900650 | PLEASE FURNISH TO THE CITY OF LOS ANGELES, CARE OF (GIVE ADDRESS) Department of Public Works - Bureau of Engineering Architectural Division 1149 S Broadway, 8th Floor Los Angeles, CA 90015 |
|---|--|

| LINE NO. | FUND | DEPT. | APPR. ACCT. | OBJECT | SUB OBJ | DESCRIPTION | | | | | AMOUNT | |
|----------|------|-------|-------------|--------------|---------|----------------------------|---------|-------------|------|-------|--------------|--------|
| 01 | 682 | 50 | 50VVHF | 401 | 40105 | CEQA - Notice of Exemption | | | | | \$75.00 | |
| QUANTITY | | ID | U.O.M. | ORGANIZATION | SUB ORG | PROGRAM | SUB ACT | JOB/PROJECT | TASK | ST/BI | CHANGE ORDER | REPTG. |
| EPCBH005 | | | 9999 | 78550000 | | | | E1909097 | PCF | G | EPCBH | |

| LINE NO. | FUND | DEPT. | APPR. ACCT. | OBJECT | SUB OBJ | DESCRIPTION | | | | | AMOUNT | |
|----------|------|-------|-------------|--------------|---------|-------------|---------|-------------|------|-------|--------------|--------|
| 02 | | | | | | | | | | | | |
| QUANTITY | | ID | U.O.M. | ORGANIZATION | SUB ORG | PROGRAM | SUB ACT | JOB/PROJECT | TASK | ST/BI | CHANGE ORDER | REPTG. |
| | | | | | | | | | | | | |

FOR:

Payment for filing fees for Notice of Exemption from the California Environmental Quality Act (CEQA) to LA County Clerk
 Project Name: CD 5 - 2377 Midvale Avenue Interim Housing
 Work Order No. E1909097

Note: This is a Will Call Check: Check will be picked up by Thelma Castellort; Tel No. (213)847-1696

TO THE OFFICE OF THE CONTROLLER:

PURSUANT TO PROVISIONS OF THE CITY CHARTER AND TO THE ANNUAL DEPARTMENTAL BUDGET APPROPRIATIONS OR OF APPROPRIATIONS MADE SUBSEQUENT TO THE BUDGET. THIS IS AUTHORITY TO ISSUE A DEMAND ON THE FUND AND DEPARTMENT DESCRIBED ABOVE.

ORIGINAL/ADJUSTED AUTH. TO

CONTRACT OR OFFER NO. (STRIKE OUT ONE)

| | | |
|---|--------------------|--|
| BUREAU OR DIVISION HEAD Steven Fierce | DATE 10/19/2023 | HEAD OF DEPARTMENT DATE |
| ACCOUNTING | DATE | CITY ATTORNEY APPROVAL OF AFE OVER \$1,000 DATE |
| READ THIS CAREFULLY: THIS AFE MUST BE APPROVED FOR FUNDS BY THE CITY CONTROLLER BEFORE SERVICE IS | | CONTROLLER'S APPRO |

Thelma B. Castellort
 Architectural Division | Sr. Management Analyst I
 Bureau of Engineering | Department of Public Works
 1149 S. Broadway, Suite 820
 Los Angeles, CA 90015
 Mail Stop 295
 O: 213 847 1696 | F: 213 847 1794
 thelma.castellort@lacity.org

On Thu, Oct 19, 2023 at 10:19 AM Thelma Castellort <thelma.castellort@lacity.org> wrote:

Hi Bernadette,

The following documents are ready for Steven's Signature. These are for the filing of Notice of Exemption from CEQA of 2377 Midvale Interim Housing.

1. Memo to the Controller's Office requesting for the issuance of Will Call Check to LA County Clerk for \$75.00
2. AFE to County Clerk (GAEE No. AE24682006M) for \$75.00


CPRA-15-BOE-000284

3. Application for Notice of Exemption from CEQA (Invoice No AE24682006M) for 2377 Midvale.

Thank you.

Thelma B. Castelltort
Architectural Division| Sr. Management Analyst I
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 820
Los Angeles, CA 90015
Mail Stop 295
O: 213 847 1696 | F: 213 847 1794
thelma.castelltort@lacity.org

 <http://eng.lacity.org/>  

 **AE24682006M - \$75.00 for Midvale_.pdf**
445K



Marina Quinonez <marina.quinonez@lacity.org>

Request for Filing Fee Check for CD 5 - 2377 Midvale Ave Interim Housing

2 messages

Maria Martin <maria.martin@lacity.org>

Wed, Oct 18, 2023 at 4:58 PM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>

Hi Thelma,

Please request a \$75 check made out to the LA County Clerk/Recorder for CD 5 - [2377 Midvale Ave](#) Interim Housing
W.O. E1909097

I anticipate filing after the full Council considers the project this Friday citing both decisions, today's and Friday's.
However, I am being asked to rush this filing and file as soon as possible thereafter.

Best regards,

Maria Martin

Environmental Management Group | Environmental Affairs Officer

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 600](#)

[Los Angeles, CA 90015](#)

Mail Stop 939

O: [213 485 5753](#)

maria.martin@lacity.org



CEQA_NOE_2377_Midvale_Ave_10-18-23_for_filing_fee.pdf

1821K

Thelma Castelltort <thelma.castelltort@lacity.org>

Thu, Oct 19, 2023 at 6:03 AM

To: Maria Martin <maria.martin@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Good morning Maria,

I will process a Will Call Check for the LA County for this project.

Thank you.

Thelma B. Castelltort

Architectural Division | Sr. Management Analyst I

Bureau of Engineering | Department of Public Works

[1149 S. Broadway, Suite 820](#)

[Los Angeles, CA 90015](#)

Mail Stop 295

O: [213 847 1696](#) | F: [213 847 1794](#)

thelma.castelltort@lacity.org



CPRA-15-BOE-000286

[Quoted text hidden]



CEQA_NOE_2377_Midvale_Ave_10-18-23_for_filing_fee.pdf
1821K



Marina Quinonez <marina.quinonez@lacity.org>

Request for Survey - CD 5 Midvale LADOT Lot# 707

11 messages

Nathan Ho <nathan.ho@lacity.org>

Tue, Jun 27, 2023 at 4:18 PM

To: Eric Ramos <eric.ramos@lacity.org>, Edmundo Asuncion <edmundo.asuncion@lacity.org>

Cc: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Good afternoon,

We are reaching out to request a survey to capture the existing conditions in the area noted in the attached sketch. This is for a homeless shelter project.

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate
Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



 **23-06.27 Survey Request 2377 Midvale Ave.pdf**
478K

Eric Ramos <eric.ramos@lacity.org>

Wed, Jun 28, 2023 at 6:35 AM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Edmundo Asuncion <edmundo.asuncion@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Good morning Nathan,

We will schedule to start this request possibly today. Have a great day.

[Quoted text hidden]

--

Eric Ramos, PLS 8724

Survey Division, Survey Supervisor, Central and Harbor District
Bureau of Engineering / Department of Public Works

555 Ramirez Street, Space 250

Los Angeles, Ca. 90012

Mail Stop: 904

O: (213) 473-0608

eric.ramos@lacity.org



Marina Quinonez <marina.quinonez@lacity.org>

Wed, Jun 28, 2023 at 7:46 AM

To: Eric Ramos <eric.ramos@lacity.org>

CPRA-15-BOE-000288

Cc: Nathan Ho <nathan.ho@lacity.org>, Edmundo Asuncion <edmundo.asuncion@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Thank you Eric.

Please count the number of parking stalls in each lot.

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Eric Ramos <eric.ramos@lacity.org>

Wed, Jun 28, 2023 at 7:47 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Edmundo Asuncion <edmundo.asuncion@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Will do, thank you.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 11, 2023 at 4:43 PM

To: Eric Ramos <eric.ramos@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Edmundo Asuncion <edmundo.asuncion@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>

Hi Eric,

Checking in on the status of the survey for this site.

Thank you

[Quoted text hidden]

[Quoted text hidden]

Eric Ramos <eric.ramos@lacity.org>

Tue, Jul 11, 2023 at 5:42 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

CD 5 Midvale LADOT Lot# 707...Homeless Shelter Project

Hello Marina,

Survey Party Chief Valerie Lai will complete the field work and turn in the data to our CAD group by the end of the week. You will tentatively receive the finished map in a few more weeks.

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 11, 2023 at 5:54 PM

To: Eric Ramos <eric.amos@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

Hi Eric, this is a project under the Homeless Program, it should have priority, we need to receive the CAD file as soon as possible. Please let me know if you need clearance from a Deputy to give it a priority.

Thank you for your continued collaboration.

[Quoted text hidden]

[Quoted text hidden]

Eric Ramos <eric.amos@lacity.org>

Tue, Jul 11, 2023 at 6:04 PM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

Marina,

I will let the CAD section know it is a priority project.

Thanks

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Tue, Jul 11, 2023 at 6:37 PM

To: Eric Ramos <eric.amos@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Edwin Miller <edwin.miller@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

Thank you so much Eric!

[Quoted text hidden]

[Quoted text hidden]

Edwin Miller <edwin.miller@lacity.org>

Wed, Jul 12, 2023 at 5:48 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Eric Ramos <eric.amos@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

Hi Marina,

Yeah, the CAD Section will give this project top priority. We'll start processing the field data right away when we receive the data from the field crews. If there are any unforeseen delays, I'll keep you updated. Let me know if you have any questions.

Thank you,

Edwin Miller, PLS

Survey Division | Survey Supervisor | Figueroa Office

Bureau of Engineering | Department of Public Works

201 N. Figueroa St., Ste. 1100

Los Angeles, CA 90012

Mail Stop: 904

O: (213) 482 - 7177 | F: (213) 482 - 7175

edwin.miller@lacity.org



[Quoted text hidden]

CPRA-15-BOE-000290

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Jul 12, 2023 at 7:39 AM

To: Edwin Miller <edwin.miller@lacity.org>

Cc: Nathan Ho <nathan.ho@lacity.org>, Eric Ramos <eric.ramos@lacity.org>, Erik Villanueva <erik.villanueva@lacity.org>, Valerie Lai <valerie.lai@lacity.org>, Mark Kindig <mark.kindig@lacity.org>

Thank you Edwin, much appreciated!

[Quoted text hidden]

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Revised CD5 THV Midvale Site

1 message

Erik Villanueva <erik.villanueva@lacity.org>

Fri, May 12, 2023 at 1:17 PM

To: Marina Quinonez <Marina.Quinonez@lacity.org>

Cc: Son Vuong <son.vuong@lacity.org>, Raymond Huang <Raymond.Huang@lacity.org>, Diego Rodriguez <diego.rodriguez@lacity.org>

Hi Marina,

Attached is the revised Midvale THV. This incorporates removing the enclosed alley which connected the parking lots before and also does not place any structures above the sweeping storm drain easement through the lower parking site.

We did some acrobatics and were able to get our bed count up to 44. Of course, this is without the survey, but 44 is definitely within the ballpark.

Thanks,

Erik Villanueva C-35430

Architectural Division | Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 830, Mail Stop 507

Los Angeles, CA 90015

Phone: 213.485.4488

ENGINEERING



 **CD5 Midvale THV_051223.pdf**
2948K



Marina Quinonez <marina.quinonez@lacity.org>

Rush Request - For Your Signature: Invoice for LA County Clerk for 2377 Midvale

3 messages

Thelma Castelltort <thelma.castelltort@lacity.org>

Thu, Oct 19, 2023 at 9:31 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Ivet Madatyan <ivet.madatyan@lacity.org>, Eden Gascon <eden.gascon@lacity.org>

Hi Marina,

Please see attached Invoice for LA County Clerk for Notice of Exemption for 2377 Midvale.

This is for your signature. Thanks.

Thelma B. Castelltort

Architectural Division | Sr. Management Analyst I

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 820

Los Angeles, CA 90015

Mail Stop 295

O: 213 847 1696 | F: 213 847 1794

thelma.castelltort@lacity.org

 <http://eng.lacity.org/> 



Invoice No. AE24682006 LA County Clerk - \$75.00.pdf

1969K

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Oct 19, 2023 at 10:12 AM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Ivet Madatyan <ivet.madatyan@lacity.org>, Eden Gascon <eden.gascon@lacity.org>

Please see attached.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect

Bureau of Engineering | Department of Public Works

1149 S. Broadway St., suite 830

Los Angeles, CA 90015

O: (213) 485-4378 | F: (213) 485-4836

marina.quinonez@lacity.org



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CPRA-15-BOE-000293



Invoice No. AE24682006 LA County Clerk - \$75.00.pdf
2154K

Thelma Castelltort <thelma.castelltort@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>

Thu, Oct 19, 2023 at 10:20 AM

Thank you, Marina.

Thelma B. Castelltort
Architectural Division | Sr. Management Analyst I
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 820](#)
[Los Angeles, CA 90015](#)
Mail Stop 295
[O: 213 847 1696 | F: 213 847 1794](#)
thelma.castelltort@lacity.org

 <http://eng.lacity.org/> 

[Quoted text hidden]



Marina Quinonez <marina.quinonez@lacity.org>

Scheduling meetings between City Family and Potential IH Vendors for 2377 Midvale THV project

4 messages

Zachary Warma <zachary.warma@lacity.org>

Tue, May 30, 2023 at 6:16 PM

To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>

Cc: Edwin Gipson <edwin.gipson@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Marina, Erik, Annabelle, and Kendra:

I hope you all had a restful long weekend!

Per our conversation earlier this month, I am reaching out re: scheduling meetings between the relevant city departments and the 2 modular vendors our office is contemplating for the eventual Tiny Home Village at [2377 Midvale Ave.](#)

The two vendors - Connect Homes and LifeArk - will be furnishing their proposals by the end of the week. Once they are in hand, I will promptly circulate them to the individuals on this message (and anyone else you think should be privy to the materials).

Prior to publicly launching our community input and engagement process, the Councilwoman strongly agrees with the need to have meetings where reps from CAO, BOE, LADBS, and LAFD can engage the vendors and ensure that any publicly facing proposals are in fact feasible.

Ideally, we would like to schedule these meetings for Wednesday 6/7, Monday 6/11, Tuesday 6/12, or Wednesday 6/13 at the latest. It's our desire to have separate meetings for each vendor.

Apologies for blasting all of you with this request, but I want to make sure that I am flagging this to the appropriate parties.

Our office is happy to coordinate the meeting scheduling (though thoughts on the desired attendees from DBS and LAFD would be quite appreciated), though will certainly defer to any of you if it's less hassle for CD5 not to coordinate.

Thank you all so much for your continued partnership on this undertaking, and know just how excited we are for this process to continue!

Cheers,

Zack Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org

Marina Quinonez <marina.quinonez@lacity.org>

Wed, May 31, 2023 at 7:14 AM

To: Zachary Warma <zachary.warma@lacity.org>

Cc: Erik Villanueva <Erik.Villanueva@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Hi Zack,

CPRA-15-BOE-000295

I have LADBS and LAFD on standby whenever the proposals come in. I will inquire about their availability on the specified dates and will let you know.

Thanks

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Thu, Jun 1, 2023 at 9:10 AM

To: Marina Quinonez <marina.quinonez@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Good morning Zach,

The availability for the CAO team is as follows:

Wednesday, 6/7 - 1pm - 2pm and 4pm - 5pm (May be limited time here due to H&H Committee)

Tuesday, 6/13 - 10am - 11am, and 3pm - 5pm

Wednesday, 6/14 - 10am - 11am and 3:30pm - 5pm

If you need anything else, please let me know.

Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Thu, Jun 1, 2023 at 9:39 AM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Zachary Warma <zachary.warma@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Kendra Leal <kendra.leal@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Gary Gero <gary.gero@lacity.org>, Katy Yaroslavsky <katy.yaroslavsky@lacity.org>, Fernando Morales <fernando.morales@lacity.org>

Here is my availability:

Wednesday, 6/7 - At an all-day Conference

Tuesday, 6/13 - 10am - 11am, and 12-3pm

Wednesday, 6/14 - 10am - 11am and 12-1pm

[Quoted text hidden]

CPRA-15-BOE-000296

[Quoted text hidden]



Nathan Ho <nathan.ho@lacity.org>

Fwd: 2377 Midvale THV project - meeting follow up

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 5, 2023 at 5:01 PM

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>

Date: Fri, Jun 2, 2023 at 2:30 PM

Subject: Re: 2377 Midvale THV project - meeting follow up

To: Shine Lin <shine.lin@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Hello everyone,

I am sending the first proposal, CD 5 has scheduled this discussion with LifeArk on June 13th.

Please provide comments and inquiries if you cannot attend the meeting. Again, CD 5 needs your input to make an informed decision as to which vendor they will select.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Fri, Jun 2, 2023 at 11:27 AM Shine Lin <shine.lin@lacity.org> wrote:

Hi Marina,

Sorry I already had appointments on June 13 and 14 at 10AM.

How about 6/13 from 11:30AM to 12PM? Please reply to confirm the Zoom or Google Meet appointment for DAS?
Please email me a calendar invite. Thank you!

Sincerely,

Shine

On Thu, Jun 1, 2023 at 2:44 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Hello everyone,

CD 5 sent an invitation (hold) to meet and discuss the proposals that are anticipated to come in this week. The hold is for two days, they want to meet with both vendors separately.

You should have received an invite for June 13th at 10am and June 14th at 10am. Please add whomever you think needs to be present. Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Thu, May 18, 2023 at 10:52 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Thank you Faruk, we will reach out to Shine.

Please provide us with any initial feedback you may have at this time.

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Thu, May 18, 2023 at 10:45 AM Faruk Sezer <faruk.sezer@lacity.org> wrote:

Hi Marina
CPRA-15-BOE-000299

I will be on extended VC from 5/26 through 7/5. If you like, I can set up a meeting for next week before my VC starts or I can give a point of contact [+SHINE LIN](#) who might be able to answer DAS related questions.

Thank you.

***I will be out of office on every other MONDAY;

*****We strive to answer all emails within 48 hours.**

Faruk Sezer, MS, PE, CASp, I.C.C
Disabled Access Section
Los Angeles Department of Building and Safety
[201 N. Figueroa St. Room 880](#)
[Los Angeles, CA 90012](#)
213.482.0093

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: [LADBS.org](#) and [Continuity of Operations for LADBS](#)

On Wed, May 17, 2023 at 10:47 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Hi everyone,

CD 5 will be meeting with two vendors and will likely be asking for your feedback in reviewing proposals the week of June 5th. I am sending you some preliminary information we received. Let me know if you have any preliminary comments. These will be used for Interim Housing under the current temporary homeless shelters section 12.80.

Thank you

Marina Quiñónez, AIA
Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Zachary Warma** <zachary.warma@lacity.org>
Date: Mon, May 15, 2023 at 4:54 PM
Subject: 2377 Midvale THV project - meeting follow up
To: Marina Quinonez <marina.quinonez@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>, Edwin Gipson <edwin.gipson@lacity.org>, Annabelle Gonzales <annabelle.gonzales@lacity.org>, Kendra Leal <kendra.leal@lacity.org>
Cc: Fernando Morales <fernando.morales@lacity.org>, Andrew Deblock <andrew.deblock@lacity.org>, Gary Gero <gary.gero@lacity.org>

Marina, Erik, Ed, Annabelle, and Kendra:

Thank you so much for taking the time to meet with Team CD5 this morning regarding our forthcoming THV project at [2377 Midvale Avenue](#).

Per our conversation, I have attached herein the initial proposals submitted by Connect Homes and LifeArk. Our office has asked both vendors to provide updated plans by Friday 6/2, inclusive of the the following

CPRA-15-BOE-000300

elements:

- A *minimum* of 45 units, no less than 100 square feet,
- En suite restrooms in all units
- A utilization of both parcels as a single campus / enclosing the alley
- On-site laundry facilities
- Storage (for both residents and staff)
- An area for pets
- Office/case-conferencing space
- Either an indoor or covered dining area / community space
- Ample foliage/greenery in and around the site
- Architecturally welcoming entrance
- No more than 4 parking spaces for staff

I will note that we expressly requested for designs contemplating the closure of the alley; we appreciate your continued exploration of the matter, and I have also reached out to the City Attorney's Office for guidance.

Since our meeting, I have already requested that both vendors provide potential times for us to schedule the meetings between them and CAO/LADBS/LAFD/BOE for the week of 6/5.

One outstanding request, if I may - can one of you point me to any clear documentation regarding the requirements of ADA "adaptability", and what components of the units it applies to?

If our office can help further this process in any way / make your lives less hectic, please do not hesitate to let us know.

Regards,

Zack Warma

--



Zachary Warma

Housing & Homelessness Policy Director
Councilwoman Katy Yaroslavsky, Council District 5
[200 North Spring Street, Room 440](#)
[Los Angeles, CA 90012](#)
Tel: (213) 473-7005 - Los Angeles City Hall Office
Email: zachary.warma@lacity.org



CD5-Hope Pavilion-final.pdf
6852K



Nathan Ho <nathan.ho@lacity.org>

Fwd: 2377 Midvale THV project - meeting follow up

Marina Quinonez <marina.quinonez@lacity.org>
To: Nathan Ho <nathan.ho@lacity.org>

Mon, Jun 5, 2023 at 5:01 PM

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



----- Forwarded message -----

From: **Marina Quinonez** <marina.quinonez@lacity.org>

Date: Fri, Jun 2, 2023 at 7:44 PM

Subject: Re: 2377 Midvale THV project - meeting follow up

To: Shine Lin <shine.lin@lacity.org>

Cc: Faruk Sezer <faruk.sezer@lacity.org>, Menoa Aghajani <Menoa.Aghajani@lacity.org>, Pejman Noori <pejman.noori@lacity.org>, Eugene Barbeau <Eugene.Barbeau@lacity.org>, Kevin Morales <kevin.morales@lacity.org>, Hani Malki <hani.malki@lacity.org>, Erik Villanueva <Erik.Villanueva@lacity.org>

Here is the second proposal. Please let me know if you are available on June 14th from 12 to 1pm.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Fri, Jun 2, 2023 at 2:30 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:
Hello everyone,

CPRA-15-BOE-000302

I am sending the first proposal, CD 5 has scheduled this discussion with LifeArk on June 13th.

Please provide comments and inquiries if you cannot attend the meeting. Again, CD 5 needs your input to make an informed decision as to which vendor they will select.

Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Fri, Jun 2, 2023 at 11:27 AM Shine Lin <shine.lin@lacity.org> wrote:

Hi Marina,

Sorry I already had appointments on June 13 and 14 at 10AM.

How about 6/13 from 11:30AM to 12PM? Please reply to confirm the Zoom or Google Meet appointment for DAS?

Please email me a calendar invite. Thank you!

Sincerely,

Shine

On Thu, Jun 1, 2023 at 2:44 PM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Hello everyone,

CD 5 sent an invitation (hold) to meet and discuss the proposals that are anticipated to come in this week. The hold is for two days, they want to meet with both vendors separately.

You should have received an invite for June 13th at 10am and June 14th at 10am. Please add whomever you think needs to be present. Thank you

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
[1149 S. Broadway St., suite 830](#)
[Los Angeles, CA 90015](#)
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Thu, May 18, 2023 at 10:52 AM Marina Quinonez <marina.quinonez@lacity.org> wrote:

Thank you Faruk, we will reach out to Shine.

CPRA-15-BOE-000303

Please provide us with any initial feedback you may have at this time.

Marina Quiñónez, AIA

Architectural Division I Senior Architect
Bureau of Engineering| Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



On Thu, May 18, 2023 at 10:45 AM Faruk Sezer <faruk.sezer@lacity.org> wrote:

Hi Marina

I will be on extended VC from 5/26 through 7/5. If you like, I can set up a meeting for next week before my VC starts or I can give a point of contact **+SHINE LIN** who might be able to answer DAS related questions.

Thank you.

***I will be out of office on every other MONDAY;

*****We strive to answer all emails within 48 hours.**

Faruk Sezer, MS, PE, CASp, I.C.C
Disabled Access Section
Los Angeles Department of Building and Safety
201 N. Figueroa St. Room 880
Los Angeles, CA 90012
213.482.0093

For general Zoning and Building code questions, please refer to our call center - 311 or (213) 473-3231. Also, for additional information you may visit our website at: LADBS.org and [Continuity of Operations for LADBS](#)

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Midvale Shelter Package_20230602.pdf

19212K



Marina Quinonez <marina.quinonez@lacity.org>

Transportation Board Meeting - Midvale

2 messages

Annabelle Gonzales <annabelle.gonzales@lacity.org>

Mon, Oct 16, 2023 at 1:25 PM

To: Jasmin San Luis <jasmin.sanluis@lacity.org>

Cc: Steve Martin <steve.martin@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Good afternoon Jasmin,

My name is Annabelle, I'm with the Homelessness team in the CAO's Office. I attended the Transportation Board meeting last Thursday, 10/12, since my team released the funding report regarding the CD 5 Midvale project. I was notified that the continued meeting was scheduled for Wednesday, 10/18. Is this correct? If so, may I please be added to that invitation? I understand that the Board also wanted the CEQA attorneys present, which are @Steve Martin and @Tim McWilliams , but I don't think they've been included either. Please let me know.

Thank you!

Respectfully,
Annabelle Gonzales
Office of the City Administrative Officer
E: annabelle.gonzales@lacity.org
P: (213) 978-2752

Jasmin San Luis <jasmin.sanluis@lacity.org>

Mon, Oct 16, 2023 at 1:44 PM

To: Annabelle Gonzales <annabelle.gonzales@lacity.org>

Cc: Steve Martin <steve.martin@lacity.org>, Tim McWilliams <tim.mcwilliams@lacity.org>, Maria Martin <maria.martin@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Yes, that is correct Annabelle there is a special meeting schedule for Wed., 10/18 at 10am. I will add yourself and the CEQA attorneys as well. Thank you for confirming.

[Quoted text hidden]

--

Jasmin San Luis

Executive Administrative Assistant III
Executive Office

Los Angeles Department of Transportation
213.972.8448

*****Confidentiality Notice*****

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CPRA-15-BOE-000305



Marina Quinonez <marina.quinonez@lacity.org>

WO Request: CD 5- 2377 Midvale LADOT Lot 707

11 messages

Nathan Ho <nathan.ho@lacity.org>

Mon, Apr 10, 2023 at 1:05 PM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Ivet Madatyan <ivet.madatyan@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Thelma,

Please find attached the WO request for **CD 5- 2377 Midvale LADOT Lot 707**

Thank you,

Nathan Ho, P.E.

Architectural Division | Civil Engineering Associate

Bureau of Engineering | Department of Public Works

1149 S Broadway, Suite 830

Los Angeles, CA 90015

Phone: 213 485 4428

Email: nathan.ho@lacity.org



2 attachments



Work order Request CD 5 Midvale LADOT Lot#707.pdf

114K



Work order Request CD 5 Midvale LADOT Lot#707.doc

66K

Thelma Castelltort <thelma.castelltort@lacity.org>

Mon, Apr 10, 2023 at 1:10 PM

To: Nathan Ho <nathan.ho@lacity.org>

Cc: Ivet Madatyan <ivet.madatyan@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>

Hi Nathan,

Received.

I just want to confirm with you that this work order request is for the regular homeless projects and not connected with any of the Executive Directives issued by our Mayor like Inside Safe, etc..

The reason why I am asking is because we have to use a different Project and Major Projects if they are connected with the Executive Directives.

Thank you.

Thelma B. Castelltort

Architectural Division | Sr. Management Analyst I

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 820

Los Angeles, CA 90015

Mail Stop 295

O: 213 847 1696 | F: 213 847 1794

thelma.castelltort@lacity.org

CPRA-15-BOE-000306

 <http://eng.lacity.org/> 

[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>
To: Thelma Castelltort <thelma.castelltort@lacity.org>
Cc: Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Mon, Apr 10, 2023 at 1:16 PM

Thelma, this is for a Tiny Home Village.

Thanks

Marina Quiñónez, AIA
Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O: (213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

Thelma Castelltort <thelma.castelltort@lacity.org>
To: Marina Quinonez <marina.quinonez@lacity.org>
Cc: Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Mon, Apr 10, 2023 at 1:17 PM

Ok. Thank you.

Thelma B. Castelltort
Architectural Division | Sr. Management Analyst I
Bureau of Engineering | Department of Public Works
[1149 S. Broadway, Suite 820](#)
[Los Angeles, CA 90015](#)
Mail Stop 295
[O: 213 847 1696](tel:2138471696) | [F: 213 847 1794](tel:2138471794)
thelma.castelltort@lacity.org

 <http://eng.lacity.org/> 

[Quoted text hidden]

Thelma Castelltort <thelma.castelltort@lacity.org>
To: Willie Owens <willie.owens@lacity.org>
Cc: Brian Nosaka <brian.nosaka@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Mon, Apr 10, 2023 at 1:47 PM

CPRA-15-BOE-060307

Hi Willie,

We are requesting for a work order number for this site - CD5 2377 Midvale LADOT

We have attached the request form in MS Word and PDF formats.

Thank you.

Thelma B. Castelltort

Architectural Division | Sr. Management Analyst I

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 820

Los Angeles, CA 90015

Mail Stop 295

O: 213 847 1696 | F: 213 847 1794

thelma.castelltort@lacity.org



[Quoted text hidden]

2 attachments



Work order Request CD 5 Midvale LADOT Lot#707.doc

65K



Work Order Request - CD5 2377 Midvale LADOT.pdf

152K

Willie Owens <willie.owens@lacity.org>

Tue, Apr 11, 2023 at 7:35 AM

To: Thelma Castelltort <thelma.castelltort@lacity.org>

Cc: Brian Nosaka <brian.nosaka@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Good morning Thelma,

Work Order E1909097 is attached.

[Quoted text hidden]

--

Willie Owens

Administrative Division | Senior Administrative Clerk

Bureau of Engineering | Department of Public Works

1149 S. Broadway, Suite 710

Los Angeles, CA 90015

Mail Stop 490

O: (213) 485-5031 | F: (213) 485-5094

willie.owens@lacity.org

Work Order Unit

[Quoted text hidden]



E1909097.doc

64K

Thelma Castelltort <thelma.castelltort@lacity.org>

Tue, Apr 11, 2023 at 7:42 AM

To: Willie Owens <willie.owens@lacity.org>

Cc: Brian Nosaka <brian.nosaka@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

CPRA-15-BOE-000308

Thank you, Willie.

Thelma B. Castelltort
Architectural Division | Sr. Management Analyst I
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 820
Los Angeles, CA 90015
Mail Stop 295
O: 213 847 1696 | F: 213 847 1794
thelma.castelltort@lacity.org

 <http://eng.lacity.org/> 

[Quoted text hidden]

Willie Owens <willie.owens@lacity.org> Tue, Apr 11, 2023 at 7:53 AM
To: Thelma Castelltort <thelma.castelltort@lacity.org>
Cc: Brian Nosaka <brian.nosaka@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

You're welcome!

[Quoted text hidden]

Brian Nosaka <brian.nosaka@lacity.org> Tue, Apr 11, 2023 at 8:37 AM
To: Willie Owens <willie.owens@lacity.org>
Cc: Thelma Castelltort <thelma.castelltort@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho <nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>

Thanks Willie!

On Tue, Apr 11, 2023 at 7:36 AM Willie Owens <willie.owens@lacity.org> wrote:
[Quoted text hidden]

--

Brian Nosaka
Administrative Division | Senior Management Analyst I
Bureau of Engineering | Department of Public Works
1149 S. Broadway, Suite 720
Los Angeles, CA 90015
Mail Stop No. 311
O: (213) 485-5113
brian.nosaka@lacity.org



Willie Owens <willie.owens@lacity.org> Tue, Apr 11, 2023 at 8:38 AM
To: Brian Nosaka <brian.nosaka@lacity.org>
Cc: Thelma Castelltort <thelma.castelltort@lacity.org>, Victoria Wang <victoria.wang@lacity.org>, "Pat (Gronggarn) Pluegboonyachai" <pat.pluegboonyachai@lacity.org>, Marina Quinonez <marina.quinonez@lacity.org>, Nathan Ho

CPRA-15-BOE-000309

<nathan.ho@lacity.org>, Ivet Madatyan <ivet.madatyan@lacity.org>



[Quoted text hidden]

Marina Quinonez <marina.quinonez@lacity.org>

Wed, Apr 12, 2023 at 8:16 AM

To: Nathan Ho <nathan.ho@lacity.org>

Nathan, please remember to save this in the WO list google file.

Thanks

Marina Quiñónez, AIA

Architectural Division | Senior Architect
Bureau of Engineering | Department of Public Works
1149 S. Broadway St., suite 830
Los Angeles, CA 90015
O:(213) 485-4378 | F: (213) 485-4836
marina.quinonez@lacity.org



[Quoted text hidden]

2 attachments



Work order Request CD 5 Midvale LADOT Lot#707.doc
65K



Work Order Request - CD5 2377 Midvale LADOT.pdf
152K

85

HOME

Homekey Solutions for California's homeless crisis



CONNECT
HOMES

The leader in modern prefab homes

SAN
FRANCISCO
DESIGN
WEEK
AWARD
WINNER
2021

Connect Homes builds a home every 6 days on our assembly line

- Connect is revolutionizing construction utilizing a patented modular prefab system, dramatically reducing costs and simplifying the home building process.
- Reduces build time from 52+ weeks (conventional construction) to a matter of days.

- Built over 30 houses for people who lost homes in California Fires.
- Leading ADU provider with some of the finest “tiny home” products in space.
- Wanted to use prefab expertise to create new solution for current housing crisis.



SAN
FRANCISCO
DESIGN
WEEK

AWARD
WINNER
2021

2022 WINNER

ULI AMERICAS
AWARDS FOR EXCELLENCE

CPRA-15-BOE-000314



CPRA-15-BOE-000315



Connect Shelters: a proven, rapid-deploy, Homekey-ready housing system

- Flexible line of housing products that create community while providing users privacy.
- Available in configurations from 1-4 rooms.
- Meet challenging deadlines using a provider with proven Homekey experience.
- Provide dignified, private housing for hundreds of people in a matter of a few months, not years.

- Using same principles of modern architecture, assemblies, and green features of home line.
- Permanent housing designed and built to last decades, but can be relocated as needed.
- Comes with or without private bathrooms (ADA or otherwise) and kitchens.
- Can be specified to accommodate transitional user or one that stays decades.
- Winner of 2021 SF Design Week Social Impact Award.
- Winner of 2022 ULI Americas Award (Homekey Mountain View).



A scalable platform for housing

- Easy to ship
- Patented prefab system designed for intermodal transport
- Ship 100% complete from factory for immediate use

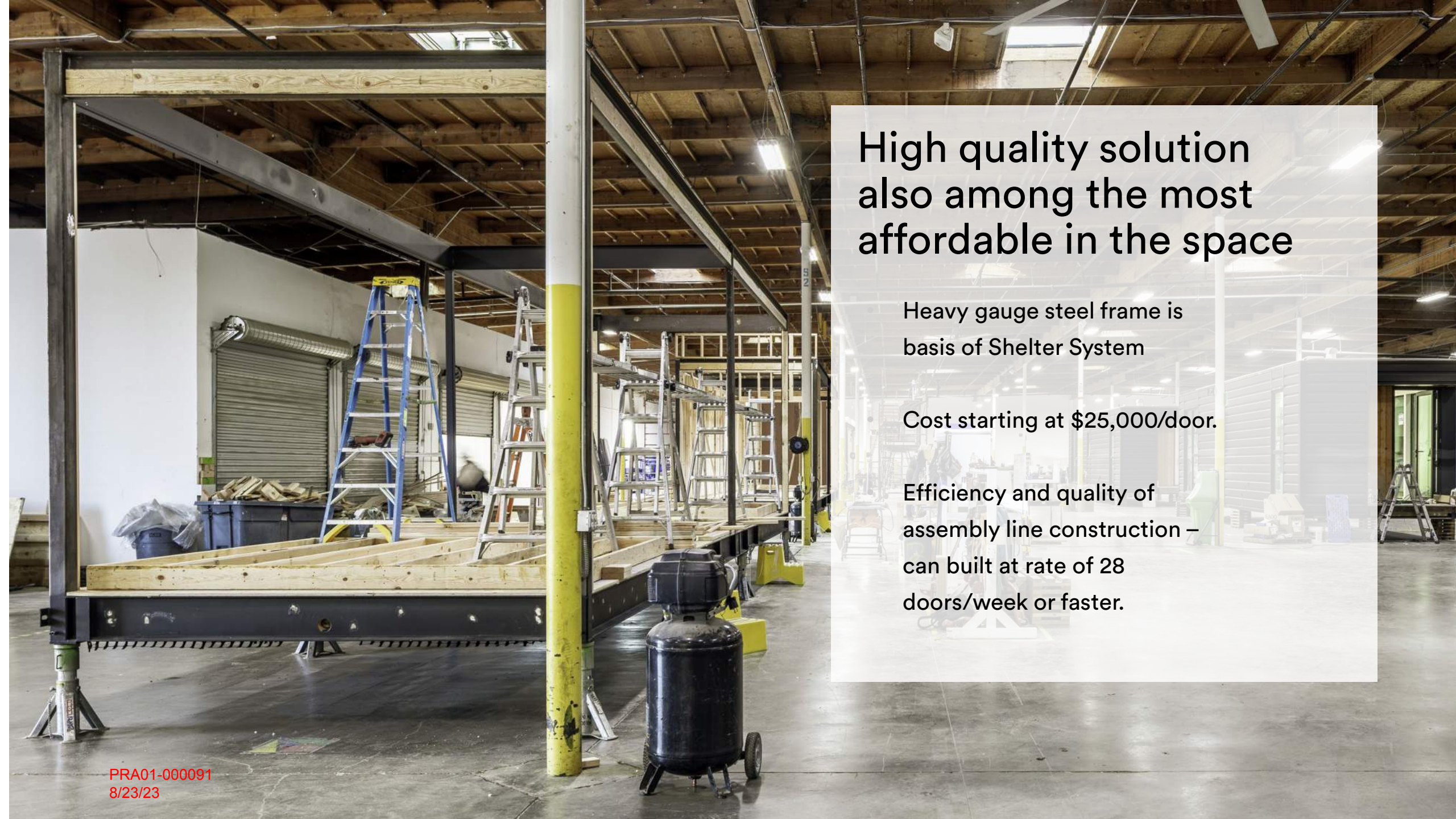




CEILING-CONCEALED FAN COIL FOR HEAT PUMP

Industry-leading solutions to the unique challenges of the segment.

- Utilities home-run to mechanical area mounted on back of unit. Allows maintenance of unit without disturbing occupants.
- One area to run utilities to on site for true plug-and-play.
- Condenser arrives pre-charged, ready to go.
- Most advanced and efficient heat pump and ventilation system in the industry with Zoned control, ceiling recessed fan coil, as well as ventilation to control unforeseen humidity issues.



High quality solution also among the most affordable in the space

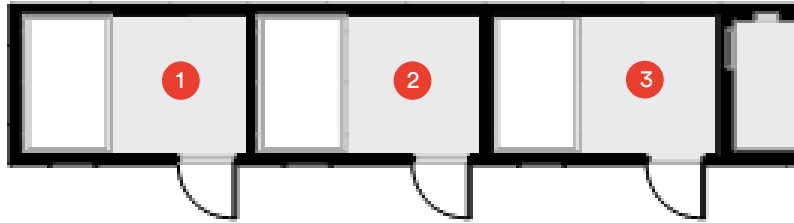
Heavy gauge steel frame is
basis of Shelter System

- Cost starting at \$25,000/door.

Efficiency and quality of
assembly line construction –
can built at rate of 28
doors/week or faster.

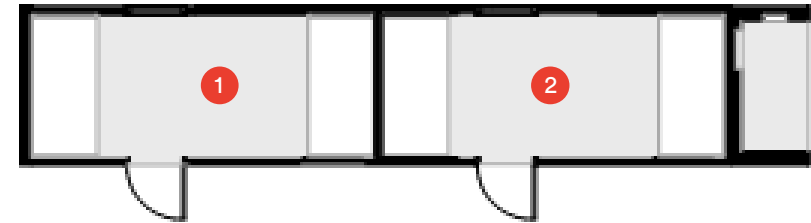
Connect Shelters – Standard Plans to flexibly address housing needs

Shelter 3



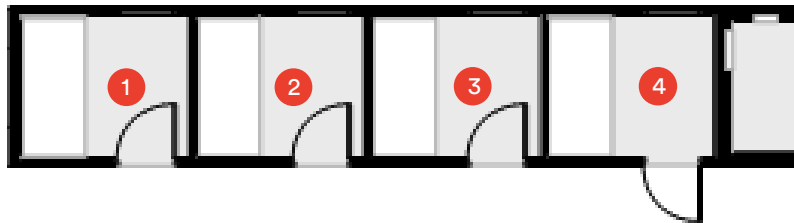
(3) private rooms, each room with individual air controls, filtration. Pricing starts at \$96,300.

Shelter 2



(2) private rooms with option for bunk beds (families), each room with individual air controls, filtration. Pricing starts at \$92,800.

Shelter 4



(4) private rooms, each room with individual air controls, filtration. Pricing starts at \$99,700.

Shelter 1

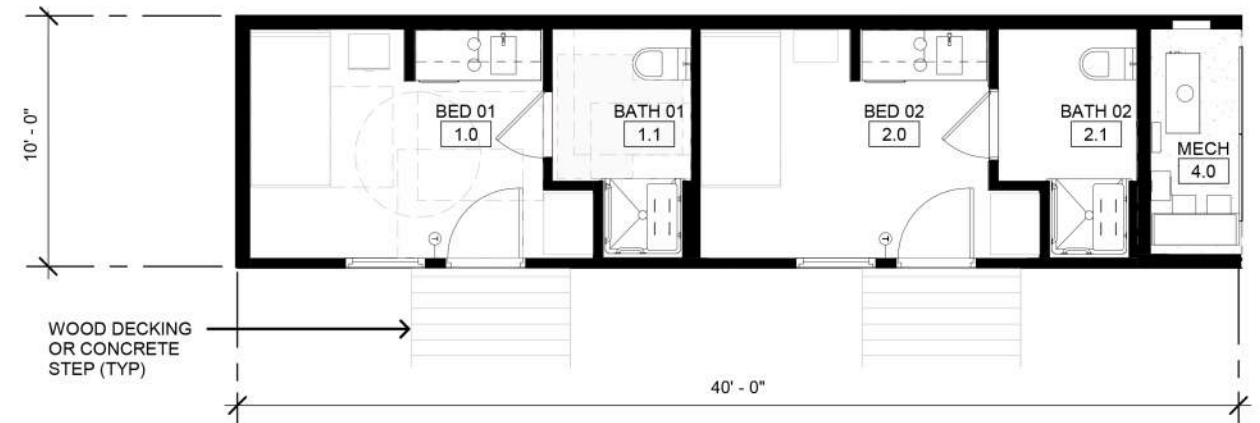


(1) private room with ensuite ADA bathroom for families. Individual air controls, filtration. Pricing starts at \$104,100.

Connect Shelters – Increasing livability with wider solutions



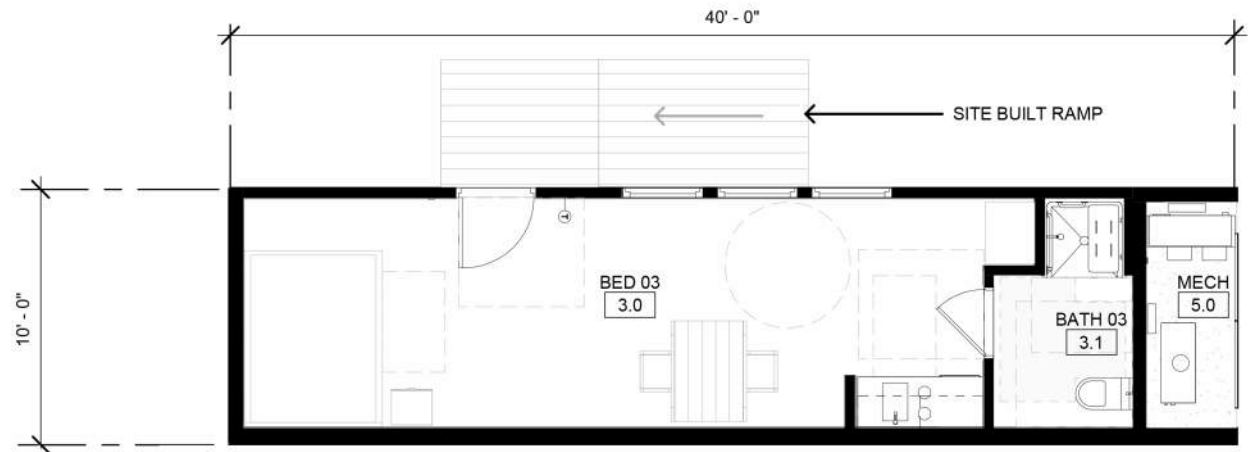
Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.



Connect Shelters – Increasing livability with wider solutions



Shelter 1 Efficiency (1) private rooms with private ADA bath and kitchenette. Each room with individual air controls, filtration. Pricing starts at \$140,400.



Connect Shelters – Increasing livability with wider solutions

Shelter 2 Efficiency (2) private rooms with private ADA baths and kitchenettes. Each sleeping room with individual air controls, filtration. Pricing starts at \$160,000.





Two-story system

- Design dramatically reduces site work.
- For situations where more density required.



An aerial architectural rendering of the Homekey Victorville Wellness Center. The development features several long, single-story modular buildings with white walls and colorful accents in teal and yellow. These buildings are arranged in a U-shape around a central courtyard with green lawns and trees. To the left, there is a large parking lot with numerous cars parked. A paved road with a white car and a pickup truck curves around the bottom right of the site. The entire development is bordered by a body of water on the right side. The overall design is modern and functional, aimed at providing a supportive environment for homeless individuals and their families.

Case Study: Homekey Victorville

4.5 blighted acres transformed into a Wellness Center providing a supportive, safe, and stable environment for homeless persons and their families.



Homekey Victorville

- Victorville was initially awarded \$20 million in Homekey funds fall 2020. Manufacturer picked could not produce in time. Victorville could not utilize funds and had to reapply for Homekey Round 2 in 2021, having established Connect as provider.
- The campus features **46 Shelter Modules** - CS1, CS2, CS4s - to provide 110 rooms (170 beds) and **26 modules** to provide onsite OSPD Clinic, Cafeteria, Wellness Center, and Recuperative Center.
- Awarded \$28 million in Homekey funds December 2021.
- Contract signed March 2022 — first round of sleeping modules delivered in July 2022.

“one of the greatest challenges has been the lack of a comprehensive facility where shelter, food, and a full suite of support services are readily accessible. Our Wellness Center will bring these services together in one location to help homeless individuals stabilize and rebuild their lives.”

Mayor Debra Jones



STATION 01:
CS-088:
Module CS-088 is receiving
floor and ceiling framing.



STATION 03:
CS-078:
Module CS-078 will have roof
framing installed.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



STATION 05:
CS-07A:
Windows and exterior doors
were installed. The module is
receiving exterior siding.



STATION 06:
CS-06A:
Drywall has been installed
and the module is ready to be
taped.



STATION 06-A-B-C:
CS-03-04-05A:
Modules are in the stages of
drywall, tape, and sanding.

VICTORVILLE

JUNE 17, 2022

CONNECT
HOMES®



East Entrance between Cafeteria and Wellness Center



Cafeteria view



Site Drive B view of Wellness Center and Clinic



Southwest Entrance view of Recuperative Center, Clinic, and Wellness Center

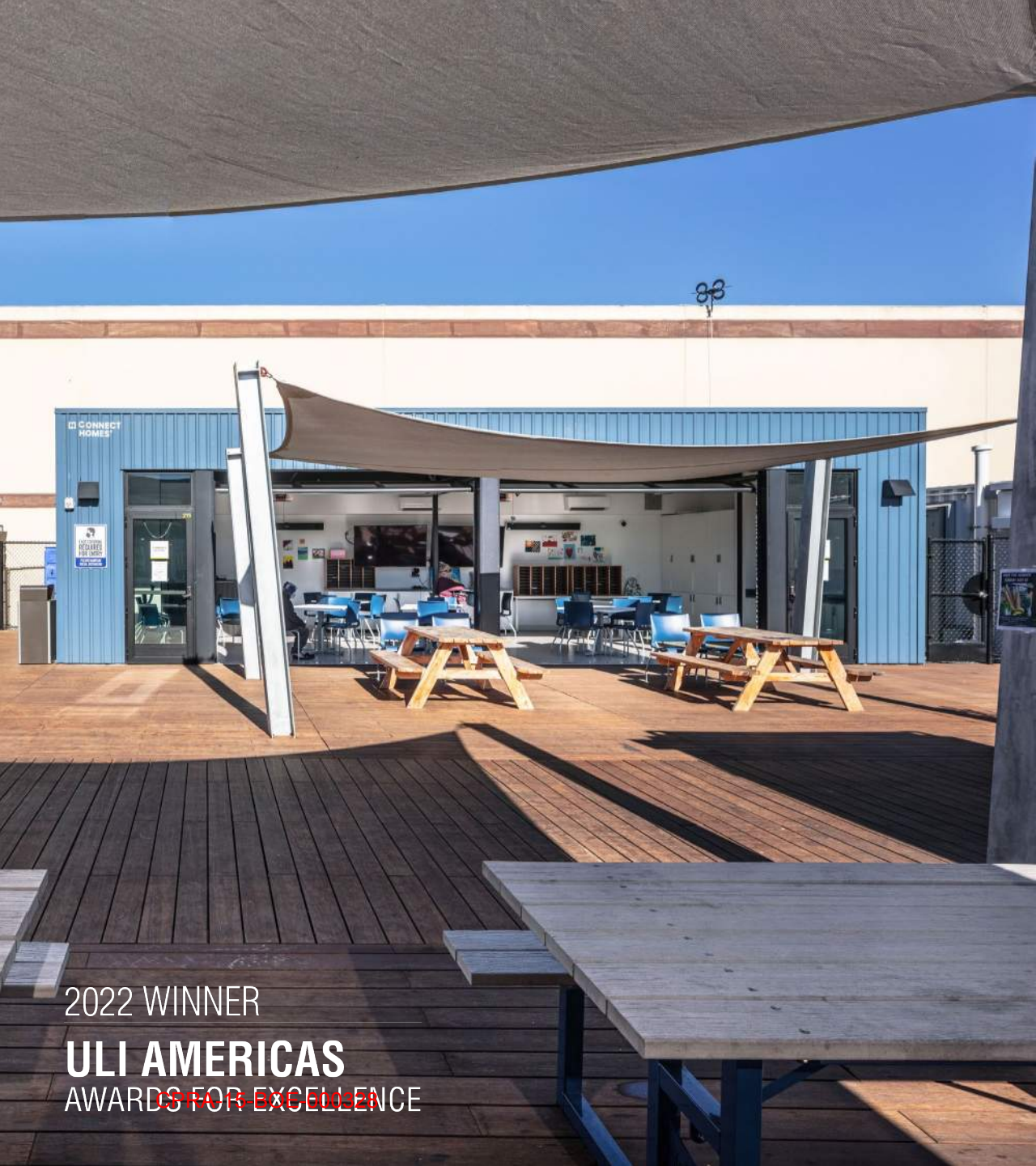


STATION 09:
CS-05A:
Gutters and interior finishes
are being installed at
station 9.

VICTORVILLE

JUNE 24, 2022

CONNECT
HOMES®



2022 WINNER
ULI AMERICAS
AWARDS FOR EXCELLENCE

Case Study: Homekey Mountain View

- Homekey Round 1 project duration Sep 2020 - Feb 2021.
- Produced 88 beds in the span of three months. Community Center was delivered one month later.
- Project increased Mountain View beds for those experiencing homelessness by 10x overnight by converting former car storage facility into Supportive Interim Housing



2022 WINNER
ULI AMERICAS
AWARDS FOR EXCELLENCE
CPRA 15 BOE 00129





2022 WINNER

ULI AMERICAS

CPRA 15 DOE 000330
AWARDS FOR EXCELLENCE






**CONNECT
HOMES®**

EXIT

Hope Lane

13-16


**CONNECT
HOMES®**


**CONNECT
HOMES®**

EVACUATION PLAN
200 LEBRON STREET
MOUNTAIN VIEW, CA







Case Study: Labath Landing (Rohnert Park)

- 2,700 people are experiencing homeless in Sonoma County.
- Homekey Round 2 project - 16 modules provided 60 private, dignified rooms.
- Entire project went from production start to ribbon cutting in a little over three months.
- Second Homekey Round 2 project to come online in state of California.

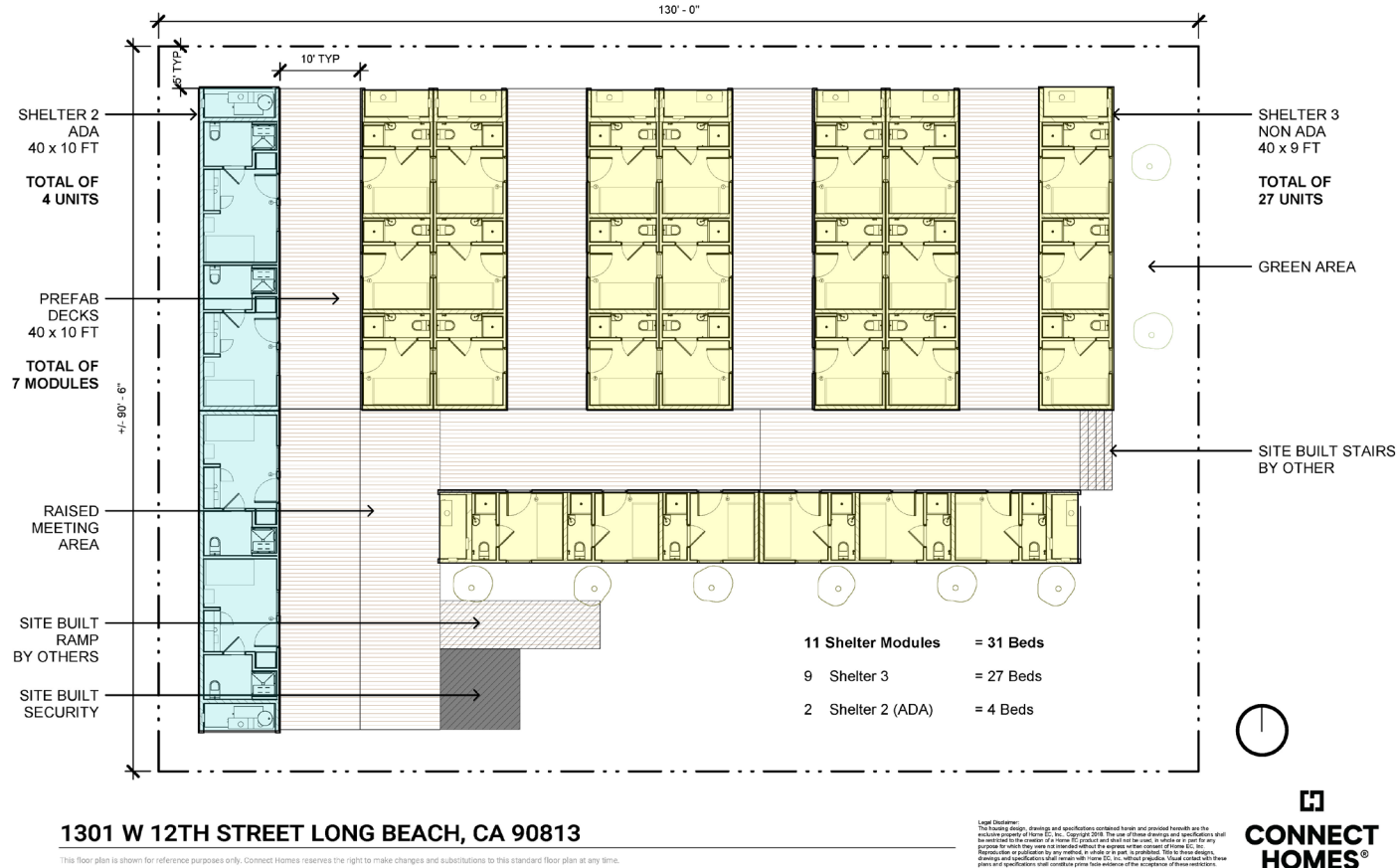




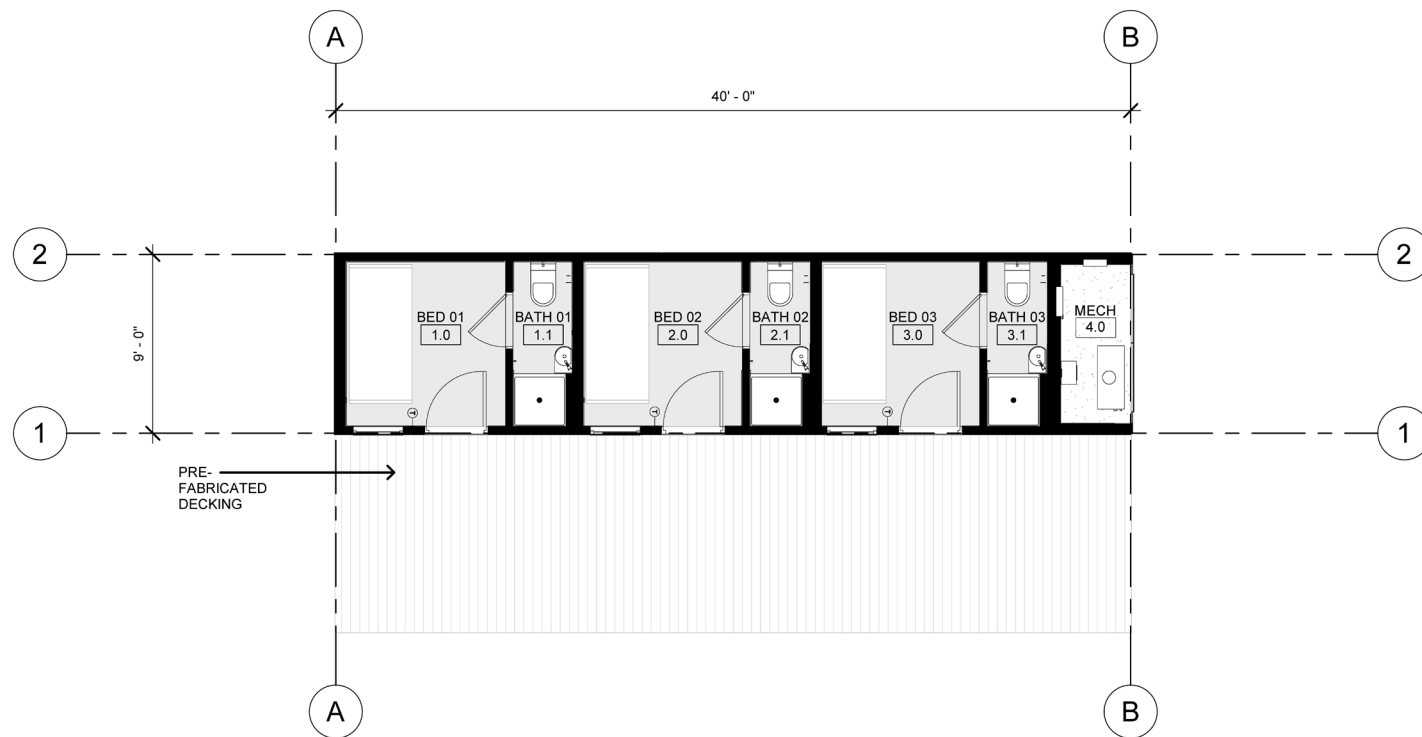
CPRA-15-BOE-000333



Homekey Long Beach



- Upcoming Homekey Long Beach Project
- The campus features **34 beds** using 12 Shelter 3 modules (three sleeping rooms, each with ensuite bathroom) and 2 Shelter 2 Efficiency modules (2 larger sleeping rooms, each with ADA bathroom).
- Part of Homekey Round 2
- Connect won open RFP in November of 2022.
- Contract expected to sign at February 2023 City Council Meeting.
- Private bathrooms and wider modules enhance livability.



- Homekey Long Beach Project Connect Shelter 3's with ensuite bathrooms.

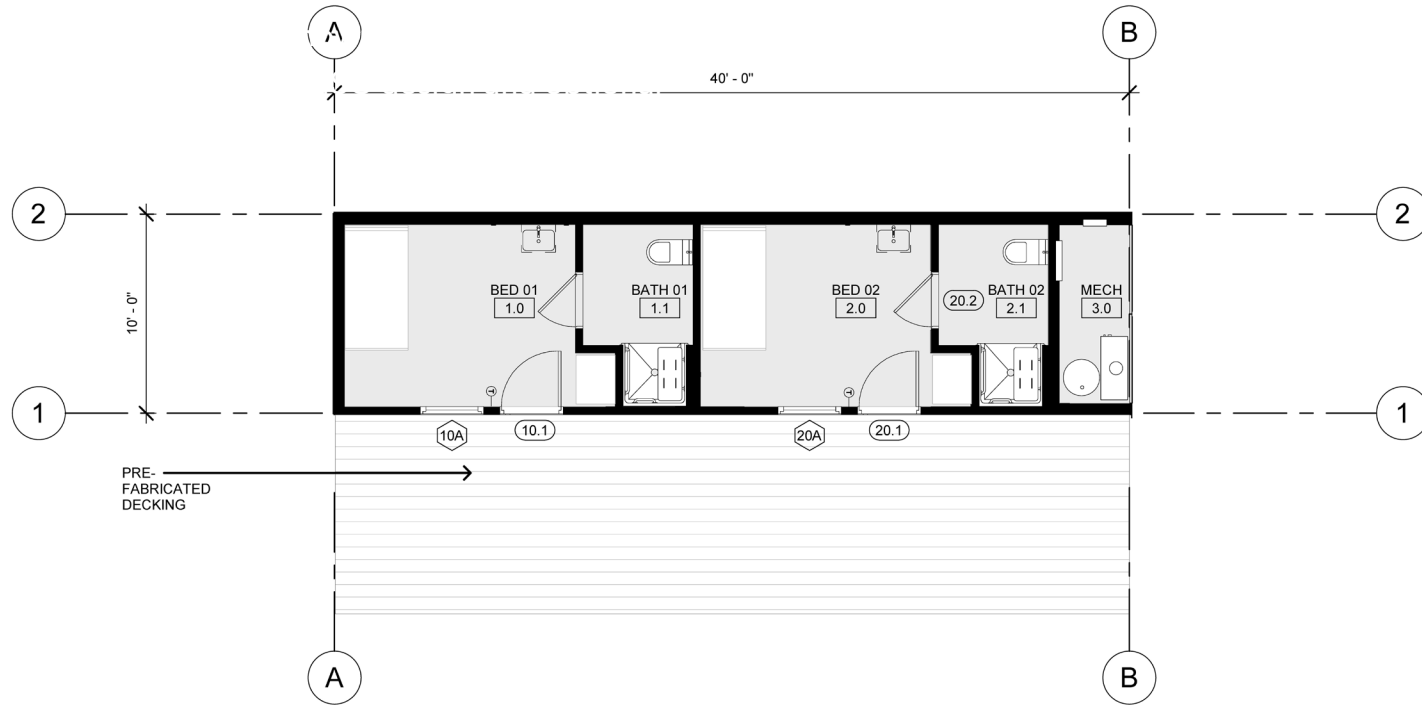
FLOOR PLAN

SHELTER MODEL - CS3 - 3BED/3BATH

0' 5' 10' 20'

This floor plan is shown for reference purposes only. Connect Homes reserves the right to make changes and substitutions to this standard floor plan at any time.

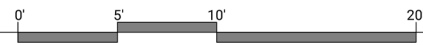




- Homekey Long Beach
Project Connect Shelter 2
Efficiency with ensuite
ADA bathrooms

FLOOR PLAN

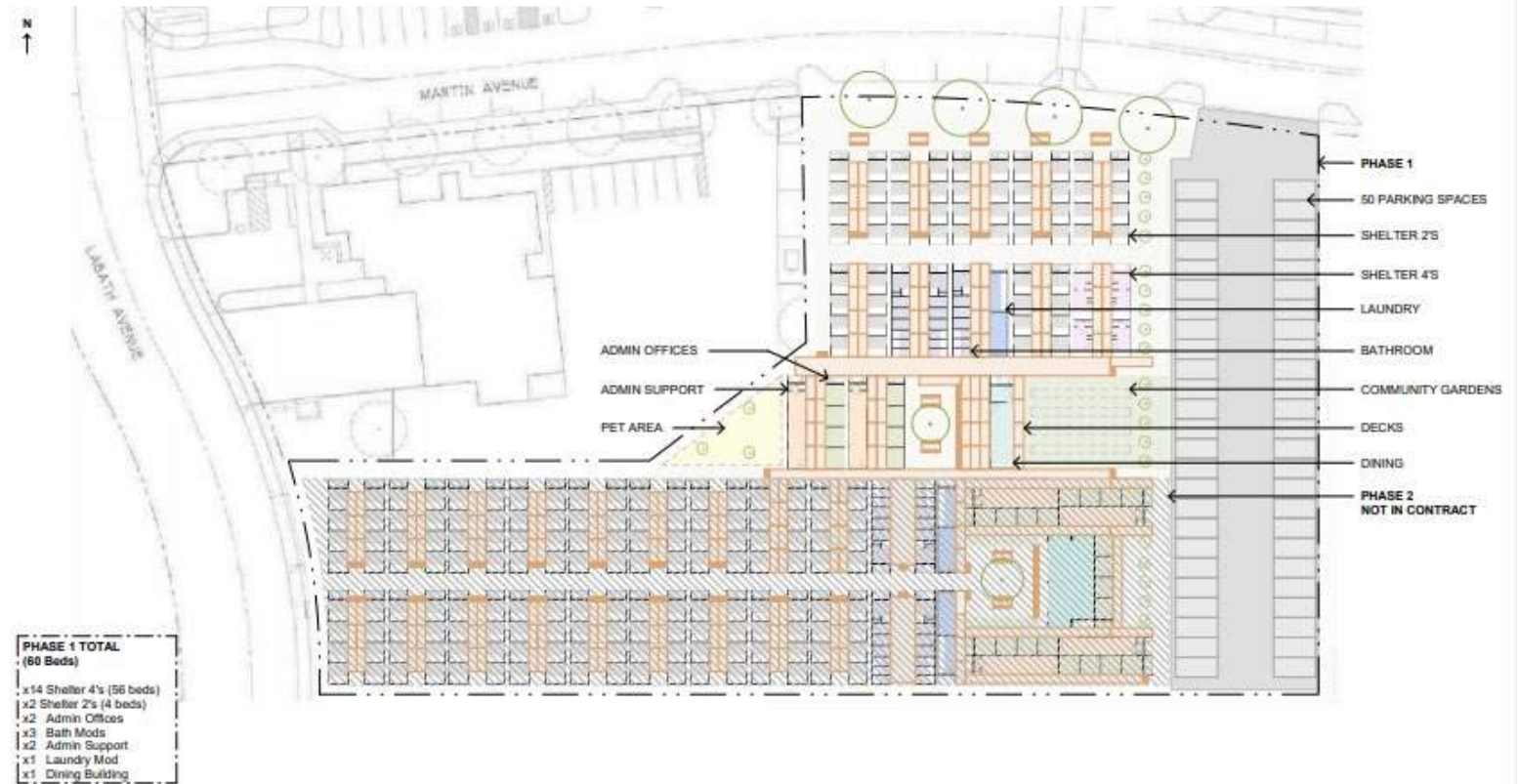
SHELTER MODEL - CS2 ADA - 2 BED/2BATH



**CONNECT
SHELTERS®**

How we can help with Homekey and beyond

- We can quickly create a schematic site plans and budget based on specific project and community goals.
- Connect you with other parties/partners to help navigate Homekey process.
- Show how Homekey projects already underway can be converted to Connect Shelter System to satisfy “unrealistic” timelines.
- Adapt Connect Shelter System to specific housing typologies.

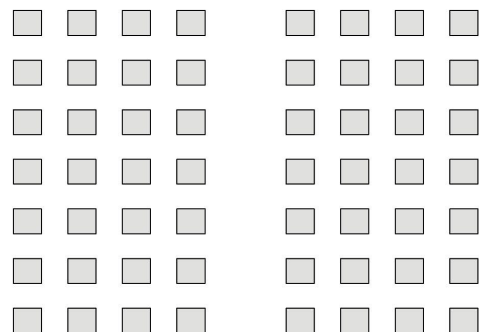




8x8 hard-sided emergency sheds weren't designed for long term use and can't be grouped because of lack of fire-resistance.

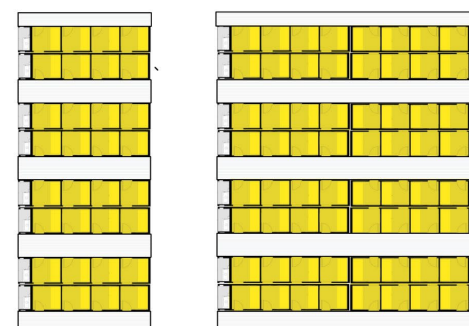


Connect Shelters come in multiple configurations and fire-resitant wall assemblies mean they can be placed back-to-back and/or stacked for increased density.



150'x 100' site showing 56 8'x8' emergency sheds, spaced 8' apart because of fire requirements.

Total sheltering: 56 beds.



150'x 100' site showing 24 Connect Shelter 4 modules.

Total sheltering: 96 beds (One Story).
Total sheltering: 144 beds (Two Story).



We can help

For Sales

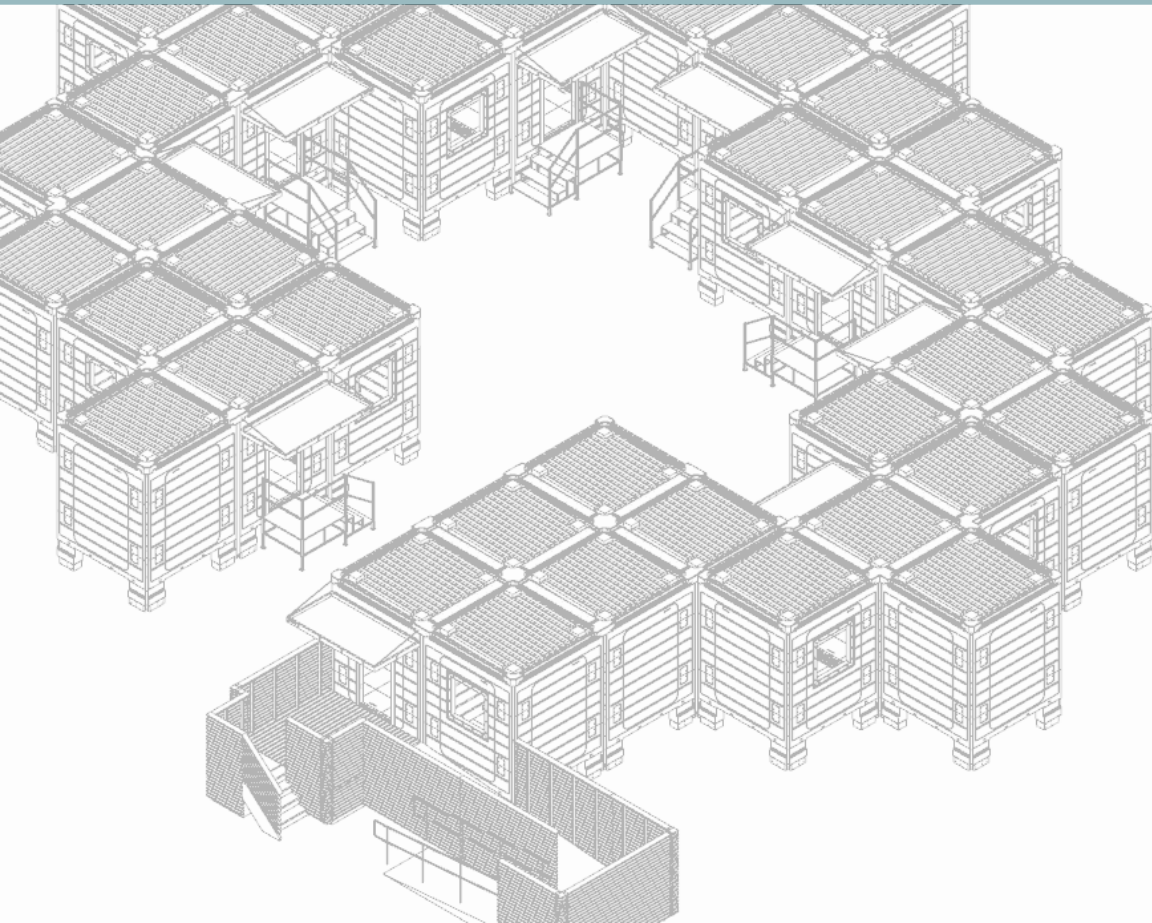
Gordon Stott

Gordon@connect-homes.com
(323) 697-2386

CPRA-15-BOE-000340

706 S. Hill St. STE 1060, Los Angeles, CA 90014

888 959 - 2261



INTERIM HOUSING DEVELOPMENT PROPOSAL

2377 Midvale

Submitted to Council District 5

Mar 2023

Lifeark Interim Supportive Housing for CD-5

Lifeark is pleased to submit this preliminary proposal for permanent supportive housing for homeless and at-risk population in Los Angeles Council District 5 using our innovative LifeArk modular system. Lifeark is a new, patented mass production housing technology that has the potential to significantly reduce the cost and timeline of housing construction.

Presented in this proposal for 2377 Midvale using Lifeark Ensuite 100 and 134 Models. LifeArk can provide complete factory assembled units that can be placed on site foundation and fully completed within 6 months.

Lifeark is the first fully certified structural load bearing plastic building product on the market. It is tested and approved for safety and quality as a new building material through IAPMO-UES, a national codes and standards approval agency, and compliant with 2022 international and California building and residential codes. Lifeark is certified by the California department of housing and community development (HCD) factory-built housing and commercial modular program.

Please let us know if you have any questions. We are excited for the opportunity to share Lifeark's modular housing innovations to meet the longer-term housing needs of homeless and at-risk population in your district.

Thank you,
Charles Wee



Site Option 1

Address: 2377 Midvale Ave LA CA 90064

Site Area: 16,340 SF

- Lot 1: 10,065 SF
- Lot 2: 6,275 SF
- Located at the corner of W. Pico and Midvale split by an alley



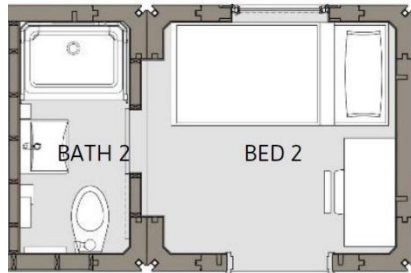
Site Option 2

Site Area: 18,305 SF

- Parking lot A & B combined



Lifeark Plans



100 SF Ensuite Unit (Double Unit shown)



134 SF Ensuite Unit



400 SF Admin/ Flex Unit





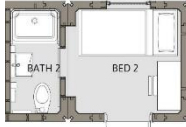

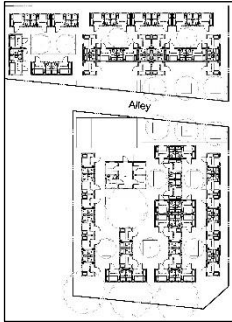
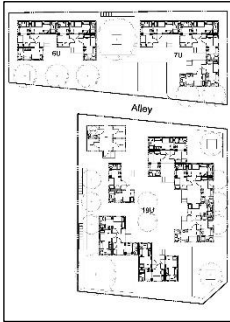
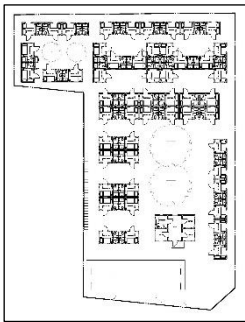
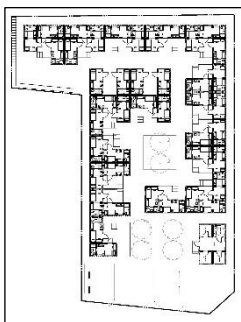
Lifeark Single Module



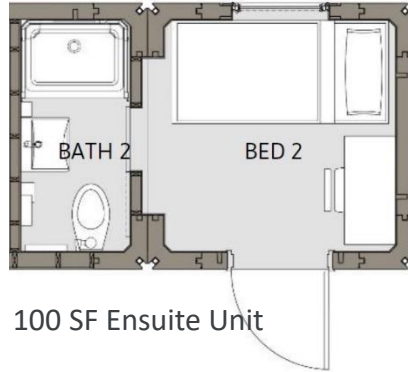
Ensuite Unit Interior



Ensuite Unit Exterior Example

| Options | Alley 1 | Alley 2 | Combined 1 | Combined 2 |
|--|---|--|---|---|
| Unit Type |  |  |  |  |
| Site Layout |  |  |  |  |
| # of Units Total SF Cost Per Bed Project Cost | 50 Units 5,400 SF \$34,000 \$1.7 Million | 31 Units 4,430 SF \$55,000 \$1.7 Million | 54 Units 5,800 SF \$35,000 \$1.9 Million | 43 Units 5,990 SF \$53,000 \$2.3 Million |

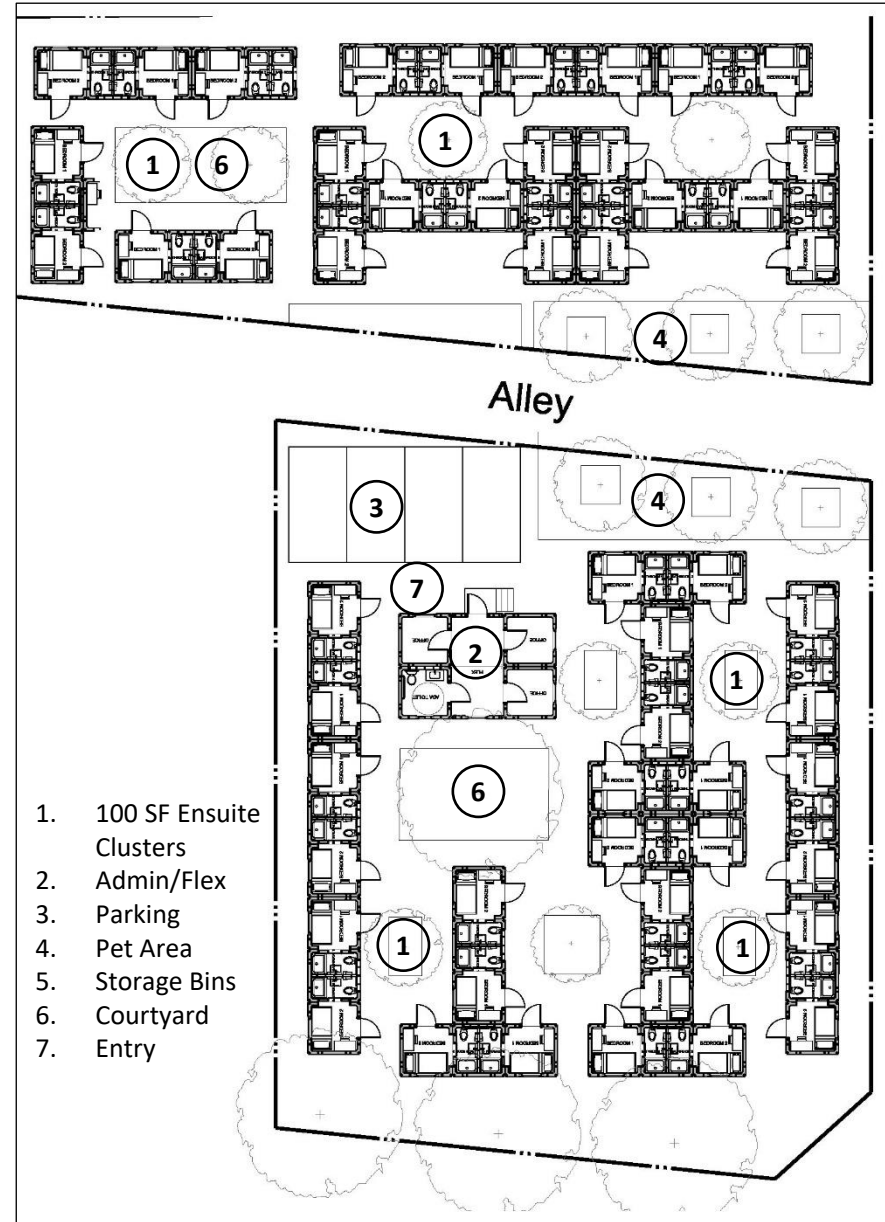
2377 Midvale Alley Option 1- Ensuite 100



100 SF Ensuite Unit



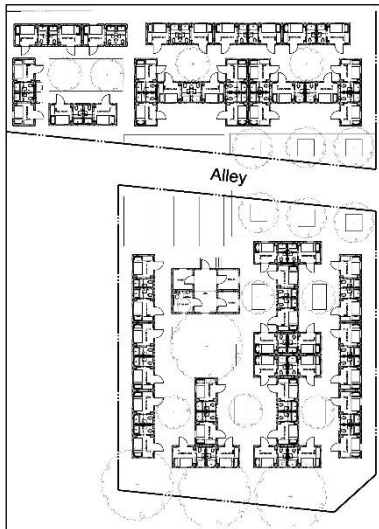
| Midvale Opt 2 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|-------|------|--------|----------|
| Units | 1.5x1 | 100 | 50 | 5,000 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 50 | 5,400 |



2377 Midvale Alley Option 1- Budget Costing

2377 Midvale Alley Option 1 - Budget Costing

| Site Area | | Acre | SF | Costing as of 3/24/2023 | | | | | | | | |
|-----------------------|----------|-------|-----------------|-------------------------|--------|------------|----------|------------|--------------|---------|---------------|-----------------|
| | | 0.38 | 16,340 | | | | | | | | | |
| Housing Type | Mods | | Area SF/Unit | All Lifeark | | | | | | | | |
| | Mods | Total | | # Units | # Beds | Total Beds | Total SF | Cost/Unit | Total | Options | Options Total | Total + Options |
| 1.5 x1 Ensuite Unit | 1.5 | 75 | 100 | 50 | 1 | 50 | 5,000 | \$ 29,000 | \$ 1,450,000 | \$ - | \$ - | \$1,450,000 |
| 1x1 Deck | 0 | 0 | - | 25 | 0 | 0 | - | \$ 3,000 | \$ 75,000 | \$ - | \$ - | \$75,000 |
| 3x2 Flex | 6 | 6 | 400 | 1 | 0 | 0 | 400 | \$ 171,000 | \$ 171,000 | \$ - | \$ - | \$171,000 |
| Total | | 81 | | | | 50 | 5,400 | | \$ 1,696,000 | | \$ - | \$1,696,000 |
| Unit Cost | \$20,938 | | | | | \$33,920 | \$ 314 | | | | | |
| Unit Cost Inc Options | \$20,938 | | | | | \$33,920 | \$ 314 | | | | | |



| Midvale Opt 2 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|-------|------|--------|----------|
| Units | 1.5x1 | 100 | 50 | 5,000 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 50 | 5,400 |

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

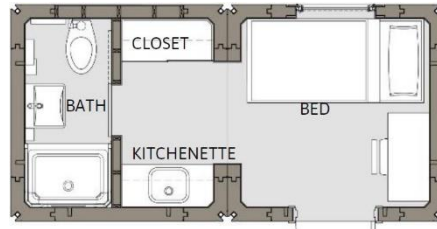
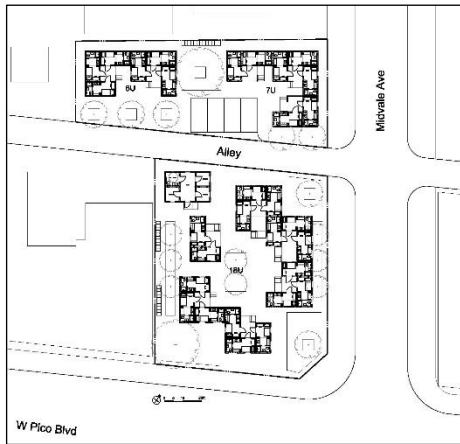
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

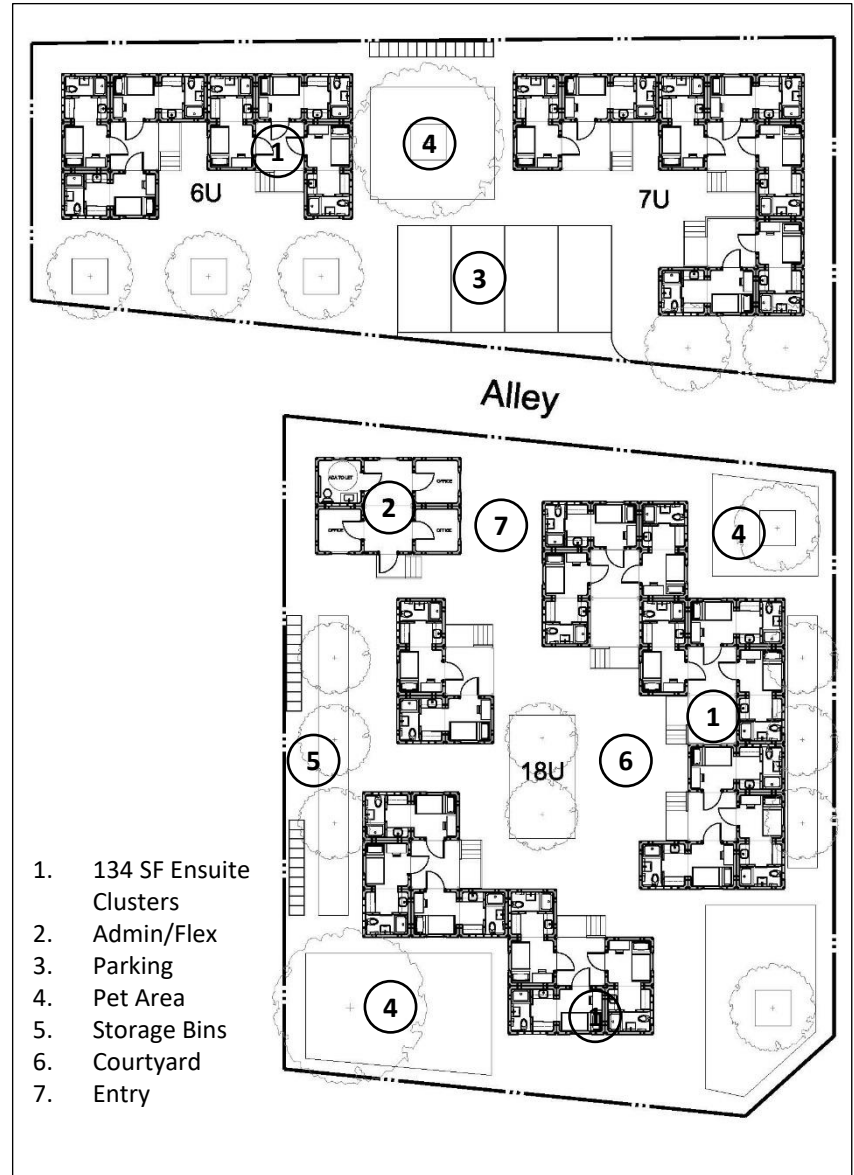
2377 Midvale Alley Option 2- Ensuite 134



134 SF Ensuite Unit



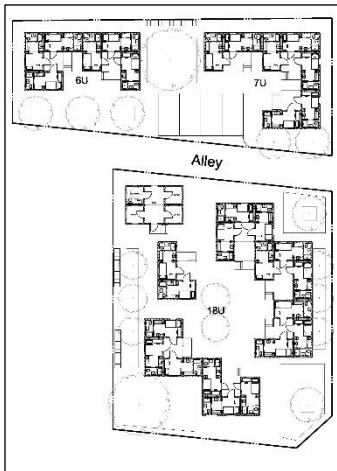
| Midvale Opt 1 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|------|------|--------|----------|
| Units | 2x1 | 134 | 31 | 4,030 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 31 | 4,430 |



2377 Midvale Alley Option 2- Budget Costing

2377 Midvale Option 1- Budget Costing

| Site Area | | Acre | SF | Costing as of 3/24/2023 | | | | | | | | |
|-----------------------|----------|-------|---------|-------------------------|--------|------------|----------|------------|--------------|--------------|---------------|-----------------|
| | | 0.38 | 16,340 | | | | | | | | | |
| Housing Type | Mods | | Area | All Lifeark | | | | | | | | |
| | Mods | Total | SF/Unit | # Units | # Beds | Total Beds | Total SF | Cost/Unit | Total | Options/unit | Options Total | Total + Options |
| 2x1 Ensuite Unit | 2 | 62 | 130 | 31 | 1 | 31 | 4,030 | \$ 48,000 | \$ 1,488,000 | \$ - | \$ - | \$1,488,000 |
| 1x1 Deck | 0 | 0 | - | 13 | 0 | 0 | - | \$ 3,000 | \$ 39,000 | \$ - | \$ - | \$39,000 |
| 3x2 Flex | 6 | 6 | 400 | 1 | 0 | 0 | 400 | \$ 171,000 | \$ 171,000 | \$ - | \$ - | \$171,000 |
| Total | | 68 | | | | 31 | 4,430 | | \$ 1,698,000 | | \$ - | \$1,698,000 |
| Unit Cost | \$24,971 | | | | | \$54,774 | \$ 383 | | | | | |
| Unit Cost Inc Options | \$24,971 | | | | | \$54,774 | \$ 383 | | | | | |



| Midvale Opt 1 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|------|------|--------|----------|
| Units | 2x1 | 130 | 31 | 4,030 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 31 | 4,430 |

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

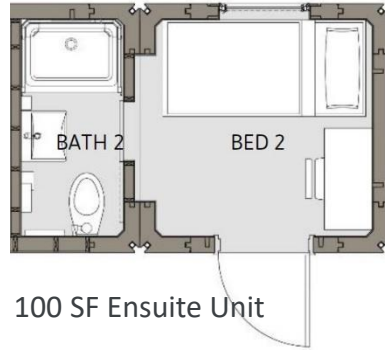
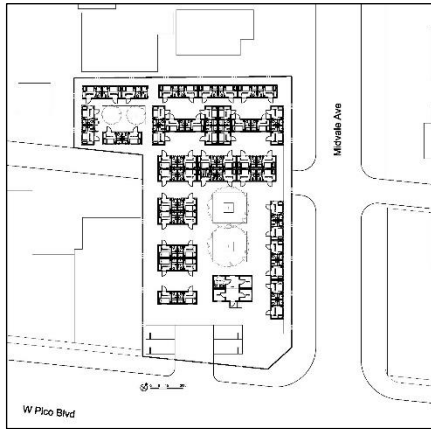
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

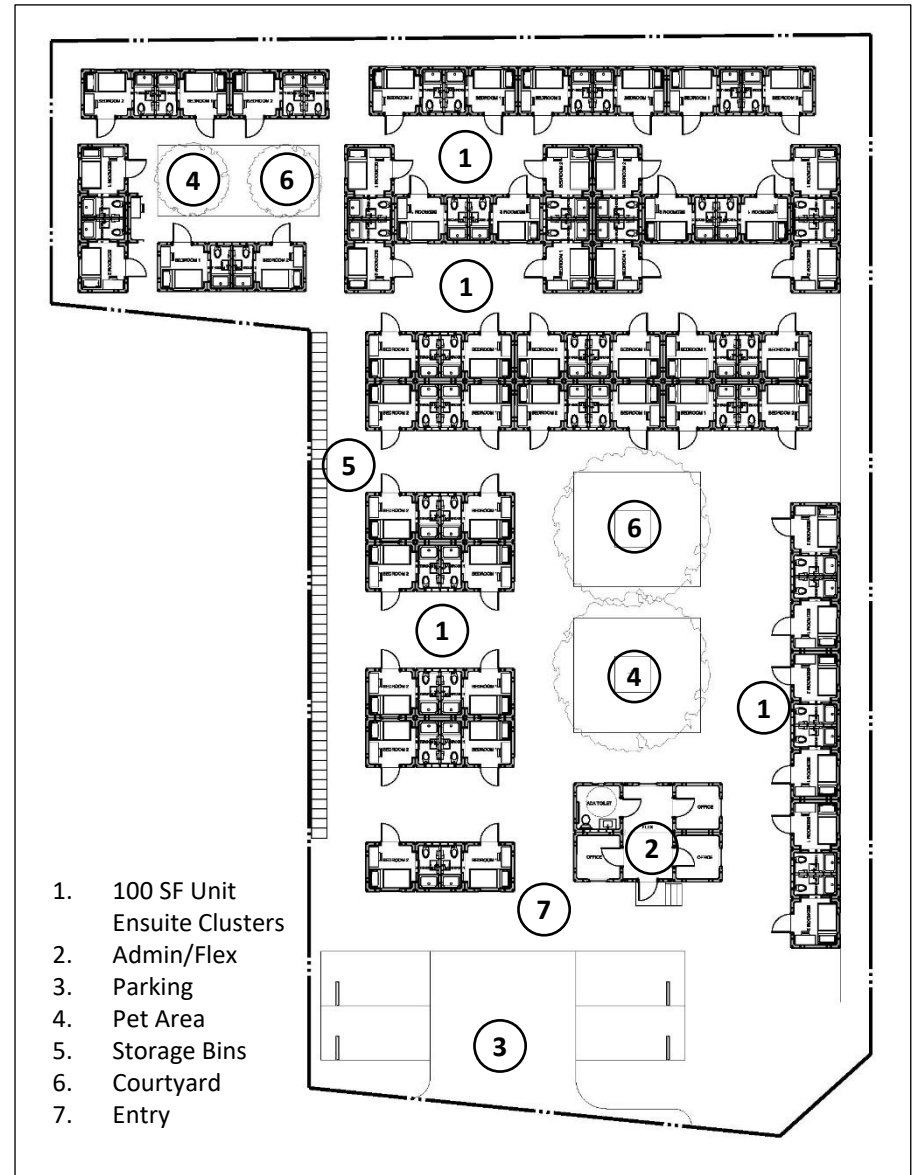
Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

2377 Midvale Combined Option 1- Ensuite 100



| Midvale Opt | TYPE | SF/U | # UNIT | TOTAL SF |
|-------------|-------|------|--------|----------|
| Units | 1.5x1 | 100 | 54 | 5,400 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 54 | 5,900 |

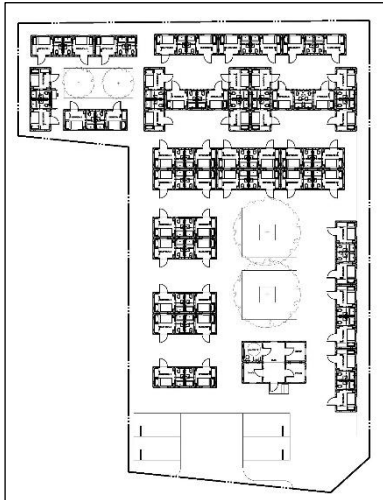


1. 100 SF Unit Ensuite Clusters
2. Admin/Flex
3. Parking
4. Pet Area
5. Storage Bins
6. Courtyard
7. Entry

2377 Midvale Combined Option 1- Ensuite 100

2377 Midvale Combined Option 1- Budget Costing

| | | | | | | | | | | | | |
|-----------------------|----------|-------|---------|---------|--------|-------------------------|----------|------------|--------------|---------|---------------|-----------------|
| Site Area | | Acre | | SF | | Costing as of 3/24/2023 | | | | | | |
| | | 0.38 | | 16,340 | | | | | | | | |
| | | Mods | | Area | | All Lifeark | | | | | | |
| Housing Type | Mods | Total | SF/Unit | # Units | # Beds | Total Beds | Total SF | Cost/Unit | Total | Options | Options Total | Total + Options |
| 2x1 Ensuite Unit | 1.5 | 81 | 100 | 54 | 1 | 54 | 5,400 | \$ 29,957 | \$ 1,617,702 | \$ - | \$ - | \$1,617,702 |
| 1x1 Deck | 0 | 0 | - | 27 | 0 | 0 | - | \$ 3,000 | \$ 81,000 | \$ - | \$ - | \$81,000 |
| 3x2 Flex | 6 | 6 | 400 | 1 | 0 | 0 | 400 | \$ 171,000 | \$ 171,000 | \$ - | \$ - | \$171,000 |
| Total | | 87 | | | | 54 | 5,800 | | \$ 1,869,702 | | \$ - | \$1,869,702 |
| Unit Cost | \$21,491 | | | | | \$34,624 | \$ 322 | | | | | |
| Unit Cost Inc Options | \$21,491 | | | | | \$34,624 | \$ 322 | | | | | |



| Midvale Opt | TYPE | SF/U | # UNIT | TOTAL SF |
|-------------|-------|------|--------|----------|
| Units | 1.5x1 | 100 | 54 | 5,400 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 54 | 5,900 |

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

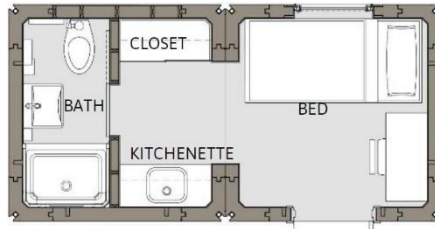
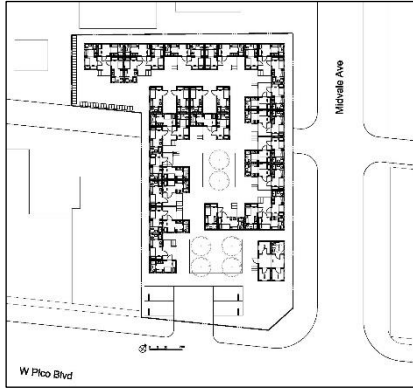
Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

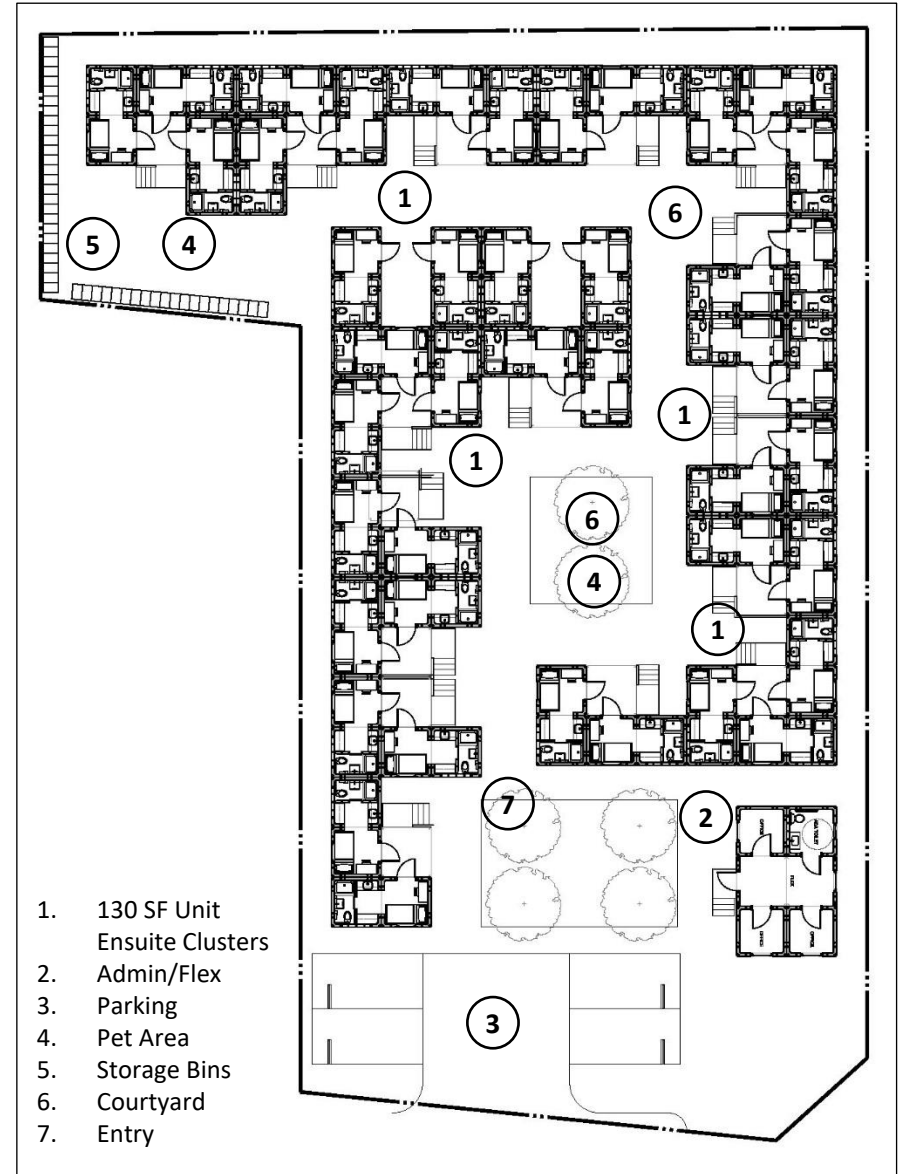
2377 Midvale Combined Option- Ensuite 134



134 SF Ensuite Unit

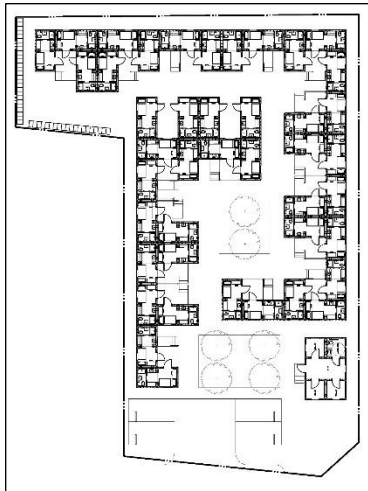


| Midvale Opt 2 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|------|------|--------|----------|
| Units | 2x1 | 134 | 43 | 5,762 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 43 | 6,162 |



2377 Midvale Combined Option 2- Budget Costing

| | | | | | | | | | | | | |
|-----------------------|----------|-------|---------|---------|--------|-------------------------|----------|------------|--------------|--------------|---------------|-----------------|
| Site Area | | Acre | | SF | | Costing as of 3/24/2023 | | | | | | |
| | | 0.38 | | 16,340 | | | | | | | | |
| | | Mods | | Area | | All Lifeark | | | | | | |
| Housing Type | Mods | Total | SF/Unit | # Units | # Beds | Total Beds | Total SF | Cost/Unit | Total | Options/unit | Options Total | Total + Options |
| 2x1 Ensuite Unit | 2 | 86 | 134 | 43 | 1 | 43 | 5,762 | \$ 48,000 | \$ 2,064,000 | \$ - | \$ - | \$2,064,000 |
| 1x1 Deck | 0 | 0 | - | 14 | 0 | 0 | - | \$ 3,000 | \$ 42,000 | \$ - | \$ - | \$42,000 |
| 3x2 Flex | 6 | 6 | 400 | 1 | 0 | 0 | 400 | \$ 171,000 | \$ 171,000 | \$ - | \$ - | \$171,000 |
| Total | | 92 | | | | 43 | 6,162 | | \$ 2,277,000 | | \$ - | \$2,277,000 |
| Unit Cost | \$24,750 | | | | | \$52,953 | \$ 370 | | | | | |
| Unit Cost Inc Options | \$24,750 | | | | | \$52,953 | \$ 370 | | | | | |



| Midvale Opt 2 | TYPE | SF/U | # UNIT | TOTAL SF |
|---------------|------|------|--------|----------|
| Units | 2x1 | 130 | 43 | 5,590 |
| Admin/Flex | 3x2 | 400 | 1 | 400 |
| Beds | | | 43 | 5,990 |

- Budget costing is approximate and subject to change. Final estimate will be based on final project scope and design.

Exclusions

- Land
- Sitework
- Soft Costs
- Prevailing wage site work
- ADA Provisions

Options

- Radiant Heating & Cooling
- Off-Grid System
- FF&E

Architectural Character



* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



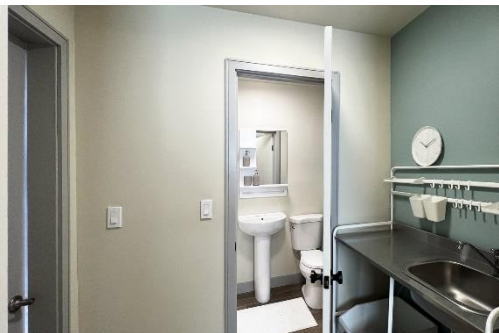
* Renderings are from Lifeark's other projects. For illustrating architectural character only

Architectural Character



* Renderings are from LifeArk's other projects. For illustrating architectural character only

LifeArk Modulares

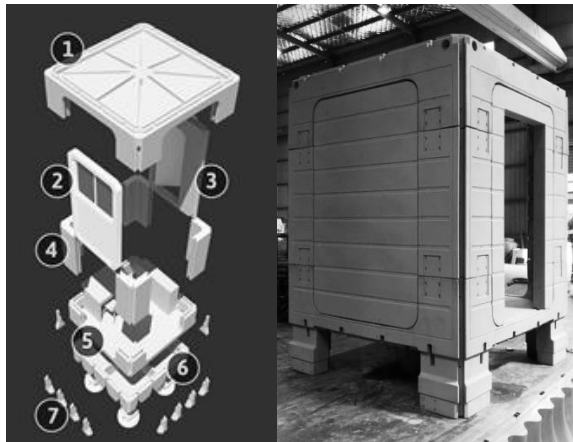
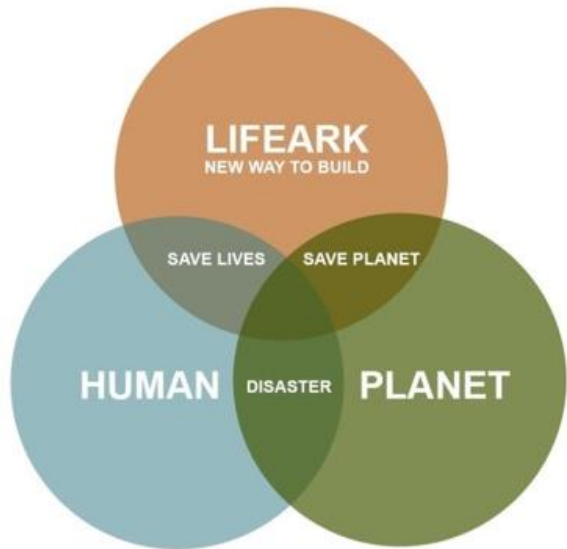


* Lifeark project photos for illustration only. Not for this project.

Lifemark Tyler El Monte PSH Project



* Lifemark project photos for illustration only. Not for this project.



INNOVATING HOUSING TECHNOLOGY THAT SAVES LIVES AND THE PLANET

- LifeArk SPC was established as a California Social Purpose Corporation (SPC) with a mission to create safe, sustainable and affordable homes and shelter
- LifeArk modular system is designed to save the lives of people experiencing displacement or substandard shelter as a result of human or climate disasters
 - Shelter/interim housing for the homeless
 - Emergency relief housing
- Efficiently mass-produced, but incredibly customizable and scalable due to its kit-of-parts system
- Able to be withstand extreme disasters, such as earthquakes and flooding
- Pioneering use of plastic as load-bearing material in building housing – using plastic as a long-lived, durable product that can be used over decades rather than as a single-use disposable material that pollutes our environment
- Can use recycled plastic as raw material and gives off no harmful fumes into the environment

Lifeark Community Making By Design



From a single shelter module to community cluster then can be grown to become a larger village with communal spaces for everyone

Lifeark Emergency Shelter Deployment Process



Lifeark's Essential Cost and Time Saving System



Simple foundation system which can be anchored to any surface including compacted soil, asphalt or concrete

High under module chase space allows for all utilities to run under the crawl space to omit any expensive trenching

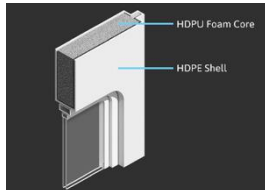
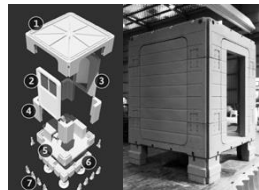
Ability to simply install and run all utility systems through the side wall with single stub-up points for all main utility connections

LA County Housing Innovation Challenge award-winning project

- 18 units for homeless + mgr's unit
- 14,805 SF lot size / R-3 zoning
- Counts as 19 units towards City of El Monte's RHNA quota
- \$3.6 million total project cost
- \$190k per unit, compared to \$597k per unit cost of homeless housing building with LA City's Proposition HHH funding
- Innovative use of shared housing design for better client outcomes



WE'RE RADICALLY RETHINKING HOUSING



PATENTED DESIGN

- First of its kind, fully approved mass-produced housing in the world to use plastic polymer in compliance with international and California building codes.
- Kit-of-parts with Lego-like simplicity allows easy assembly and transport
- Raised floor with 22" clear crawl space allows for all utilities to run under the building above the ground to minimize sitework costs
- Fully independent modular system allows for easy disassembly for cost effective relocation and reuse

NEW CONSTRUCTION MATERIAL

- HDPE with PU foam insulation allows for high structural strength, buoyancy, R-40 thermal resistance and high acoustic value
- First of its kind to use plastic as a load bearing material in construction allowing design to be used in high wind and high seismic areas
- Code compliant Class-A fire rating allows lifeark to be used in the most extreme fire prone areas
- Certified raw plastic material allow use of up to 30% of post consumer recycled plastic as a main building material to help clean plastic trash from ocean and landfills

NEW MANUFACTURING

- Rotational molding allows mass production possible at low cost & low capital investment
- Easily scalable through the technology transfer and manufacturing licensing of hundreds of existing rotomolder around the world
- Most common plastic processing process but never been used in the housing construction industry

FACTORY ASSEMBLY & TRANSPORT

- Certified under ca HCD (CA Housing & Community Development) approved factory built housing and commercial modular
- Factory assembly of rotomolded parts under controlled environment allows for maximum product quality control and efficiency in modular fit-out
- Precise control of the building material results in zero construction waste
- Small 8x8 modules allow for easy loading, unloading and transport using forklift for assembly and non-wide-load flatbed for transport to the job site

SITE ASSEMBLY

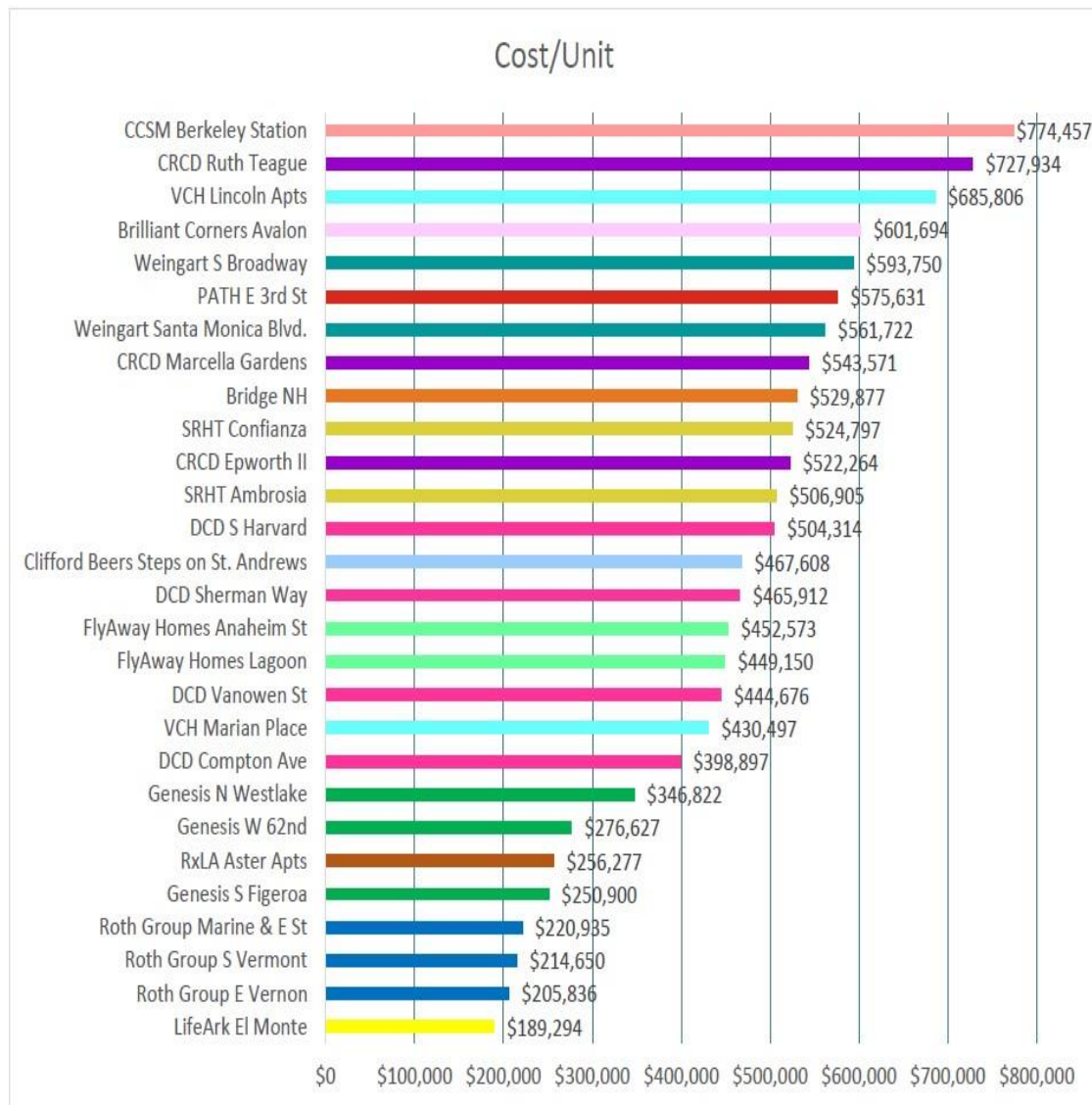
- Concurrent site work and factory assembly saves construction time
- Complete factory installed MEPFS allows for simple connection to the site utilities at a minimal point of connection allowing substantial sitework construction cost savings

PROOF OF CONCEPT PROJECT

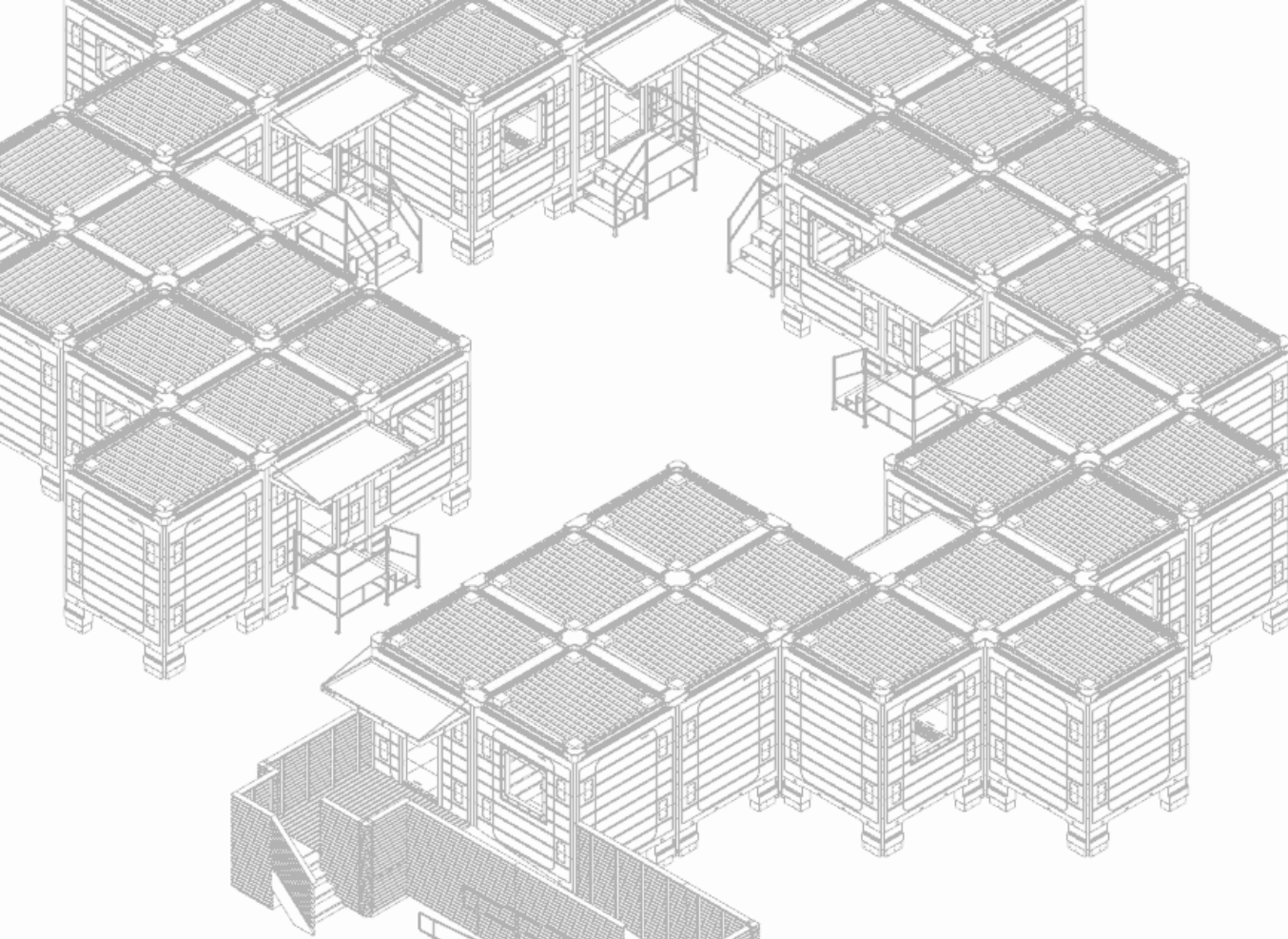
- LifeArk Tyler in the City of El Monte is LifeArk's first pilot project providing permanent supportive housing and ongoing intensive case management (ICMS) services to for 18 individuals previously experiencing homeless.
- LifeArk was a winner of the Los Angeles County Homeless Initiative's Housing Innovation Challenge
- HCD models approved by the Housing and Community Development (HCD)'s Factory-Built Housing Program
- Construction was completed in early 2022 and the very first resident moved in April 2022
- Total all-in unit cost \$190,000 per unit

Report sponsored by the United Way of Greater LA's Home For Good Funders Collaborative and USC's Homeless Policy Institute analyzed development costs for 28 permanent supportive housing projects in LA region:

- LifeArk El Monte had the lowest cost per unit at \$189,294
- Median cost was \$466,760/unit
- Highest cost was \$774,457/unit



N=28



LifeArk™

HOUSING REIMAGINED

www.lifeark.net
CPRA-15-BOE-000363

XERISCAPE ORDINANCE

ARCHITECTURAL DIVISION COMPLIANCE FORM

| LOT SQUARE FOOTAGE | POINTS REQUIRED |
|-----------------------------|----------------------------------|
| LESS THAN 15,000 | 50 |
| 15,000 - 86,000 | 100 |
| 86,001 - 150,000 | 200 |
| MORE THAN 150,000 | 200 PER EACH 150,000 SQUARE FEET |
| LOT SQUARE FOOTAGE = 10,230 | POINTS REQUIRED = 50 |

| TECHNIQUES: | POSSIBLE POINTS | CLAIMED POINTS |
|--|-----------------|----------------|
| DRIP/TRICKLE/MICRO IRRIGATION (IN ANY PORTION OF PLANTED AREAS) | 10 | 10 |
| LAWN AREAS INCLUDING DICHONDRA, SEPARATED FROM PLANTING AREAS IN IRRIGATION SYSTEM | 10 | |
| LAWN LESS THAN 25% OF THE PLANTING AREA | 10 | 10 |
| AUTOMATIC IRRIGATION CONTROLLER (ANY NUMBER) | 5 | 5 |
| TENSIO-METER/ANENOMETER/RAIN CUP USED WITH AUTOMATIC CONTROLLER | 5 | 5 |
| SWIMMING POOL/SPA COVER (IF SITE HAS BOTH A POOL AND A SPA, BOTH MUST HAVE A COVER TO EARN POINTS) | 5 | |
| NON-LIVING GROUND COVER SUCH AS WOOD CHIPS IN PLANTING AREAS (ANY AMOUNT) | 10 | 10 |
| PERMEABLE PAVING (ANY AMOUNT) | 5 | |
| RECIRCULATING WATER FEATURE (PER FEATURE) | 5 | |
| USE OF RECLAIMED WATER | 10 | |
| PLANTS - 2 PER PLANT | | 118 |
| HYDROSEED - 10 PER 5000 SQ. FT. | | |
| FLATTED PLANTS - 5 PER FLAT, UP TO 5 FLATS PER 2000 SQ. FT. | | 30 |

TOTAL POINTS = 188

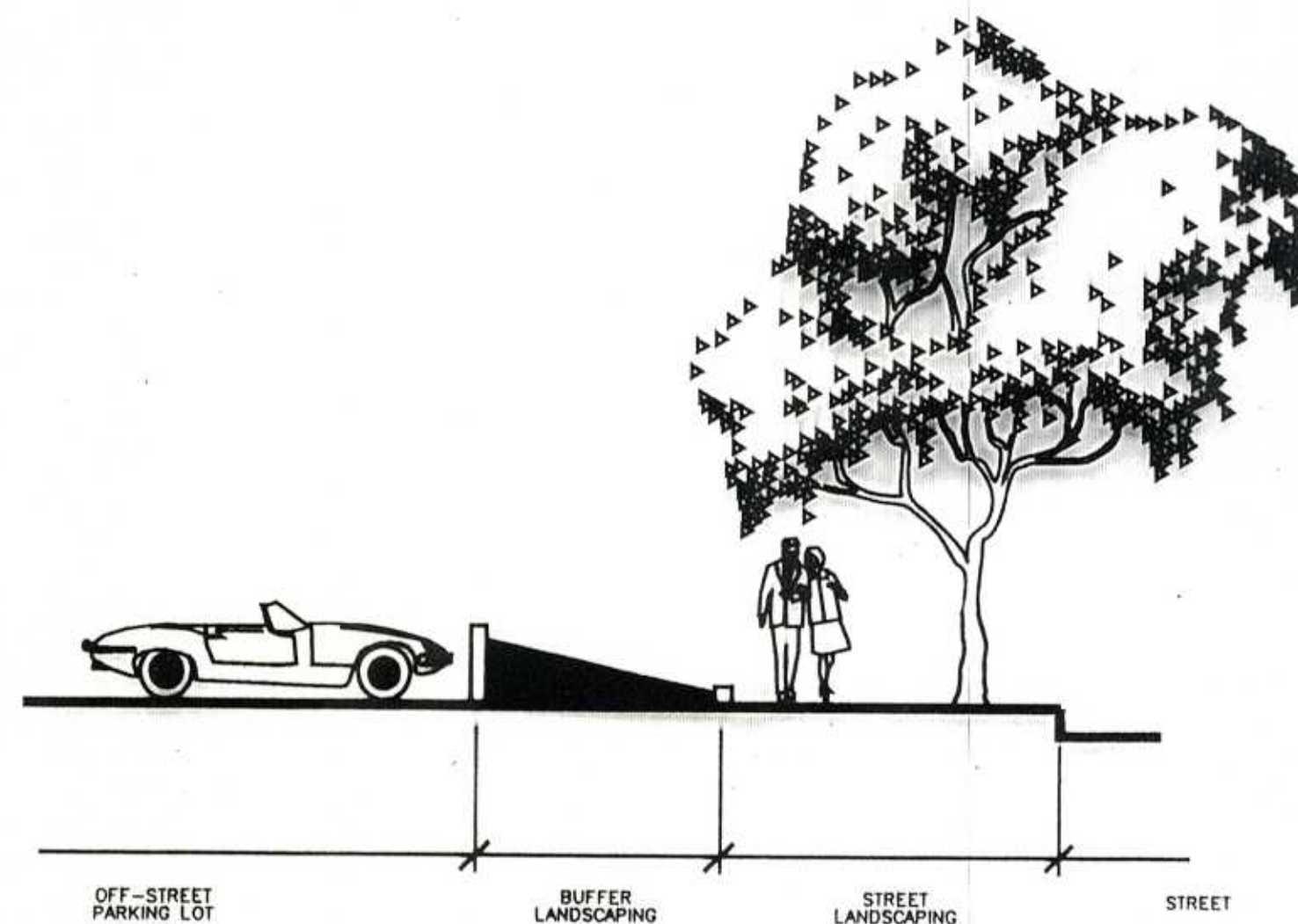
REGISTRATION STAMP

PLANNING DEPARTMENT STAMP

XERISCAPE rev. 11-4-91

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE BOARD OF PUBLIC WORKS OF THE CITY OF LOS ANGELES AS MODIFIED BY THE CORRESPONDING ISSUE OF STANDARD PLAN S-610 AND TO THE SPECIAL PROVISIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS STANDARD PLANS, UNLESS OTHERWISE SUPPLEMENTED OR MODIFIED. STANDARD PLANS ARE AVAILABLE AT THE PUBLIC REFERENCE COUNTER, ROOM 803, CITY HALL.
- INSPECTIONS
ALL WORK AND MATERIALS ARE SUBJECT TO INSPECTION AND APPROVAL. IN ADDITION TO INSPECTIONS REQUIRED BY THE STANDARD PLANS, AND SPECIFICATIONS, THE FOLLOWING INSPECTIONS ARE REQUIRED:
*TAGGING OF PLANT MATERIAL 15 GALLON AND LARGER AT THEIR SOURCE.
*APPROVAL OF ALL PLANT MATERIAL AT THE SITE PRIOR TO PLANTING.
*CONFIRMATION AND APPROVAL OF PLANT MATERIAL LOCATION AND PLACING PRIOR TO PLANTING.
*PRE-MAINTENANCE FINAL LANDSCAPE INSPECTION.
*POST-MAINTENANCE FINAL LANDSCAPE INSPECTION.
- SUBMITTAL
THE CONTRACTOR SHALL SUBMIT FIVE (5) COPIES OF COMPLETE SUBMITTAL LITERATURE AND/OR INFORMATION REGARDING ALL MATERIALS AND EQUIPMENT WITHIN 30 CALENDAR DAYS OF THE AWARD OF THIS CONTRACT. SUBMITTAL SHALL INCLUDE MANUFACTURER'S NAME, ADDRESS, PHONE NUMBER, AND SPECIFIC TRADE NAMES AND/OR NECESSARY DESCRIPTIVE LITERATURE. CLEARLY MARK OR UNDERLINE PROPOSED ITEMS. DELIVER SUBMITTAL FOR APPROVAL TO THE PROJECT ENGINEER.
- CITY LANDSCAPE ARCHITECT
A MEMBER OF THE CITY'S LANDSCAPE ARCHITECTURAL SECTION CAN BE REACHED AT (213) 362-6364.
- UNDERGROUND SERVICE ALERT
THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA) AT 1-(800)-422-4133 TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION WORK.
- AS-BUILT DRAWINGS
THE CONTRACTOR SHALL PROVIDE A SET OF AS-BUILT DRAWINGS TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT THE START OF THE PLANT ESTABLISHMENT PERIOD. THE AS-BUILT DRAWINGS SHALL BE MAINTAINED DAILY THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE AVAILABLE AT ALL JOB MEETINGS. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED ON A FULL SIZE SET OF PLANS WITH ALL VALVE LOCATIONS, PIPING, SLEEVES, ELECTRICAL WIRING, AND ANY DEVIATIONS FROM THE ORIGINAL PLAN CONFIGURATION, CLEARLY IDENTIFIED AND DIMENSIONED. THE PLANT ESTABLISHMENT PERIOD WILL NOT BEGIN UNTIL AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED.
- PERMITS AND INSPECTIONS
THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- SURVEYING
STANDARD SPECIFICATIONS SECTION 2-9 "SURVEYING" SHALL BE AMENDED AS FOLLOWS:
THE CITY ENGINEER WILL PERFORM AND BE RESPONSIBLE FOR THE ACCURACY OF SURVEYING PROPERTY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEYING WITHIN THE PROPERTY LINES. ALL SURVEYING WORK, REQUIRED BY THE CONTRACTOR, SHALL BE PAID FOR BY THE CONTRACTOR AND PERFORMED BY A LICENSED SURVEYOR.
- STANDARD PLANS FOR THIS PROJECT
CERTAIN WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PLANS:
NUMBER
S-410-2 TYPES OF CURBS AND GUTTERS
S-430-1 JOINTS IN CONCRETE PAVEMENT
S-610 NOTICE TO CONTRACTORS - COMPREHENSIVE
S-450-2 TREE WELLS
S-654-0 IRRIGATION SWING JOINTS
S-655-0 GATE VALVE
S-657-0 PIPE TRENCHING
S-683-0 TREE STAKING
S-456-1 ROOT BARRIERS
(SEE SHT. L-7 FOR ADDITIONAL STD. PLANS)
- ALL LANDSCAPE AND IRRIGATION WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
- EXISTING PHASE 1 PARKING LOT
THE CONTRACTOR SHALL NOT DISTURB PHASE 1 PARKING LOT OPERATIONS WITH OUT PRIOR AUTHORIZATION FROM THE DEPARTMENT OF TRANSPORTATION AND THE PROJECT ENGINEER. ANY REQUESTS SHALL BE SUBMITTED IN WRITING TO THE PROJECT ENGINEER A MINIMUM OF FIVE WORKING DAYS PRIOR TO WORK.



PICO-MIDVALE OFF-STREET PARKING LOT #42/707
W.O. E1560012
PHASE 2

ACCEPTANCE OF COMPLETED PROJECT

- THE PROJECT SHALL BE ACCEPTED AS COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
- ALL WORK REQUIRED BY BUREAU OF CONTRACT ADMINISTRATION UNDER ITS FINAL INSPECTION HAS SATISFACTORILY BEEN ACCOMPLISHED.
 - THE DEPARTMENT OF BUILDING AND SAFETY HAS SIGNED OFF THE FINAL INSPECTION APPROVAL AT THE BOTTOM OF ITS JOB CARD.
 - THE BUREAU OF STREET LIGHTING HAS INSPECTED AND APPROVED ALL LIGHTING WORK.
 - ALL DEPARTMENT OF WATER AND POWER WATER AND ELECTRICAL SERVICES, METERS AND CONDUIT ARE IN PLACE AND OPERATING.
 - ALL PAYMENTS TO SUB-CONTRACTORS HAVE BEEN MADE BY THE CONTRACTOR AND NO LIENS EXIST.

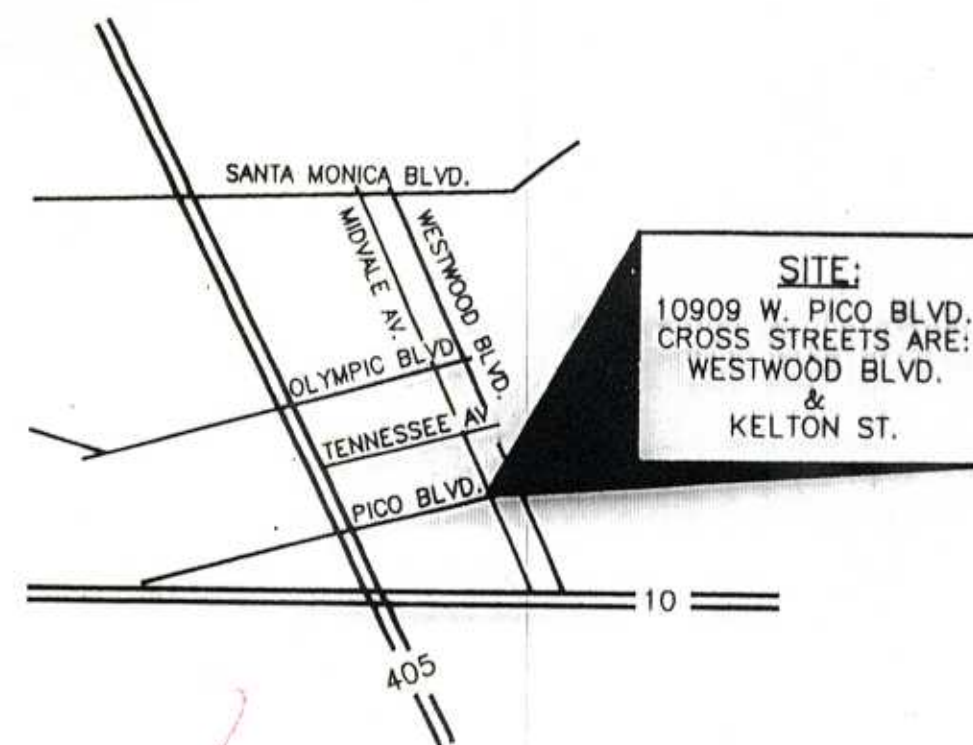
ABBREVIATIONS

| | | | |
|---------|-------------------------------|-------|--------------------------|
| AC | ASPHALT CONCRETE | FL | FLOW LINE |
| AD | ATRIUM DRAIN/AREA DRAIN | FIN | FINISHED |
| AMPS | AMPERES | FOC | FACE OF CURB |
| AWG | AMERICAN WIRE GAUGE | FOW | FACE OF WALL |
| BC | BOTTOM OF CURB/BEGIN CURB | FG | FINISHED GRADE |
| BDRY | BOUNDARY | FS | FINISHED SURFACE |
| BLDG | BUILDING | FFE | FINISHED FLOOR ELEVATION |
| BM | BENCH MARK | FD | FLOOR DRAIN |
| BOW | BACK OF WALL | GA | GAUGE |
| BOC | BACK OF CURB | GALV | GALVANIZED |
| BW | BOTTOM OF WALL | GAL | GALLON(S) |
| CB | CATCH BASIN | GB | GRADE BREAK |
| C-C | CENTER TO CENTER | GC | GROUND COVER |
| CL | CENTER LINE | GPM | GALLONS PER MINUTE |
| CONC | CONCRETE | GV | GATE VALVE |
| CONST | CONSTRUCTION/CONSTRUCT | HB | HOSE BIB |
| CONT | CONTINUOUS | HP | HIGH POINT |
| DD | DECK DRAIN | ID | INSIDE DIAMETER |
| DEMO | DEMOLITION | IE | INVERT ELEVATION |
| DBL STK | DOUBLE STAKE | IRRG | IRRIGATION |
| DET | DETAIL | LA | LANDSCAPE ARCHITECT |
| DF | DRINKING FOUNTAIN | LBS | POUNDS |
| DIP | DUCTILE IRON PIPE | LS | LANDSCAPE |
| DN | DOWN | MAX | MAXIMUM |
| DWG | DRAWING | MAINT | MAINTENANCE |
| DWP | DEPARTMENT OF WATER AND POWER | MFG | MANUFACTURER |
| DWY | DRIVEWAY | MIN | MINIMUM |
| EFF | EFFLUENT WATER | NIC | NOT IN CONTRACT |
| EL | ELEVATION | OC | ON-CENTER |
| ELECT | ELECTRIC/ELECTRICAL | OD | OUTSIDE DIAMETER |
| ENCL | ENCLOSURE | PA | PLANTING AREA |
| EQ | EQUAL | PB | PULL BOX |
| EXP JT | EXPANSION JOINT | PL | PROPERTY LINE |
| EXIST | EXISTING | PVC | POLY VINYL CHLORIDE |
| EC | END OF CURVE | | |

(XXX.XX) EX ELEVATION
XXX.XX NEW CONSTRUCTION ELEVATION

SHEET INDEX

| | |
|-----|---|
| L-1 | TITLE SHEET: VICINITY MAP / ABBREVIATIONS / GENERAL NOTES |
| L-2 | DEMOLITION PLAN & NOTES |
| L-3 | CONSTRUCTION PLAN & NOTES / STRIPING PLAN & NOTES |
| L-4 | IRRIGATION PLAN & NOTES |
| L-5 | PLANTING PLAN & NOTES |
| L-6 | DETAIL SHEET |
| L-7 | STRIP FILTER CONSTRUCTION PLAN & NOTES |
| L-8 | STRIP FILTER DETAIL SHEET |
| L-9 | STRIP FILTER DETAIL SHEET |
| E-1 | ELECTRICAL PLAN & NOTES |
| E-2 | ELECTRICAL DETAIL SHEET |



VICINITY MAP
NOT TO SCALE

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING
ROBERT S. HORI CITY ENGINEER
ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890 PHONE 485-5825

REGISTERED PROFESSIONAL ENGINEER
RALPH H. KENNEDY
No. C-17376
Exp. 6-30-93
STATE OF CALIFORNIA

CITY ENGINEER
DEPT. CITY ENGINEER
LARRY J. KELLY
PRINCIPAL ARCHITECT
HARVEY LITTLER

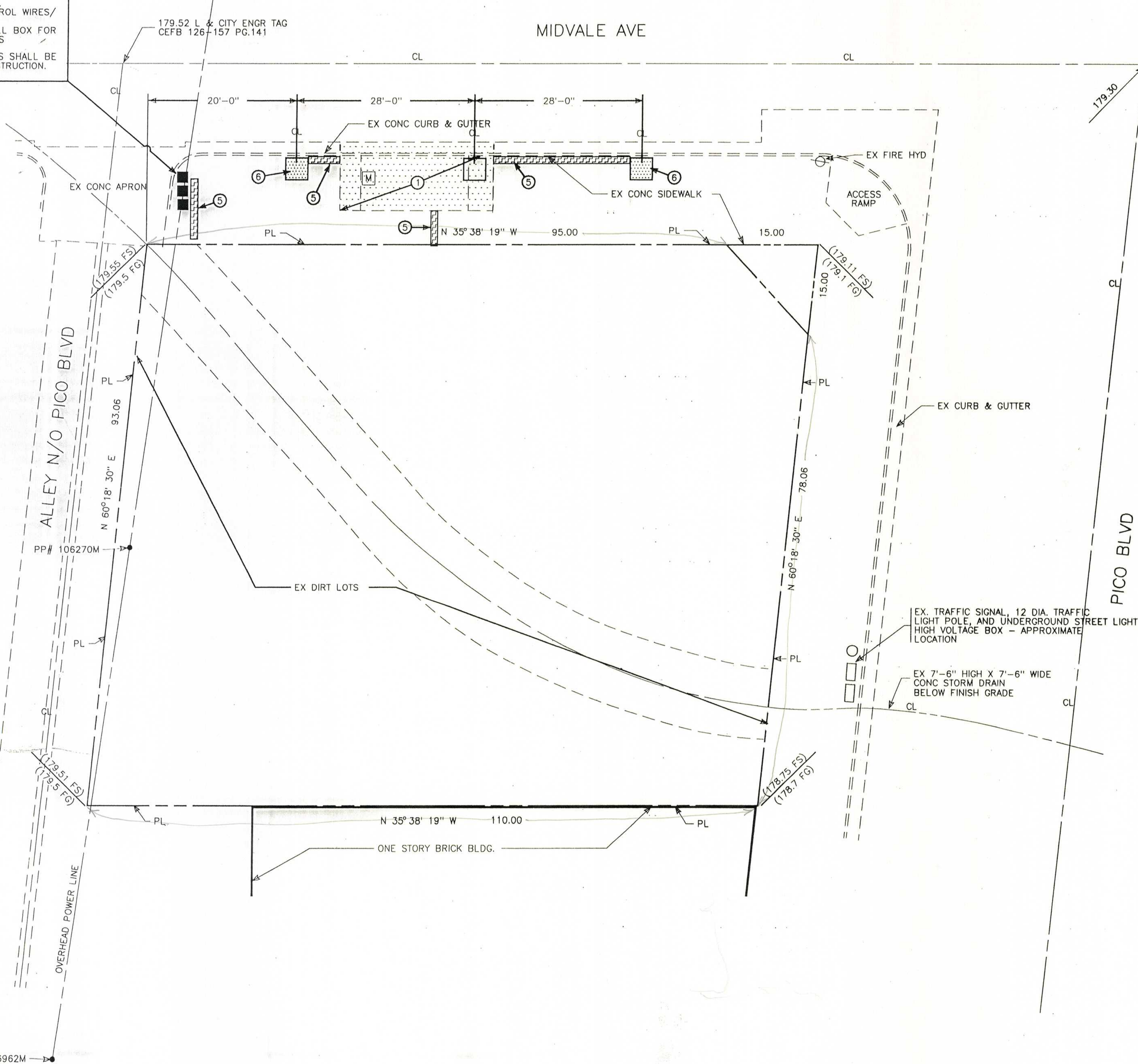
STRUCTURAL ENG.
BLDG. MECH. ENG.
BLDG. ELEC. ENG.

TITLE SHEET: VICINITY MAP / ABBREVIATIONS / SHEET INDEX / GENERAL NOTES
CONSTRUCT OFF-STREET PARKING LOT
42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2
10809 WEST PICO BOULEVARD, LOS ANGELES CA
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO. 42/707
WORK ORDER NO. E1560012
PLAN NO. 7988
DATE 5-29-92
JOB CAPTAIN L.O.
DRAWN BY BSL
CHECKED BY
SHEET NO. L-1

BLDG. NO. 42/707
SHEET OF SHEETS
INDEX NUMBER

3 EX. VALVE BOXES FROM
PHASE 1 CONSTRUCTION.
BOX #
1. IRRIGATION P.O.C.
2. IRRIGATION CONTROL WIRES/
PULL BOX
3. ELECTRICAL PULL BOX FOR
LIGHTING STANDARDS
ALL PULL BOXES SHALL BE
UTILIZED FOR CONSTRUCTION.



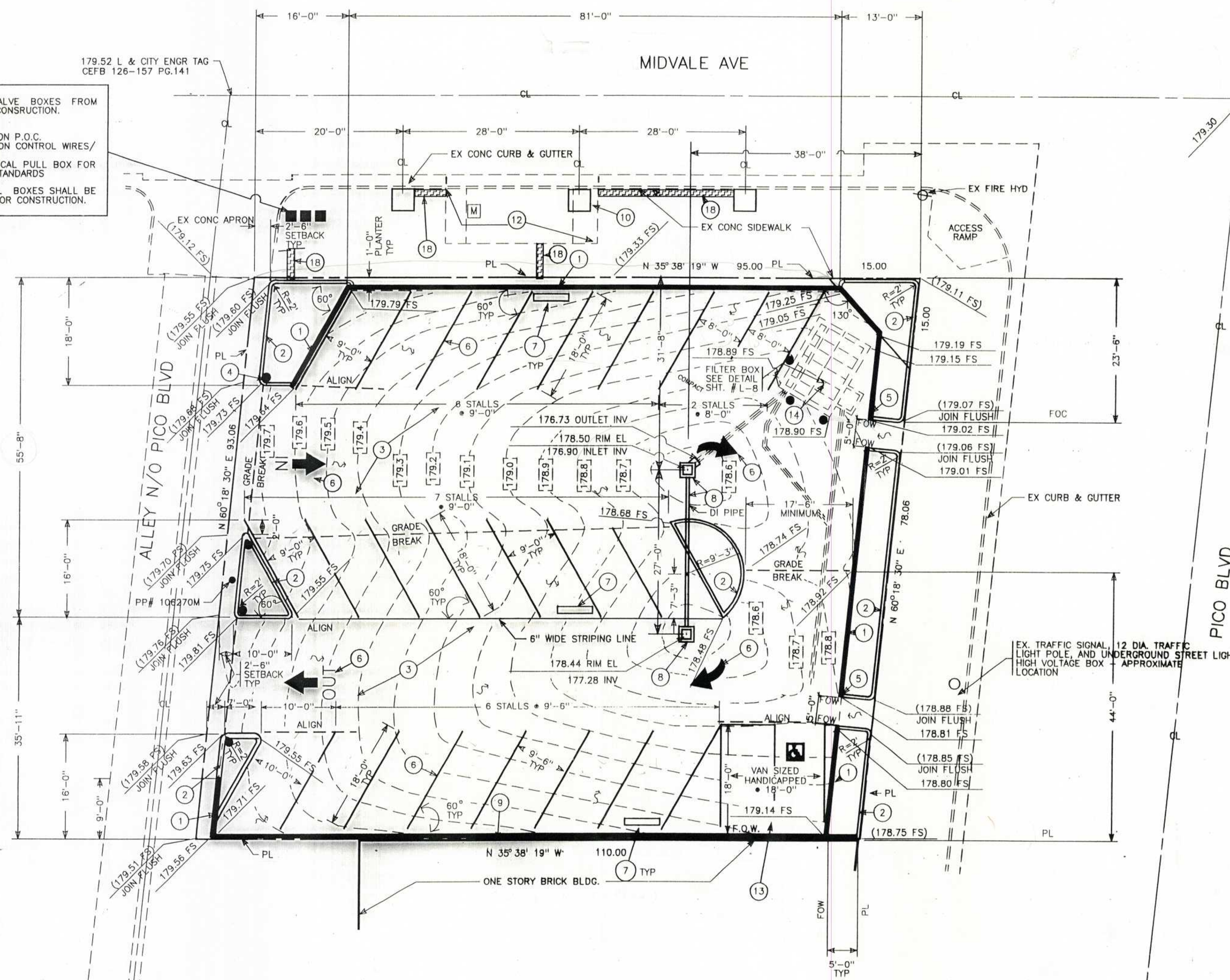
DEMOLITION NOTES

1. SAW CUT AND REMOVE CONCRETE APPROACH, CURB, AND GUTTER. SEE CONSTRUCTION PLAN FOR REPLACEMENT. (SHEET L-3)
2. SEE CONSTRUCTION PLAN FOR TREE WELL INSTALLATION. (SHEET L-3)
3. EXISTING DIRT LOTS ARE AT 90% RELATIVE COMPACTION.
4. PROVIDE THE DEPARTMENT OF TRANSPORTATION - OFF-STREET PARKING DIVISION • (213) 485-2120 7 WORKING DAYS NOTICE FOR EXISTING CHAIN LINK FENCE REMOVAL.
5. SAW CUT AND REMOVE CONCRETE FOR IRRIGATION AND ELECTRICAL WORK AS REQUIRED (SEE SHEETS L3, L4, E1)
6. SAW CUT AND REMOVE CONCRETE FOR TREE WELL INSTALLATION. (SEE SHEETS L3, L4) FOR SOIL REMOVAL SEE SHEET L3 - NOTE 15.

DEMOLITION PLAN
SCALE 1" = 10'-0"

| | |
|--|---|
| | |
| <p>CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS</p> | |
| <p>BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825</p> | |
| <p>DEMOLITION PLAN & NOTES</p> | |
| <p>CONSTRUCT OFF-STREET PARKING LOT - PHASE 2</p> | <p>42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 10909 WEST PICO BOULEVARD, LOS ANGELES CA FOR: DEPARTMENT OF TRANSPORTATION</p> |
| <p>BLDG. NO. 42/707</p> | <p>WORK ORDER NO. E1560012</p> |
| <p>PLAN NO. 7988</p> | <p>DATE 5-29-92</p> |
| <p>JOB CAPTAIN LO</p> | <p>DRAWN BY BSL</p> |
| <p>CHECKED BY LO</p> | <p>SHEET NO. L-2</p> |
| <p>OF 11 SHEETS</p> | <p>BLDG. NO. 42/707</p> |
| <p>SHEET OF SHEETS</p> | <p>INDEX NUMBER</p> |

3 EX. VALVE BOXES FROM PHASE 1 CONSTRUCTION.
BOX #
1. IRRIGATION P.O.C.
2. IRRIGATION CONTROL WIRES/
PULL BOX
3. ELECTRICAL PULL BOX FOR
LIGHTING STANDARDS
ALL PULL BOXES SHALL BE
UTILIZED FOR CONSTRUCTION.



CONSTRUCTION & STRIPING NOTES

1. INSTALL CONCRETE BLOCK RETAINING WALL PER DETAIL ^A_{L-6}
2. INSTALL CONCRETE PLANTER CURB PER DETAIL ^B_{L-6} PROVIDE 3/8" CONTACT JOINTS AT WALLS.
3. INSTALL ASPHALT CONCRETE PAVING TO PARKING SURFACE WITHIN PROPERTY LINES. ASPHALT CONCRETE SHALL BE OF CLASS AND GRADE C2-AR-4000 AND SHALL BE A MINIMUM OF 3" THICK OVER SELECT BASE MATERIAL PER SECTION 200-2.6. SELECT BASE SHALL BE A MINIMUM OF 4" THICK OVER 90% RELATIVE COMPACTED NATIVE SOIL.
4. INSTALL BOLLARD PER DETAIL ^D_{L-6} EXACT LOCATION SHALL BE APPROVED BY PROJECT ENGINEER PRIOR TO INSTALLATION. (TOTAL OF 7 BOLLARDS)
5. INSTALL CONCRETE BLOCK WALL END DETAIL PER DETAIL ^C_{L-6}
6. INSTALL PARKING STALL STRIPING PER DETAILS ^{EHL}_{L-6}
7. INSTALL CONCRETE WHEEL BUMPER TO ALL PARKING STALLS PER DETAIL ^F_{L-6}
8. INSTALL CATCH BASIN PER DETAIL ^G_{L-6}
INSTALL 6" DI PIPE. SEE PROFILE (1) ON SHT. L-7
9. INSTALL CONCRETE BLOCK WALL PER PROPERTY LINE WALL DETAIL ^K_{L-6}
10. INSTALL STREET TREE WELL PER STD. PLAN S-450-2 TYPE A-1. (TOTAL OF 3 TREE WELLS)
11. THE CONTRACTOR SHALL VERIFY, TO THE PROJECT ENGINEER, THAT THE SITE DRAINS PROPERLY PRIOR TO STRIPING. THE CONTRACTOR SHALL FURNISH A WATER TRUCK, WATER, AND REQUIRED EQUIPMENT AND PERSONNEL TO APPLY WATER FOR VERIFICATION. ANY AREAS THAT DO NOT DRAIN PROPERLY SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE CITY.
12. INSTALL CONCRETE CURB AND GUTTER PER STD. PLAN S-410-1 TYPE C. MATCH EXISTING FLOW LINES AND JOIN FLUSH.
INSTALL 3" THICK CONCRETE SIDEWALK PER SUBSECTION 201 AND 303. JOIN FLUSH WITH EXISTING SURFACES. MATCH EXISTING WEAKENED PLANE JOINTS PER STD. PLAN S-430-1.
REPLACE EXISTING WATER METER BOX WITH NEW APPROVED WATER METER BOX FLUSH WITH NEW FINISH SURFACE.
13. INSTALL HANDICAPPED PARKING STALL STRIPING AND SIGNAGE PER DETAIL ^H_{L-6}
14. STRIP FILTER BOX AND RELATED CONSTRUCTION ITEMS SHALL BE CONSTRUCTED PER STRIP FILTER CONSTRUCTION SHTS L-7, L-8, L-9.
15. SOIL REMOVAL AND DISPOSAL IS REQUIRED FOR CONSTRUCTION OPERATIONS, AND SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE. REMOVAL AND DISPOSAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR. ALL REMOVED SOIL SHALL BE DISPOSED OF AT AN APPROVED LOCATION. REFER TO DEMOLITION SHEET L-2 FOR EXISTING GRADE ELEVATIONS.
16. PROVIDE AND APPLY 2120 SQ. FT. OF "ON-GUARD" GRAFFITI COATING ON CONCRETE WALLS PER MANUFACTURER'S RECOMMENDATION. LOCATION AND TIME OF APPLICATION SHALL BE PER DIRECTION OF THE PROJECT ENGINEER. PROVIDE ADDITIONAL GRAFFITI COATING MATERIAL IN THE AMOUNT REQUIRED TO RE-APPLY THE WALLS COMPLETELY IN UNOPENED MANUFACTURER'S CONTAINERS PRIOR TO THE FINAL INSPECTION. (ON-GUARD # (213) 589-1780)
17. SEE SHEET E1 AND E2 FOR ELECTRICAL WORK.
18. INSTALL 3" THICK CONCRETE SIDEWALK PATCH TO ALL DISTURBED AREAS PER SUBSECTION 201 AND 303 OF THE SPECIFICATIONS. JOIN FLUSH WITH EXISTING SURFACES AND MATCH EXISTING FLOW LINES.
19. CONTOUR LINES ARE SHOWN FOR GRAPHIC CLARITY. DO NOT CONSTRUCT PAVING SURFACES BASED ON THE ACCURACY OF THE CONTOUR LINES.

CONSTRUCTION & STRIPING PLAN
SCALE 1" = 10'-0"

| | | | |
|--|----------------------|--|--------------|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | | | |
| BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER | | DIVISION ARCHITECTURAL CITY HALL EAST ROOM 890 PHONE 445-5825 | |
| CITY ENGINEER | DEPUTY CITY ENGINEER | ARCHITECT | INDEX NUMBER |
| STRUCTURAL ENG. | BLDG. MECH. ENG. | BLDG. ELEC. ENG. | |
| CONSTRUCTION PLAN & NOTES / STRIPING PLAN & NOTES | | CONSTRUCT OFF-STREET PARKING LOT | |
| 42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 | | 10909 WEST PICO BOULEVARD, LOS ANGELES CA | |
| FOR: DEPARTMENT OF TRANSPORTATION | | | |
| BLDG. NO. | 42/707 | WORK ORDER NO. | E1560012 |
| PLAN NO. | 7988 | DATE | 6-12-92 |
| JOB CAPTAIN | LO | DRAWN BY | BSL |
| CHECKED BY | LO | SHEET NO. | |
| L-3 | | BLDG. NO. 42/707 | |
| OF 11 | | SHTS | |







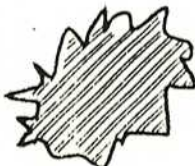


PHASE 1 IRRIGATION WORK INCLUDED THE INSTALLATION OF A PULL BOX HOUSING 5 LIVE CONTROL WIRES FOR WORK INCLUDED ON THESE PLANS. THE CONTROLLER ON ADJACENT (PHASE 1) LOT SHALL BE USED FOR PLANT ESTABLISHMENT PERIOD.

IRRIGATION NOTES

1. THE PLAN(S) IS DIAGRAMATIC. LOCATE ALL PIPING, VALVES, ETC. IN PLANTING AREAS WHERE POSSIBLE UNLESS OTHERWISE NOTED. LOCATE ALL IRRIGATION HEADS A MINIMUM OF 3" FROM THE EDGE OF CURBS, WALLS, AND/OR OTHER HARDCAPE AREAS.
2. VERIFY CONDITIONS
THE CONTRACTOR SHALL VERIFY EXISTING LOCATIONS OF ALL UTILITY SERVICE LINES AND SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE INCURRED DURING HIS/HER WORK. VERIFY THE STATIC PSI AND GPM AT THE POINT OF CONNECTION. NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT (213) 362-6364 OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
3. IRRIGATION INSPECTION
THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT (213) 362-6364 A MINIMUM OF 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
4. VALVE BOXES
UNLESS OTHERWISE SHOWN OR NOTED, STANDARD PLAN S-655-0 IS MODIFIED AS FOLLOWS: ALL VALVE/PULL BOXES SHALL BE 9 1/2" X 18" X 12" MADE OF CONCRETE WITH A CAST IRON, DOUBLE TOGGLE LOCKING TRAFFIC LID. ALL VALVE/PULL BOX LIDS SHALL BE EMBOSSED WITH THE FOLLOWING IDENTIFICATION IN 3" HIGH INITIALS:

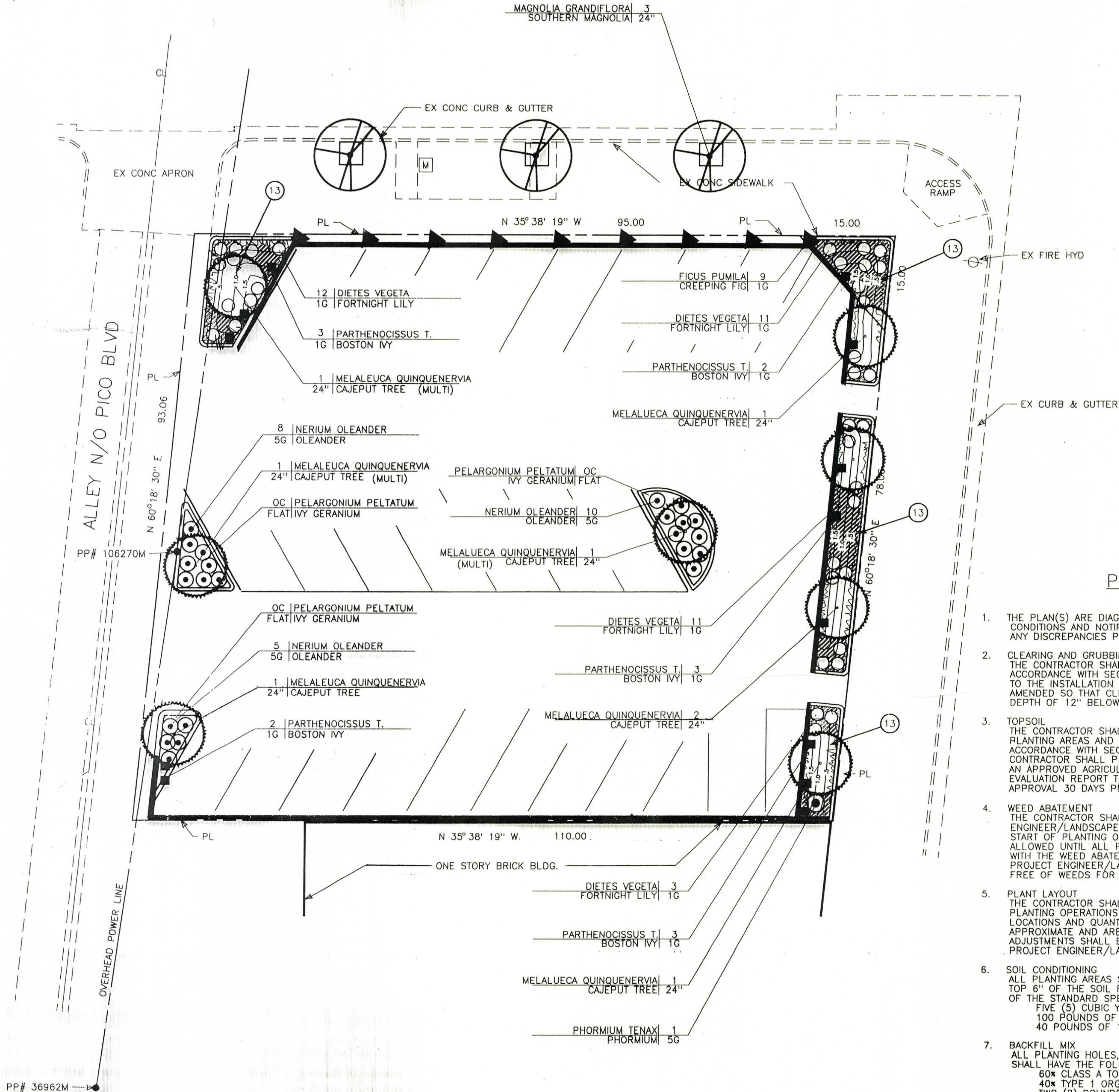
| | |
|-------------------------|--------|
| SHUT-OFF VALVE | SOV |
| REMOTE CONTROL VALVE | RCV |
| QUICK COUPLER VALVE | QC |
| REMOTE CONTROL VALVE W/ | RCV/QC |
| QUICK COUPLER VALVE | |
| (IN SAME BOX) | |
| ELECTRICAL PULL BOX | ELEC |
5. PIPE AND FITTINGS
LATERAL LINES AND CORRESPONDING SLIP TYPE FITTINGS, EXCLUDING THREADED FITTINGS, SHALL BE NEW SCHEDULE 40 PVC. ALL THREADED FITTINGS, ELBOVES, AND CONTINUOUSLY PRESURIZED MAIN-LINE AND CORRESPONDING FITTINGS SHALL BE NEW SCHEDULE 80 PVC UNLESS OTHERWISE NOTED.
6. ELECTRICAL CONTROL WIRES
CONTROL WIRING SHALL BE DIRECT BURIAL TYPE WIRE WITH A MINIMUM SIZE OF 14 GA. (AWG). PROVIDE CONTROL WIRING TO ALL REMOTE CONTROL VALVES INCLUDING A SPARE CONTROL WIRE TO THE FURTHEST REMOTE CONTROL VALVE. IN THE EVENT THAT ONE CONTROLLER HAS SEVERAL DIRECTIONS OF CONTROL WIRE RUNS, ALL DIRECTIONS SHALL HAVE AN EXTRA CONTROL WIRE. A SPARE CONTROL WIRES SHALL BE IDENTIFIED WITH LABELS AT BOTH ENDS. WIRING SHALL BE IDENTIFIED BY INTEGRAL WIRE COLOR CODING AS FOLLOWS:

| | |
|--------------|--|
| COMMON WIRE | WHITE |
| CONTROL WIRE | RED (FOR FIRST CONTROLLER) |
| | ORANGE (FOR SECOND CONTROLLER IF APPLICABLE) |
| | YELLOW (FOR THIRD CONTROLLER IF APPLICABLE) |
| SPARE WIRE | GREEN |
7. ELECTRICAL CONTROL WIRE CONNECTIONS
CONTROL WIRE CONNECTIONS SHALL BE MADE USING APPROVED WATERTIGHT CONNECTOR SYSTEM. WIRES SHALL BE CONNECTED USING A COPPER CRIMP SLEEVE. THE CONNECTION SHALL BE PLACED IN A TWO PIECE (MALE-FEMALE) MALLEABLE PLASTIC CASING FILLED WITH WATERPROOF SEALANT.
8. LOW HEAD DRAINAGE
THE CONTRACTOR SHALL INSTALL IN-LINE LOW HEAD DRAINAGE VALVES AT IRRIGATION HEADS OR AS INDICATED ON THE PLAN(S) WHERE NECESSARY TO PREVENT LOW HEAD DRAINAGE.
9. IRRIGATION SYSTEM ADJUSTMENTS
THE CONTRACTOR SHALL ADJUST IRRIGATION SYSTEM TO ELIMINATE ANY ADVERSE WATER PRESSURE AND BALANCE THE SYSTEM TO OPTIMUM OPERATING CONDITIONS AS APPROVED BY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT. ADJUST IRRIGATION HEADS AFTER THE INITIAL VALVE ADJUSTMENT TO PROVIDE DESIRABLE 100x HEAD TO HEAD COVERAGE WHILE ELIMINATING OVERSPRAY ONTO BUILDINGS, WALLS SIGNS, AND PAVED AREAS.
10. CONTROLLER CHARTS
THE CONTRACTOR SHALL PROVIDE TWO SETS OF THE CONTROLLER CHARTS SHOWING THE APPROVED AS-BUILT IRRIGATION PLANS. THE CHARTS SHALL BE DONE ON A HALF SIZE PHOTOGRAPHIC REPRODUCTION OF THE APPROVED IRRIGATION AS-BUILT PLANS AND SHALL REFLECT ALL AS-BUILT DATA. EACH STATION SHALL BE SHOWN IN A DIFFERENT COLOR AND CONTROL WIRE LOCATIONS SHALL BE INDICATED. THE COMPLETE PLAN(S) SHALL BE LAMINATED ON EACH SIDE WITH 20 MIL. ACRYLIC PLASTIC SHEET. A 3/4" BRASS GROMMET SHALL BE PLACED IN EACH TOP CORNER. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE AS-BUILT PLANS PRIOR TO PROCEEDING WITH THE PLASTIC LAMINATION.

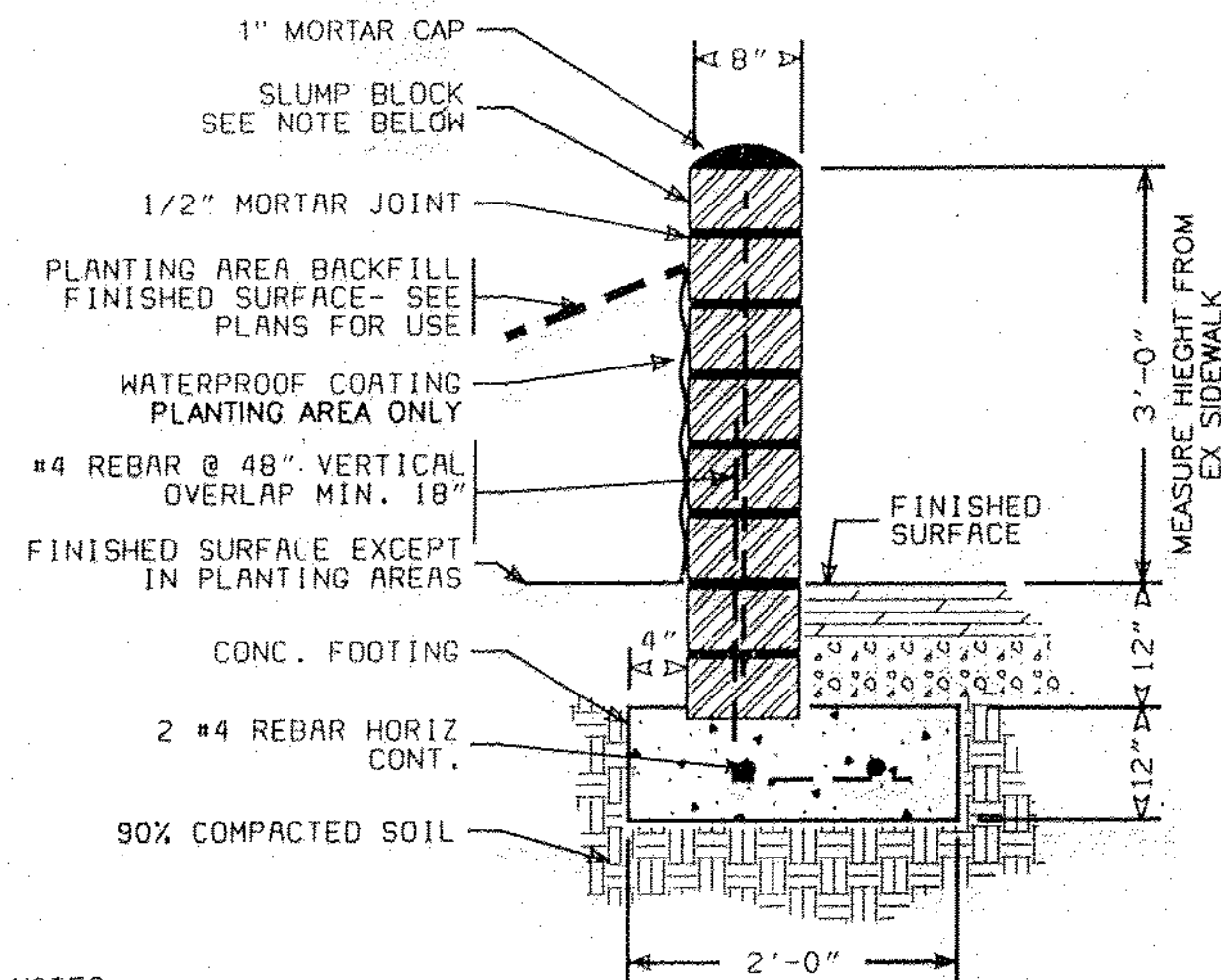
| PLANTING LEGEND | | | | | |
|---|--|----------------------------------|----------------------------|---------|--|
| SYMBOL | BOTANICAL NAME | COMMON NAME | QUANTITY | SIZE | REMARKS |
| | TREES | | | | |
|  | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 3 | 24" BOX | INSTALL PER STD. PLAN S-663-0 DOUBLE STAKING PLAN S-450-2 TREE WHEEL COVER PLAN S-456-1 ROOT BARRIER |
|  | MELALEUCA QUINQUENERVIA (MULTI) STEM PER PLAN | CAJEPUT TREE | 8 3 (MULTI) 5 SINGLE | 24" BOX | INSTALL PER STD. PLAN S-663-0 DOUBLE STAKING |
| | SHRUBS | | | | |
|  | DIETES VEGETA | FORTNIGHT LILY | 36 | 1 G | INSTALL PER STD. SPECIFICATIONS  |
|  | PHORMIUM TENAX | | 1 | 5 G | |
|  | NERIUM OLEANDER 'PETITE PINK' | OLEANDER HYBRID | 23 | 5 G | |
| | GROUNDCOVERS & VINES | | | | |
|  | ROSEMARINUS OFFICINALIS 'PROSTRATUS' | DWARF ROSEMARY | SEE PLAN | FLAT | INSTALL 10" O.C. |
|  | PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 12 | 1 G | INSTALL PER STD. SPECIFICATIONS |
|  | FICUS PUMILA | CREEPING FIG | 9 | 1 G | INSTALL PER STD. SPECIFICATIONS |
| SEE PLAN | PELARGONIUM PELTATUM | IVY GERANIUM 50% PINK 50% RED | SEE PLAN | FLAT | INSTALL 10" O.C. |

PLANTING NOTES

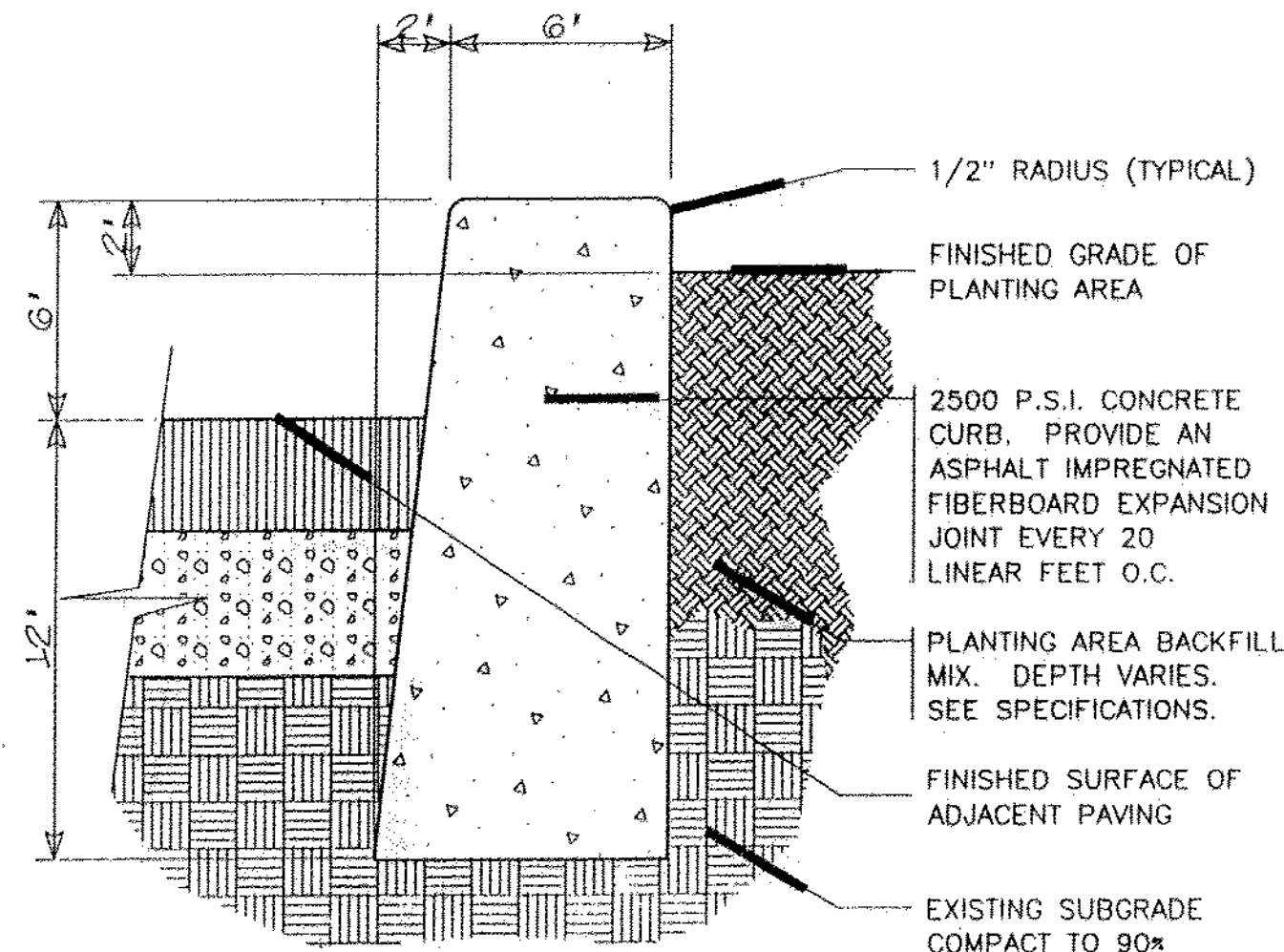
- THE PLAN(S) ARE DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CLEARING AND GRUBBING
THE CONTRACTOR SHALL CLEAR AND GRUB ALL IMPROVEMENT AREAS IN ACCORDANCE WITH SECTION 300-1 OF THE STANDARD SPECIFICATIONS PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM. SECTION 300-1 IS AMENDED SO THAT CLEARING AND GRUBBING OPERATIONS SHALL EXTEND TO A DEPTH OF 12" BELOW THE EXISTING FINISH GRADE.
- TOPSOIL
THE CONTRACTOR SHALL REMOVE THE TOP 24" OF EXISTING TOPSOIL IN ALL PLANTING AREAS AND REPLACE WITH 24" OF NEW CLASS "A" TOPSOIL IN ACCORDANCE WITH SECTION 212 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE GUARANTEES OF THE TOPSOIL'S QUALITIES WITH AN APPROVED AGRICULTURAL SUITABILITY EVALUATION REPORT. SUBMIT EVALUATION REPORT TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR APPROVAL 30 DAYS PRIOR TO ANY SOIL PLACEMENT.
- WEED ABATEMENT
THE CONTRACTOR SHALL SUBMIT A WEED ABATEMENT PROGRAM TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR APPROVAL 30 DAYS PRIOR TO THE START OF PLANTING OPERATIONS. NO PLANTING OPERATIONS WILL BE ALLOWED UNTIL ALL PLANTING AREAS ARE CLEARED OF WEEDS IN ACCORDANCE WITH THE WEED ABATEMENT PROGRAM AND TO THE SATISFACTION OF THE PROJECT ENGINEER/LANDSCAPE ARCHITECT. MAINTAIN ALL PLANTING AREAS FREE OF WEEDS FOR THE DURATION OF THE CONTRACT.
- PLANT LAYOUT
THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER 48 HOURS PRIOR TO PLANTING OPERATIONS TO CONFIRM THE LOCATION OF PLANT MATERIALS. LOCATIONS AND QUANTITIES OF PLANT MATERIALS ON THE PLANS ARE APPROXIMATE AND ARE PROVIDED TO SHOW GENERAL INTENT. PLANT LOCATION ADJUSTMENTS SHALL BE PERFORMED BY THE CONTRACTOR AS DIRECTED BY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE CITY.
- SOIL CONDITIONING
ALL PLANTING AREAS SHALL HAVE THE FOLLOWING AMENDMENTS TILLED INTO THE TOP 6" OF THE SOIL PER 1000 SQUARE FEET IN ACCORDANCE WITH SECTION 308 OF THE STANDARD SPECIFICATIONS:
FIVE (5) CUBIC YARDS OF TYPE 1 ORGANIC SOIL AMENDMENT
100 POUNDS OF AGRICULTURAL GYPSUM
40 POUNDS OF 12-12-12 QUICK RELEASE COMMERCIAL FERTILIZER
- BACKFILL MIX
ALL PLANTING HOLES, EXCLUDING PLANT MATERIALS SMALLER THAN 1 GALLON, SHALL HAVE THE FOLLOWING BACKFILL MIXTURE:
60% CLASS A TOPSOIL
40% TYPE 1 ORGANIC SOIL AMENDMENT
TWO (2) POUNDS PER CUBIC YARD OF IRON SULFATE
AND THE FOLLOWING AMOUNTS OF 12-12-12 QUICK RELEASE COMMERCIAL FERTILIZER:
36" BOX PLANT = 4 POUNDS
24" BOX PLANT = 2 POUNDS
15 GALLON PLANT = 1 POUND
5 GALLON PLANT = 1 CUP
1 GALLON PLANT = 1/2 CUP
- MULCH
ALL PLANTING AREAS, EXCLUDING STREET TREE PLANTINGS AND TURF AREAS, SHALL HAVE TYPE 5 MULCH APPLIED. THE THICKNESS SHALL BE 1"
- FERTILIZATION
THE CONTRACTOR SHALL APPLY AN 8-8-4 COMMERCIAL SLOW RELEASE FERTILIZER TO ALL PLANTING AREAS AT A RATE OF 30 POUNDS PER 1000 SQUARE FEET UPON COMPLETION OF THE GROUNDCOVER PLANTING AND AT THIRTY DAY INTERVALS THEREAFTER UNTIL THE END OF THE PLANT ESTABLISHMENT PERIOD. THOROUGHLY WATER ALL PLANTING AREAS FOLLOWING THE APPLICATION OF THE FERTILIZER. ALL FERTILIZER APPLICATIONS SHALL BE PERFORMED UNDER INSPECTION BY A REPRESENTATIVE FROM THE BUREAU OF CONTRACT ADMINISTRATION.
- PLANT REPLACEMENT
THE CONTRACTOR SHALL REPLACE AS SOON AS POSSIBLE, ANY PLANT THAT SHOWS SIGNS OF FAILURE TO GROW AT ANY TIME DURING THE CONTRACT PERIOD OR THOSE PLANTS THAT ARE INJURED OR SO DAMAGED AS TO RENDER THEM UNSUITABLE FOR THE PURPOSE INTENDED. PROVIDE REPLACEMENT PLANTS OF THE SAME TYPE AND SIZE, AND INSTALL THEM PER THE PLANTING SPECIFICATION.
- PLANT ESTABLISHMENT PERIOD
THE CONTRACTOR SHALL PROVIDE A PLANT ESTABLISHMENT PERIOD IN ACCORDANCE WITH SECTION 308-6 OF THE STANDARD SPECIFICATIONS. SECTION 308-6 IS AMENDED TO EXTEND THE PLANT ESTABLISHMENT PERIOD TO A LENGTH OF 120 CALENDAR DAYS. ARRANGE FOR A PRE-MAINTENANCE FINAL INSPECTION TO START THE PLANT ESTABLISHMENT PERIOD BY CONTACTING THE BUREAU OF CONTRACT ADMINISTRATION, FINAL INSPECTION SECTION AT: CENTRAL METROPOLITAN, WEST LOS ANGELES AND HARBOR AREAS-(213)485-3001 WEST SAN FERNANDO VALLEY AND HYPERIAN TREATMENT PLANT-(818)989-8796 EAST SAN FERNANDO VALLEY AREA-(818)989-8335
- RESTORATION OF DAMAGED AREAS
THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION, ALL LANDSCAPED AREAS NOT SPECIFICALLY PROVIDED FOR BY THESE PLANS BUT IMPACTED BY CONSTRUCTION. PROVIDE ALL NECESSARY MATERIALS INCLUDING IRRIGATION EQUIPMENT, SOIL, SOIL AMENDMENTS, PLANTS OF THE SAME SPECIES, KINDS, AND SIZES, ETC. TO THE SATISFACTION OF THE PROJECT ENGINEER/LANDSCAPE ARCHITECT.
- CONTOUR LINES
FINAL PLANTING AREA GRADES SHALL CONFORM TO 1/2" CONTOUR LINES AS INDICATED ON THIS SHEET.
PROVIDE CLASS "A" TOPSOIL AS NECESSARY TO PROVIDE MOUNDING AS INDICATED BY CONTOUR LINES. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF FINAL GRADES. PROVIDE ADDITIONAL SOIL AND/OR GRADING AS REQUIRED TO PROVIDE SMOOTH AND WELL-SHAPED MOUNDS AS DIRECTED BY PROJECT ENGINEER/LANDSCAPE ARCHITECT.



PLANTING PLAN
SCALE 1" = 10'-0"

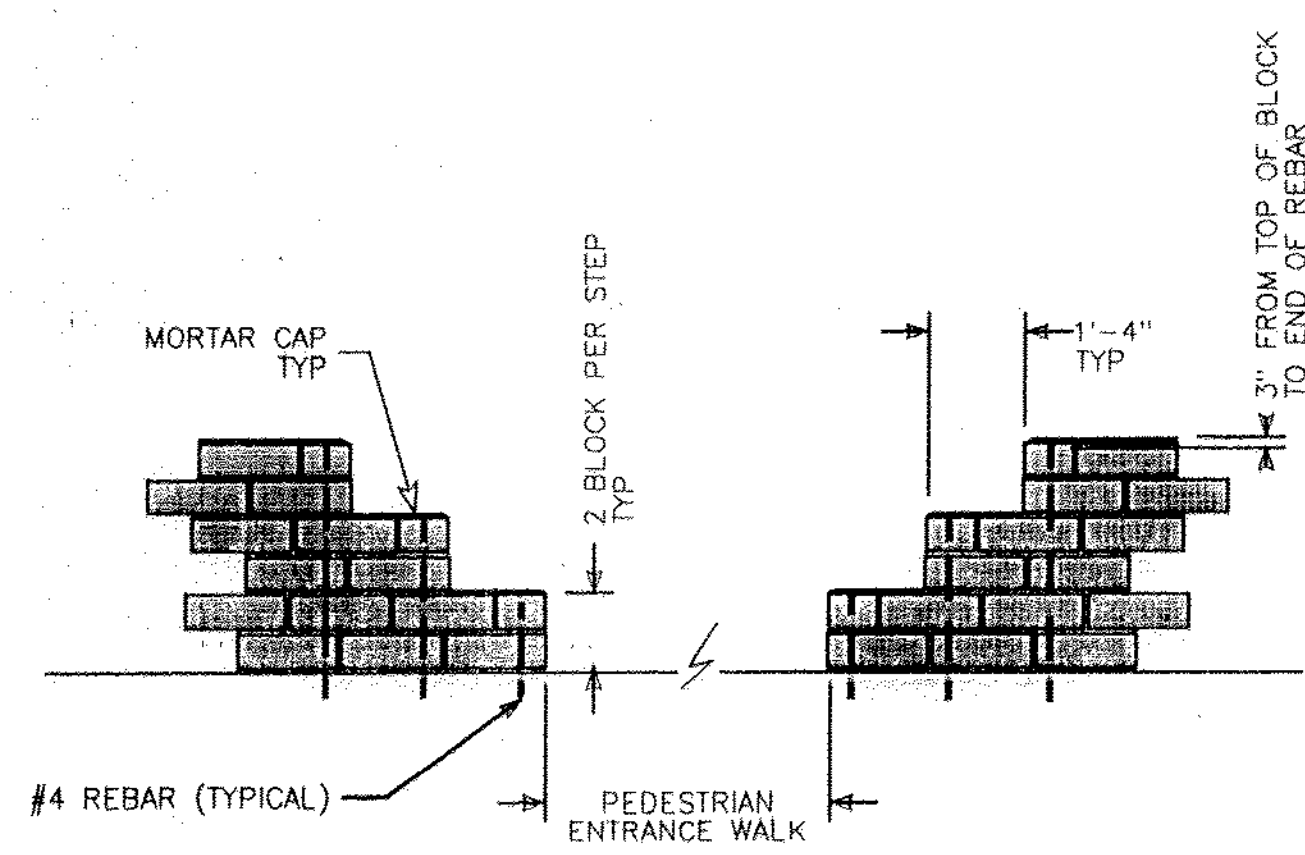


- NOTES:
1. BLOCK SHALL BE ANGELUS 8"x6"x16" SLUMPSTONE - COLOR: GREY. (OR EQUAL)
 2. SOLID FILL ALL BLOCK CELLS WITH CONCRETE.
 3. WHERE MOUNDING OCCURS, PROVIDE BLOCK HEIGHT KEEP HOLES EVERY 32" AT THE LOWER BLOCK COURSE.
 4. CONCRETE FOOTING SHALL HAVE A 28 DAY STRENGTH OF 2500 P.S.I.
 5. WATER PROOF COATING SHALL BE 'APOC' MASTIC SYSTEM OR EQUAL (213) 774-8330



B PLANTER CURB DETAIL

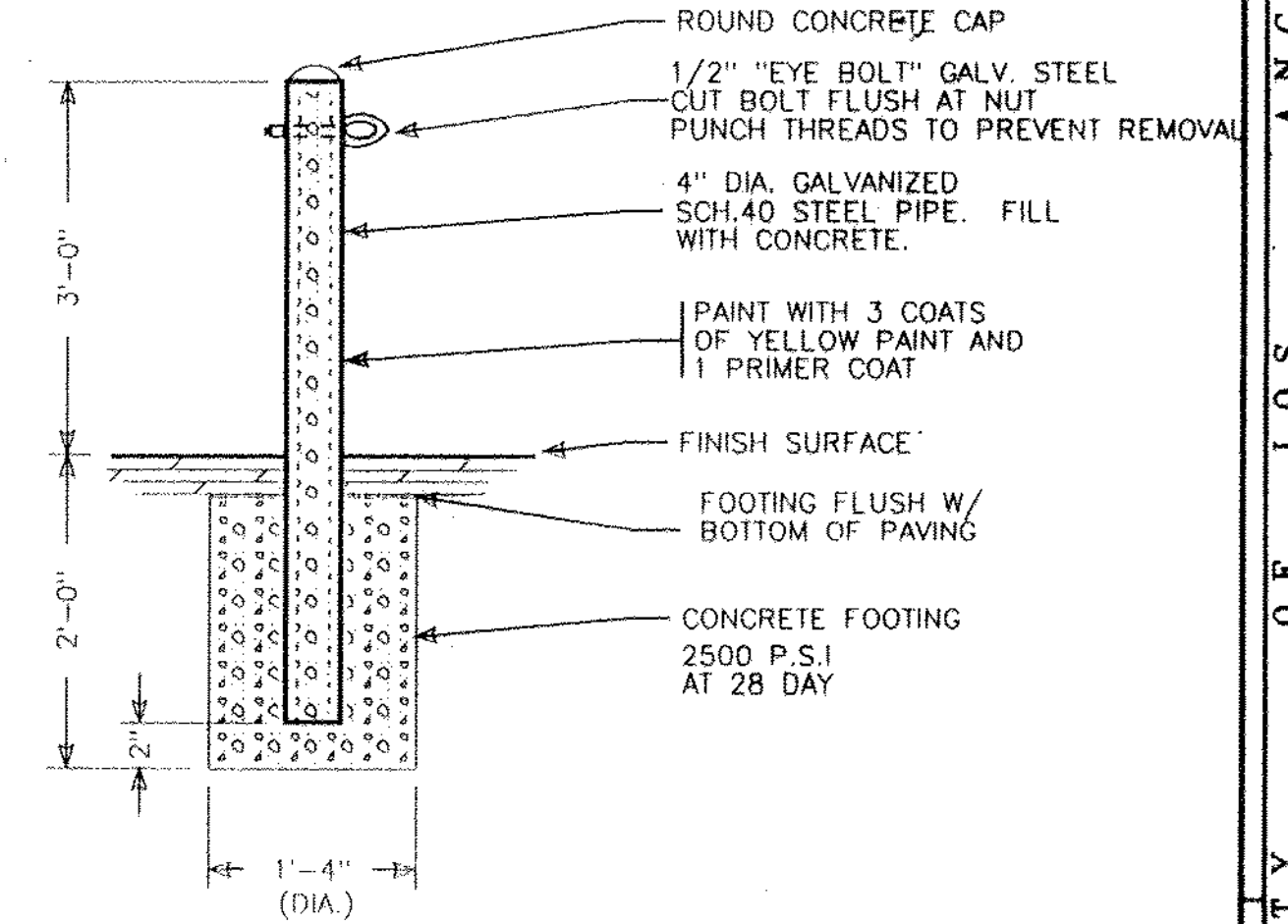
NO SCALE



- NOTES:
1. CONSTRUCT WALL END(S) WITH MATERIALS AND PROCEDURES PER WALL DETAIL "A".
 2. INSTALL #4 REBAR IN LOCATIONS SHOWN ABOVE. CONNECT TO FOOTING PER WALL DETAIL A.
 3. WALL END DETAIL SHALL BE ONLY CONSTRUCTED AT THE PEDESTRIAN WALK ENTRANCES. DO NOT USE THIS DETAIL FOR AUTOMOBILE ENTRANCES.

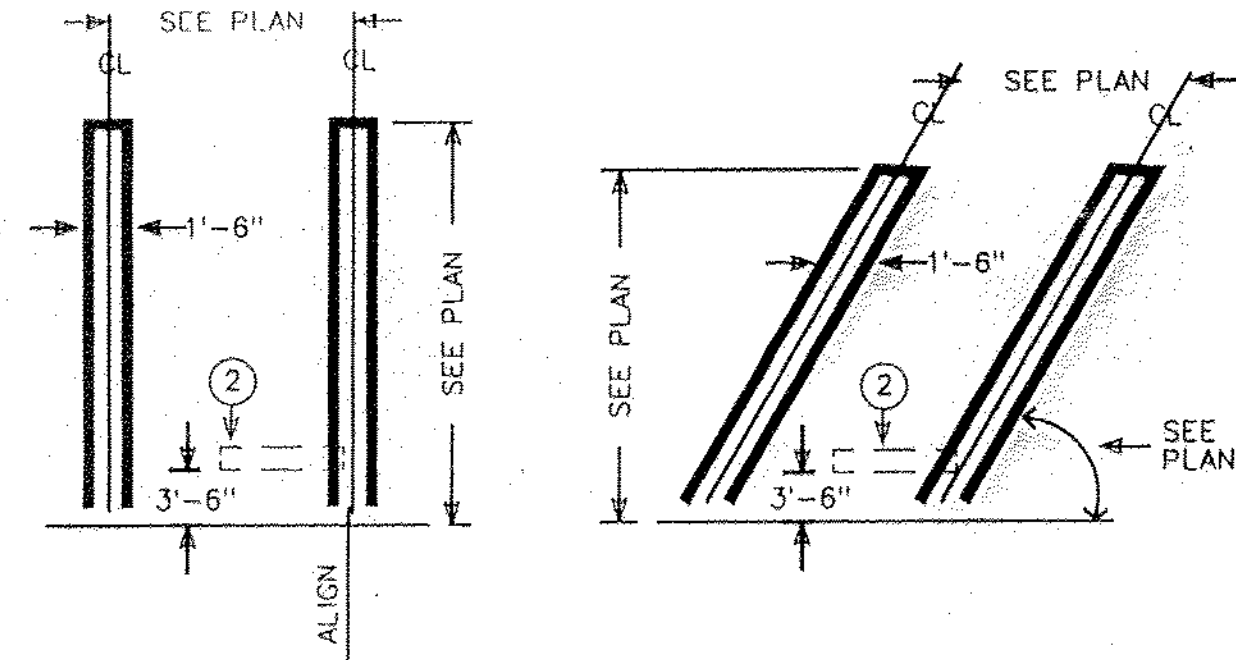
C WALL END DETAIL

NOT TO SCALE



D BOLLARD

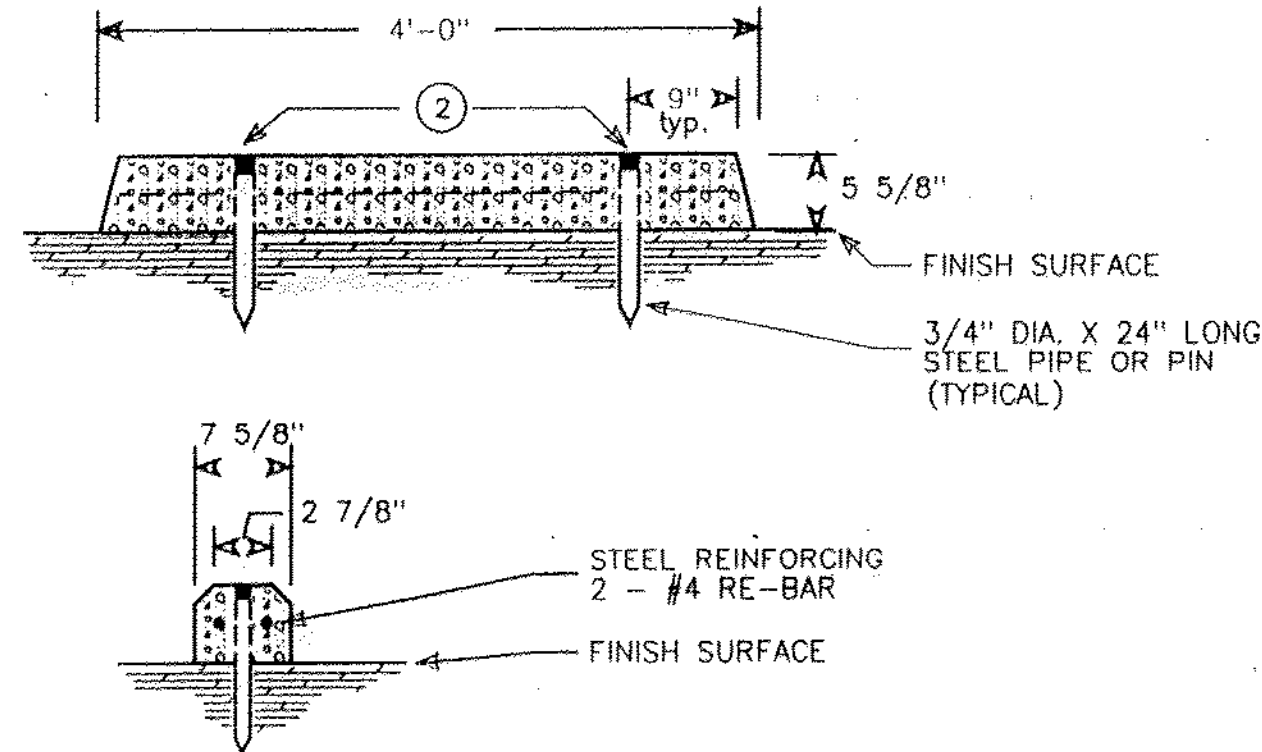
NOT TO SCALE



- NOTES:
1. PARKING STALL LINES SHOWN ON STRIPING PLANS ARE DIAGRAMATIC. LINES SHALL BE PAINTED WHITE WITH 4" STROKES IN ACCORDANCE WITH THIS DETAIL.
 2. INSTALL CONCRETE WHEEL BUMPER WHERE INDICATED BY PLANS PER CONCRETE WHEEL BUMPER DETAIL.

E PARKING STALL STRIPING

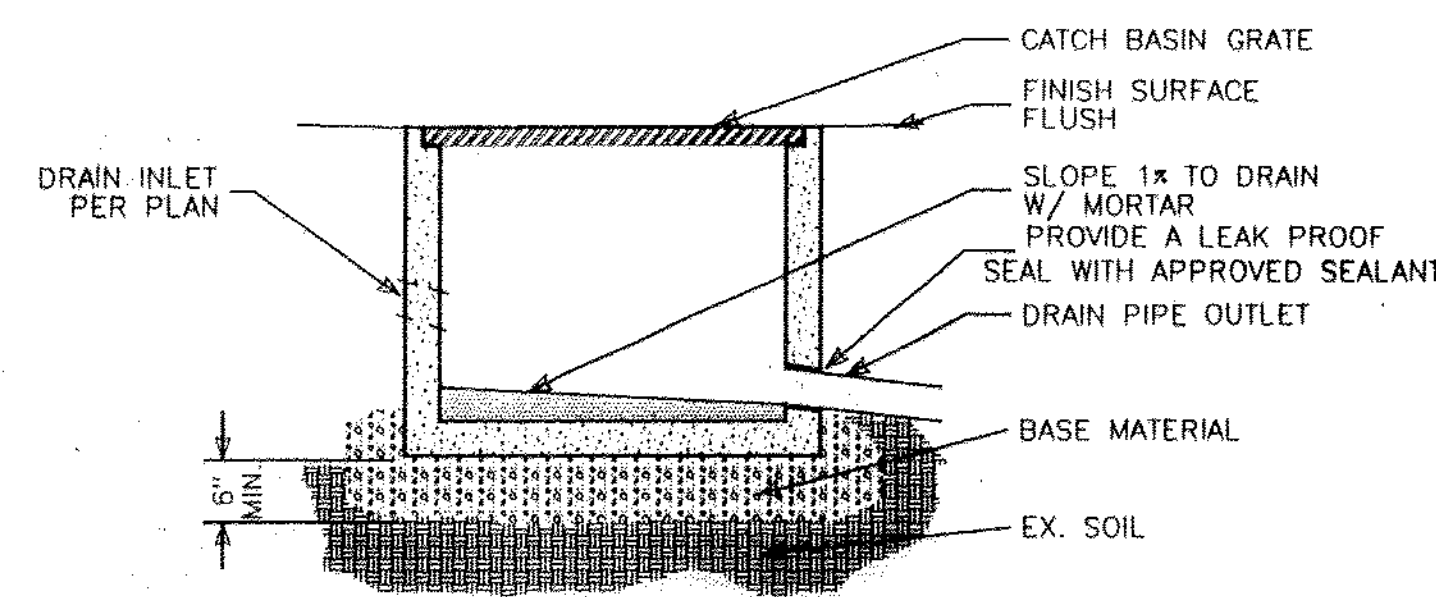
NOT TO SCALE



- NOTES:
1. INSTALL CONCRETE WHEEL BUMPER WHERE INDICATED BY PLANS. SEE PARKING STALL STRIPING DETAIL FOR PLACEMENT LOCATION.
 2. SECURING PIN SHALL BE DRIVEN 1/4" BELOW WHEEL STOP SURFACE AND FILLED FLUSH WITH WEATHERPROOF SEALANT.
 3. CONCRETE WHEEL BUMPER SHALL BE INSTALLED FLUSH WITH FINISH SURFACE AND SHALL BE SECURELY FASTENED.

F CONCRETE WHEEL BUMPER

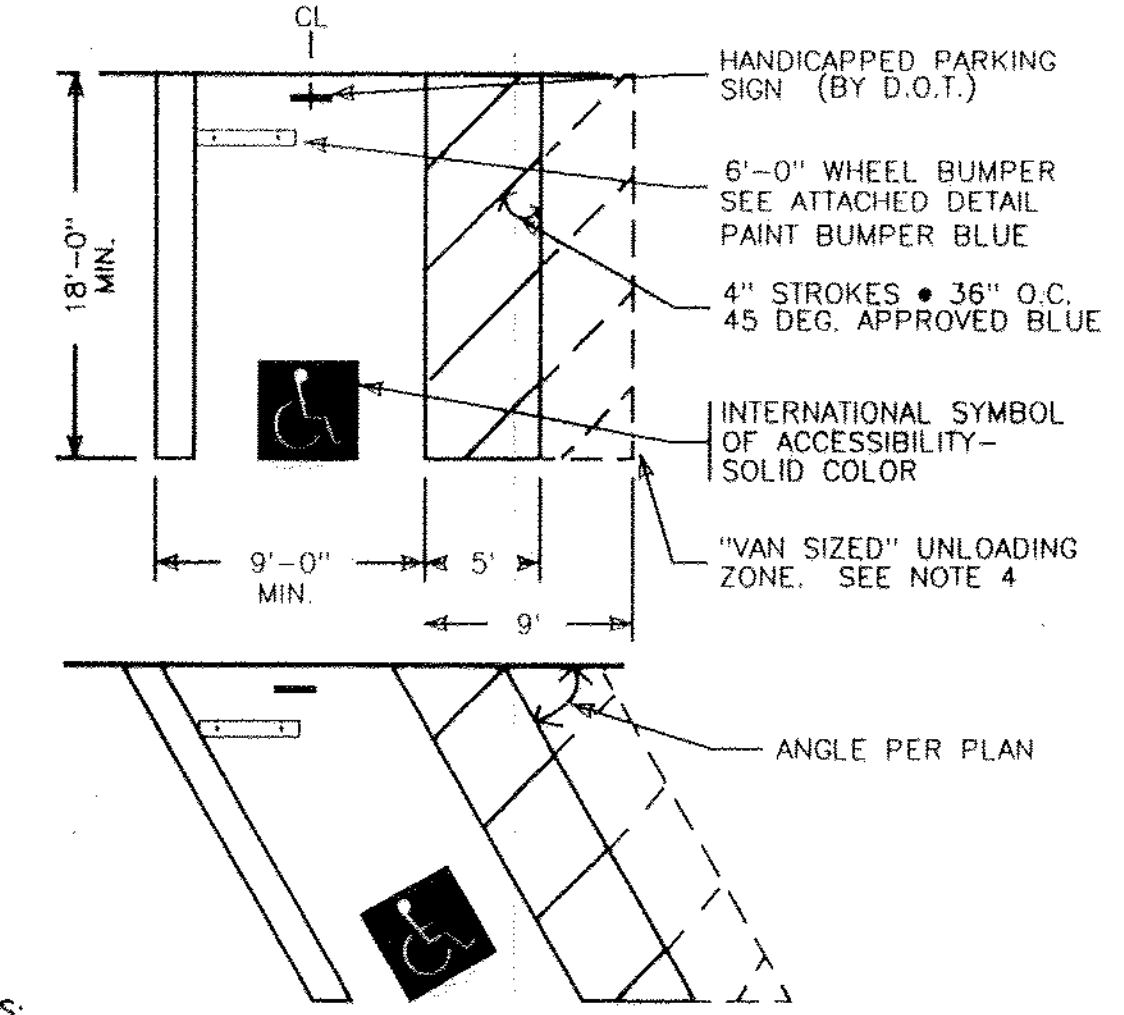
NOT TO SCALE



- NOTES:
1. INSTALL BROOKS CATCH BASIN PRODUCT MODEL: 18" X 18" CATCH BASIN W/ 5" WALLS AND W.T. 60# TRAFFIC GRATE.
 2. INSTALL SELECT BASE MATERIAL PER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. COMPACT EX. SOIL AND SELECT BASE MATERIAL TO 95% RELATIVE COMPACTION.

G CATCH BASIN DETAIL

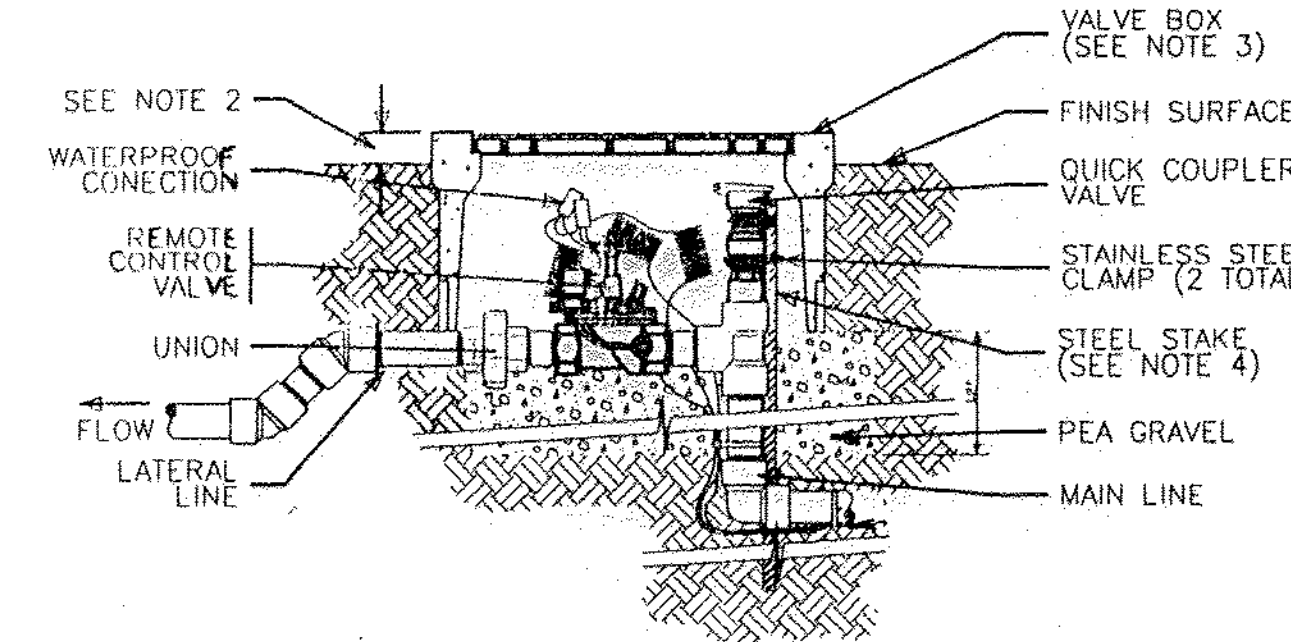
NOT TO SCALE



- NOTES:
1. ALL WORK SHALL COMPLY WITH "AMERICAN'S WITH DISABILITIES ACT (ADA) OF 1990.
 2. ALL STRIPING AND PAINTED SYMBOLS SHALL BE AN APPROVED BLUE PAINT.
 3. SEE ATTACHED 'PARKING STALL STRIPING' AND 'CONCRETE WHEEL BUMPER' DETAILS FOR INSTALLATION.
 4. SEE STRIPING PLAN FOR DESIGNATED "VAN SIZED" SPACE. PROVIDE 9' WIDE UNLOADING ZONE.

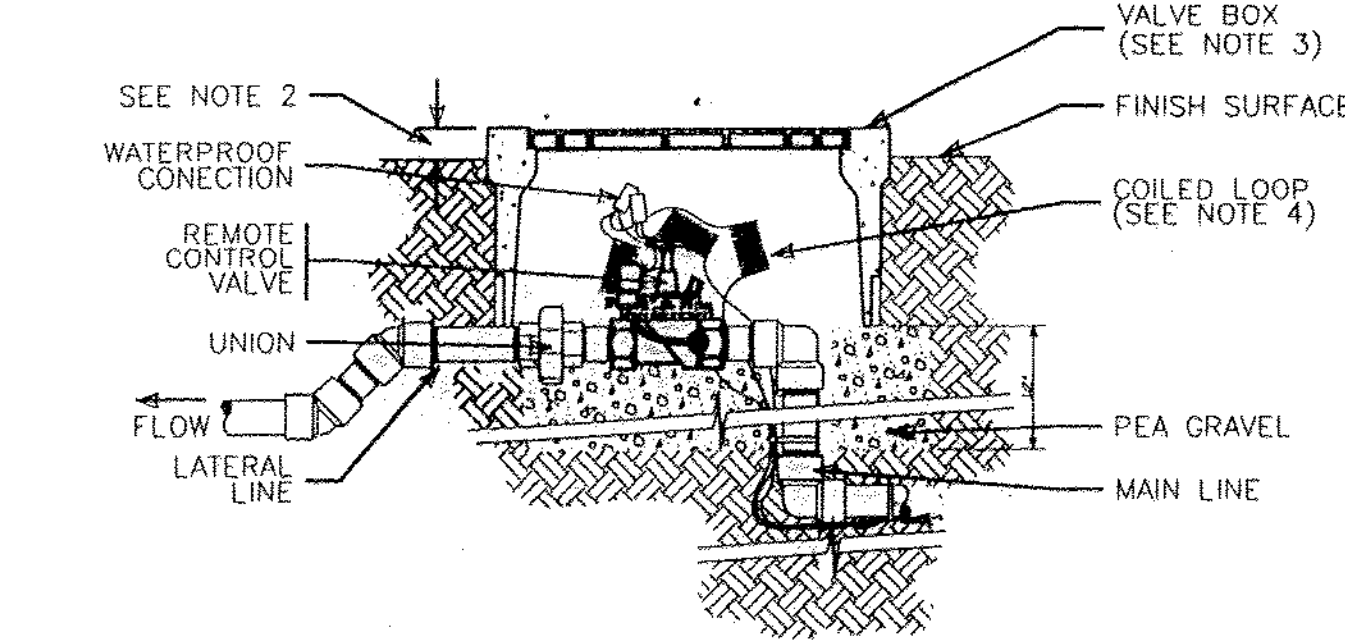
H HANDICAPPED PARKING SPACE DETAIL

NOT TO SCALE



- NOTES:
1. ALL PIPE AND FITTINGS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE SPECIFIED.
 2. FINISH SURFACE ADJACENT TO BOX CAN BE EITHER PLANTED, HARDSCAPE, OR A COMBINATION.
 3. VALVE BOX SHALL BE CONCRETE WITH A CAST IRON LID. BOX DIMENSIONS ARE 9 5/8" X 16" X 12". LID SHALL HAVE THE LETTERS "RCV OC" CAST WITH 2" LETTERS ONTO THE TOP.
 4. STAKE SHALL BE 3/4" GALVANIZED STEEL, 36" LONG. ATTACH STAKE TO QUICK COUPLER WITH STAINLESS STEEL CLAMPS AS SHOWN ABOVE.
 5. PROVIDE TWO FOOT COILED EXPANSION LOOP AT EACH WIRE CONNECTION.

SYMBOL ON PLAN

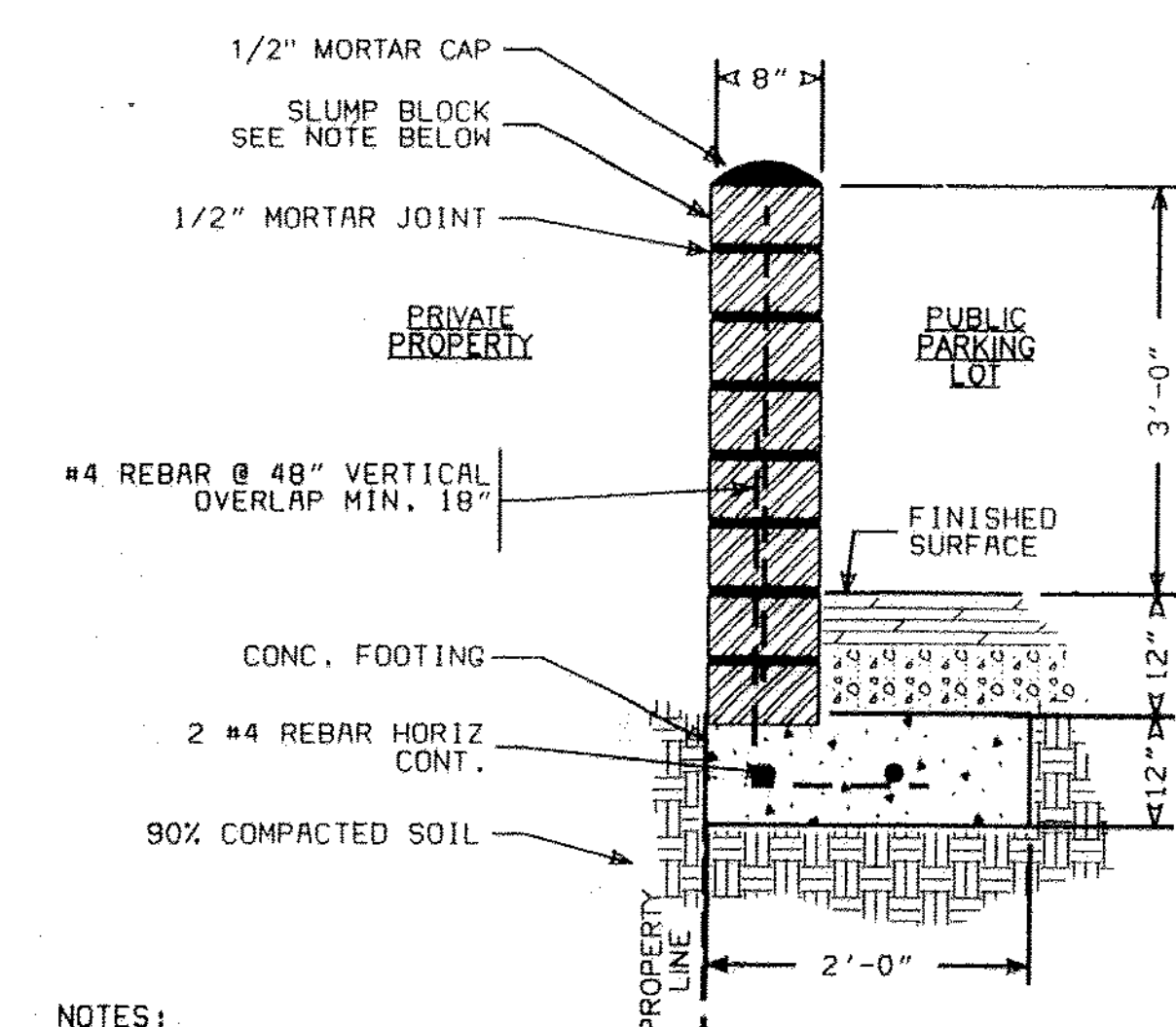


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 4. PROVIDE TWO FOOT COILED EXPANSION LOOP AT EACH WIRE CONNECTION.

SYMBOL ON PLAN

J REMOTE CONTROL VALVE

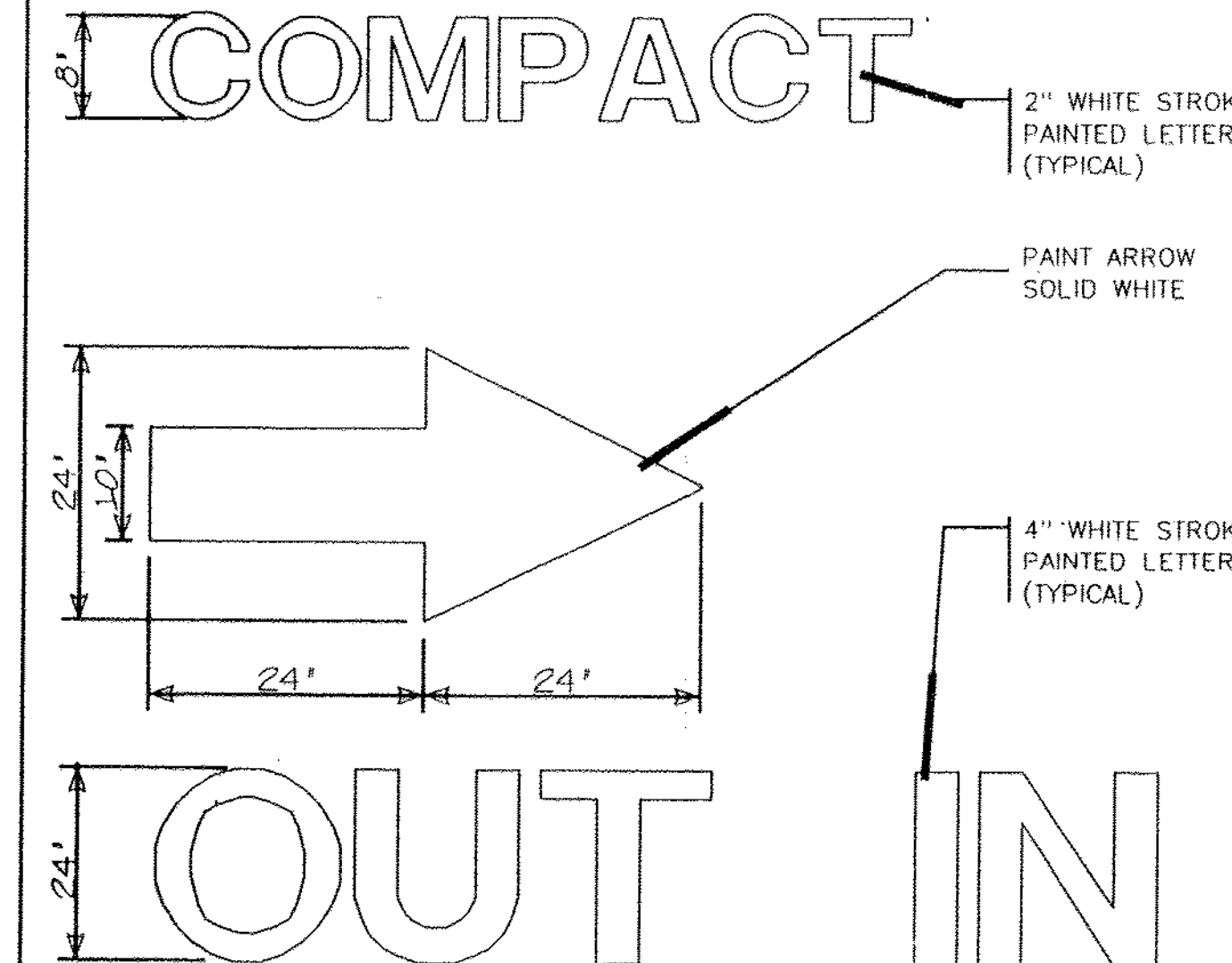
NOT TO SCALE



- NOTES:
1. BLOCK SHALL BE ANGELUS 8"x6"x16" SLUMPSTONE - COLOR: GREY.
 2. SOLID FILL ALL BLOCK CELLS WITH CONCRETE.
 3. CONCRETE FOOTING SHALL HAVE A 28 DAY STRENGTH OF 2500 P.S.I.

K PROPERTY LINE WALL DETAIL

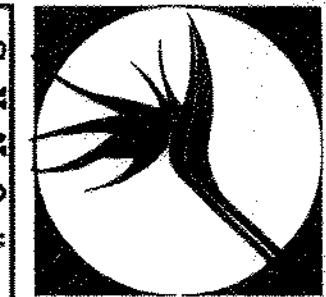
NOT TO SCALE



L TYPICAL LETTERS AND ARROWS

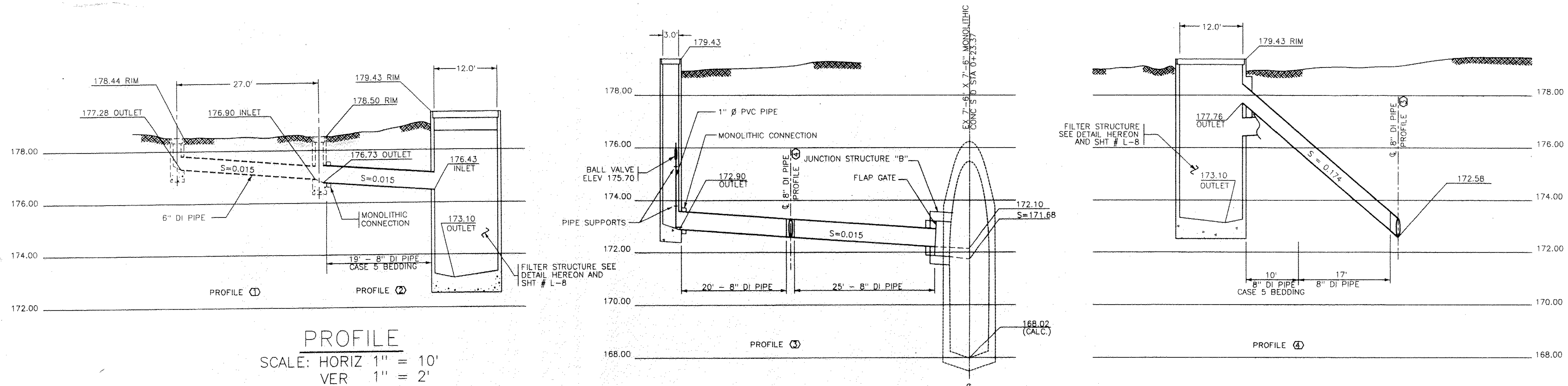
NO SCALE

| | | | |
|---|----------------------|--|-------------|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | | BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825 | |
| CITY ENGINEER | DEPUTY CITY ENGINEER | PRINCIPAL ARCHITECT | |
| STRUCTURAL ENG. | BLOG. MECH. ENG. | BLOG. ELEC. ENG. | |
| CONSTRUCT OFF-STREET PARKING LOT | | 42/707 BICO-MOVABLE OFF-STREET PARKING LOT - PHASE 2 10309 WEST PICO BOULEVARD, LOS ANGELES CA FOR: DEPARTMENT OF TRANSPORTATION | |
| DETAIL SHEET | BLDG. NO. | WORK ORDER NO. | PLAN NO. |
| | 42/707 | E1560012 | 7988 |
| | DATE | JUN 12 12 | JOB CAPTAIN |
| | | | BSL |
| | | | CHECKED BY |
| | | | AD |
| | | | SHEET NO. |
| | | | L-6 |
| OF 11 | SHTS | BLDG. NO. | 42/707 |
| CPRA-15-BOE-000369 | | ENG. 6.104 4/888F | |

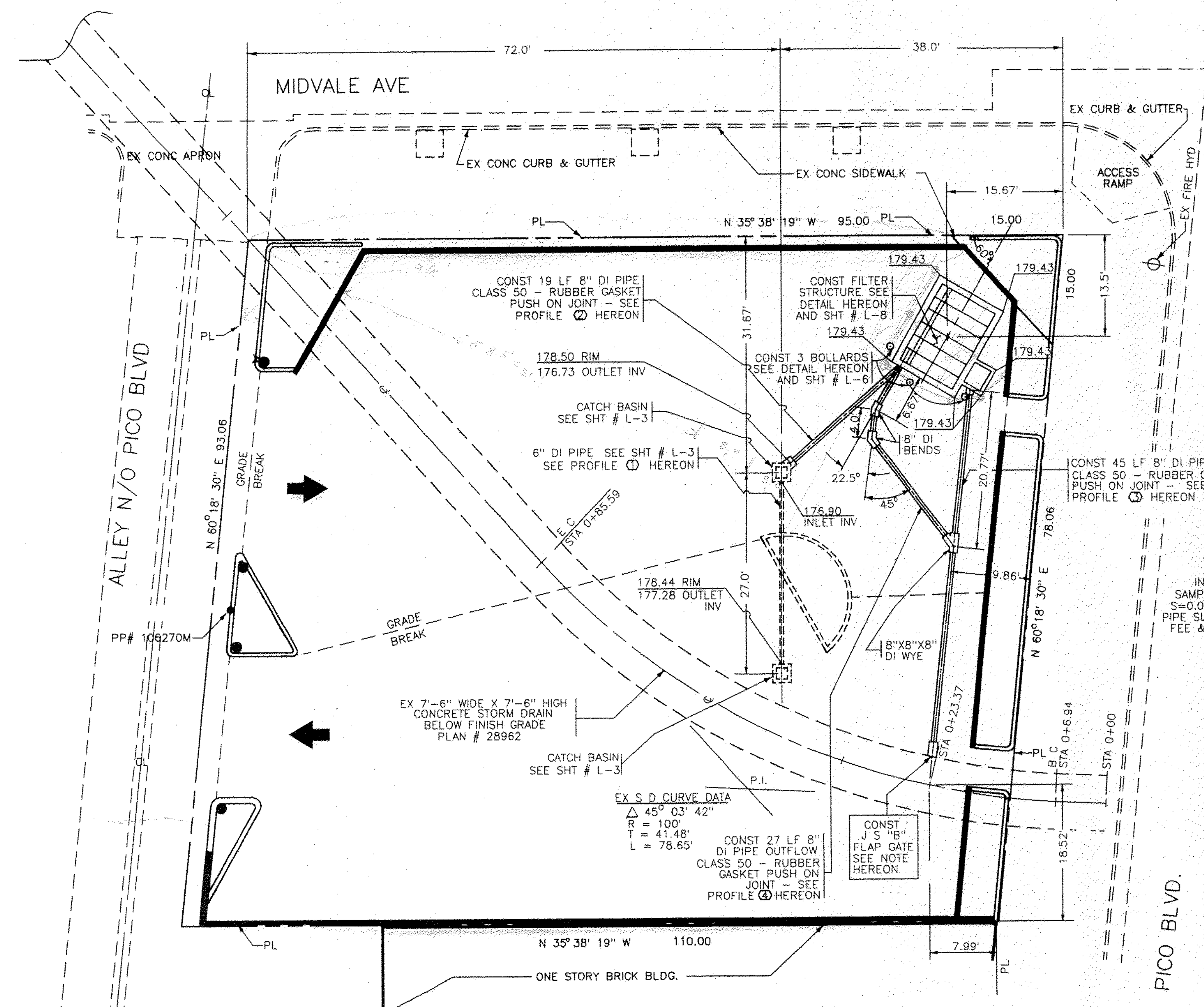


CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS

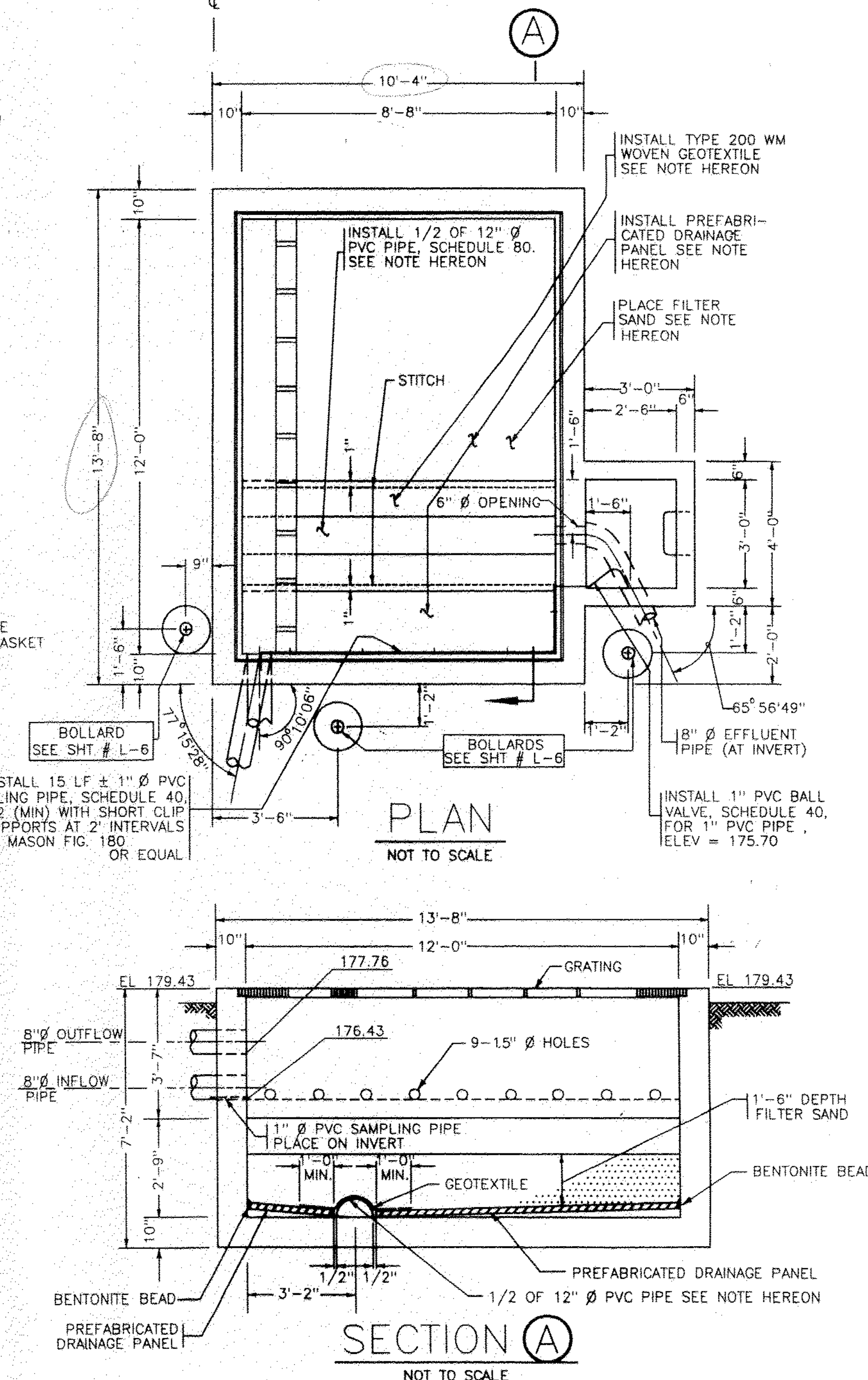
BUREAU OF ENGINEERING
ROBERT S. HORII CITY ENGINEER
ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 800 PHONE 465-5925



PROFILE
SCALE: HORIZ 1" = 10'
VER 1" = 2'



STRIP FILTER PLAN
SCALE 1" = 10'-0"



STRIP FILTERS CONSENT DECREE CONSTRUCTION PLAN
W.O.E2000433

CONSTRUCTION NOTES

STANDARD PLANS FOR THIS PROJECT

CITY OF LOS ANGELES

- S-610 NOTICE TO CONTRACTORS - COMPREHENSIVE
- S-251-1 PIPE LAYING IN TRENCHES
- S-302-1 JUNCTION STRUCTURE "B"
- S-331-1 MONOLITHIC CONNECTION
- S-348-1 STEEL STEP FOR CONCRETE STRUCTURES

LACFCD

- 2-D192 AUTOMATIC FLAP GATE INLETS TO STORMDRAINS

J S "B" DATA AT STA 0 + 23.37:

A = 83' 49' 08" B = 21' C = 7.87' D = 7.50'
E = 1.83' F = 4.88' G = 3.75' L = 2.60'
MODIFIED FLAP GATE DATA:
D = 8" Z = 5"

STRIP FILTER DRAINAGE SYSTEM:

- FABRICATE THE 1/2 OF 12" DI PVC PIPE PER NOTE NO. 9 ON SHEET L-9 AND PLACE ON THE INVERT OF THE FILTER STRUCTURE AS SHOWN HEREON AND ON SHEET L-8. SEAL AT BOTH ENDS WITH MATERIAL APPROVED BY ENGINEER TO PREVENT LEAKAGE.
- INSTALL APPROX 94 SF PREFABRICATED DRAINAGE PANEL PER SPECIAL PROVISIONS DIRECTLY ON THE INVERT OF THE FILTER STRUCTURE WITH FABRIC SIDE UP. INSTALL IN TWO SECTIONS ON BOTH SIDES OF THE 1/2 OF 12" DI PVC PIPE. SEAL AT THE WALLS OF THE FILTER STRUCTURE WITH 1" BENTONITE BEAD IN ORDER TO PREVENT LEAKAGE.
- PLACE APPROX 31 SF TYPE 200 WM WOVEN GEOTEXTILE OVER THE 1/2 OF 12" DI PVC PIPE. OVERLAP THE WOVEN GEOTEXTILE 1'-0" MIN ONTO THE PREFABRICATED DRAINAGE PANEL ON BOTH SIDES OF PIPE AND STITCH TO PREFABRICATED DRAINAGE PANEL 1" FROM EDGE ON BOTH SIDES WITH STITCHING MATERIAL TO BE APPROVED BY THE ENGINEER.
- PLACE APPROX 5.8 CY FILTER SAND OVER THE PREFABRICATED DRAINAGE PANEL, WOVEN GEOTEXTILE, AND PIPE TO A DEPTH OF 1'-6" THE FILTER SAND SHALL HAVE AN EFFECTIVE SIZE OF 0.5 MM AND A UNIFORMITY COEFFICIENT NOT GREATER THAN 1.65. EFFECTIVE SIZE IS THE 10 PERCENTILE DIAMETER. UNIFORMITY COEFFICIENT IS THE RATIO OF THE 60 PERCENTILE DIAMETER TO THE 10 PERCENTILE DIAMETER.

| CITY ENGINEER | DEPUTY CITY ENGINEER | ARCHITECT | STRUCTURAL ENG. | BLOG. MECH. ENG. | BLOG. ELEC. ENG. |
|--|----------------------|-----------|-----------------|------------------|------------------|
| | | | | | |
| STRIP FILTERS CONSENT DECREE CONSTRUCTION PLAN | | | | | |
| CONSTRUCT OFF-STREET PARKING LOT | | | | | |
| 42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 | | | | | |
| 10809 WEST PICO BOULEVARD, LOS ANGELES CA | | | | | |
| FOR: DEPARTMENT OF TRANSPORTATION | | | | | |
| BLOG. NO. | 42/707 | | | | |
| WORK ORDER NO. | E1560012 | | | | |
| PLAN NO. | 7988 | | | | |
| DATE | 11-22-91 | | | | |
| JOB CAPTAIN | CN | | | | |
| DRAWN BY | NPP | | | | |
| CHECKED BY | JAC | | | | |
| SHEET NO. | L-7 | | | | |
| BLDG. NO. | 42/707 | | | | |
| SHEET OF | SHEETS | | | | |
| INDEX NUMBER | INDEX NUMBER | | | | |

STRUCTURAL NOTES

1. Reinforcing bars shall be intermediate grade, deformed bars conforming to ASTM designation A615, including Supplement S1, grade 60.
2. Bar spacings are center to center of bars. Bar cover is clear distance between surface of bar and face of concrete and shall be as follows unless otherwise noted:
- a. Concrete deposited against earth: 3"
 - b. Invert: 2 1/2"
 - c. All other bars: 2"
3. a. Reinforcement shall terminate 2" from concrete surface unless otherwise noted.
- b. Bars may be continuous in lieu of splicing
 - c. Hooked bars shall have standard hooks.
4. All concrete shall be Class 560-C-3250 unless otherwise specified.
5. All structural steel shall conform to ASTM A36. All structural steel and connections shall be galvanized after fabrication.
6. All welding shall be done by Los Angeles City Building Department certified welder using approved electrodes.
7. All field welds shall be thoroughly cleaned and painted with organic zinc rich paint, Galvanox Type I, as manufactured by Wyandotte Chemical Co., or approved equal.
8. Grating shall be 1KG Borden pressure locked grating Type "B" or an approved equal. Grating shall be galvanized after fabrication.
9. Invert PVC pipe shall be 12" dia. schedule 80 with 2 rows one inch dia. holes spaced 3" o.c., 180° apart. Contractor shall cut the pipe in half along centerline of holes.
10. The Contractor shall submit the shop drawings of gratings before fabrication to the Engineer for approval

DESIGN DATA

LIVE LOAD

Pedestrian 150 p.s.f.

DEAD LOAD

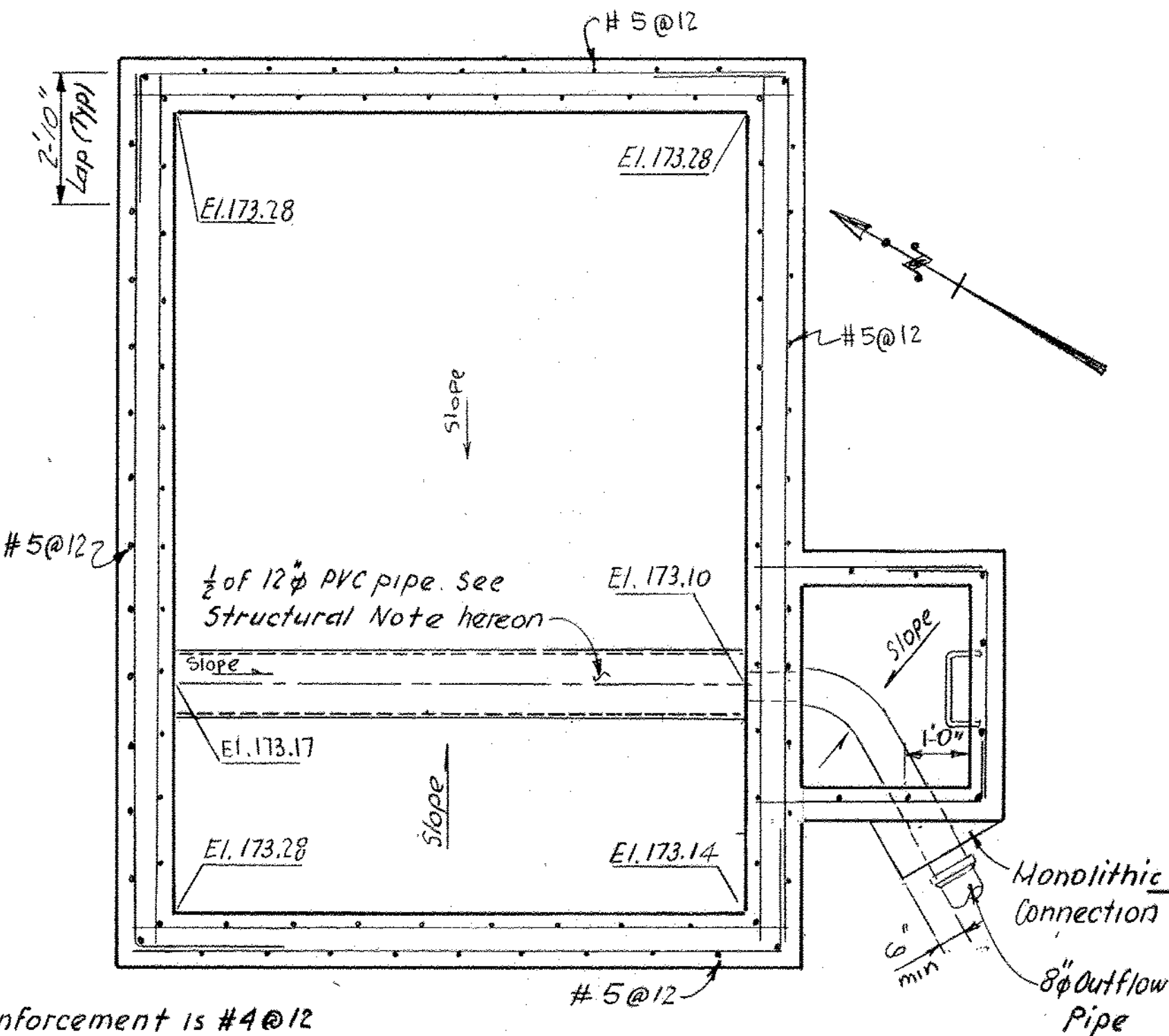
Concrete: 150 p.c.f.
Soil: 115 p.c.f.

LATERAL EARTH PRESSURE

E.F.P. (Level Backfill) 36 p.c.f. + 2' surcharge

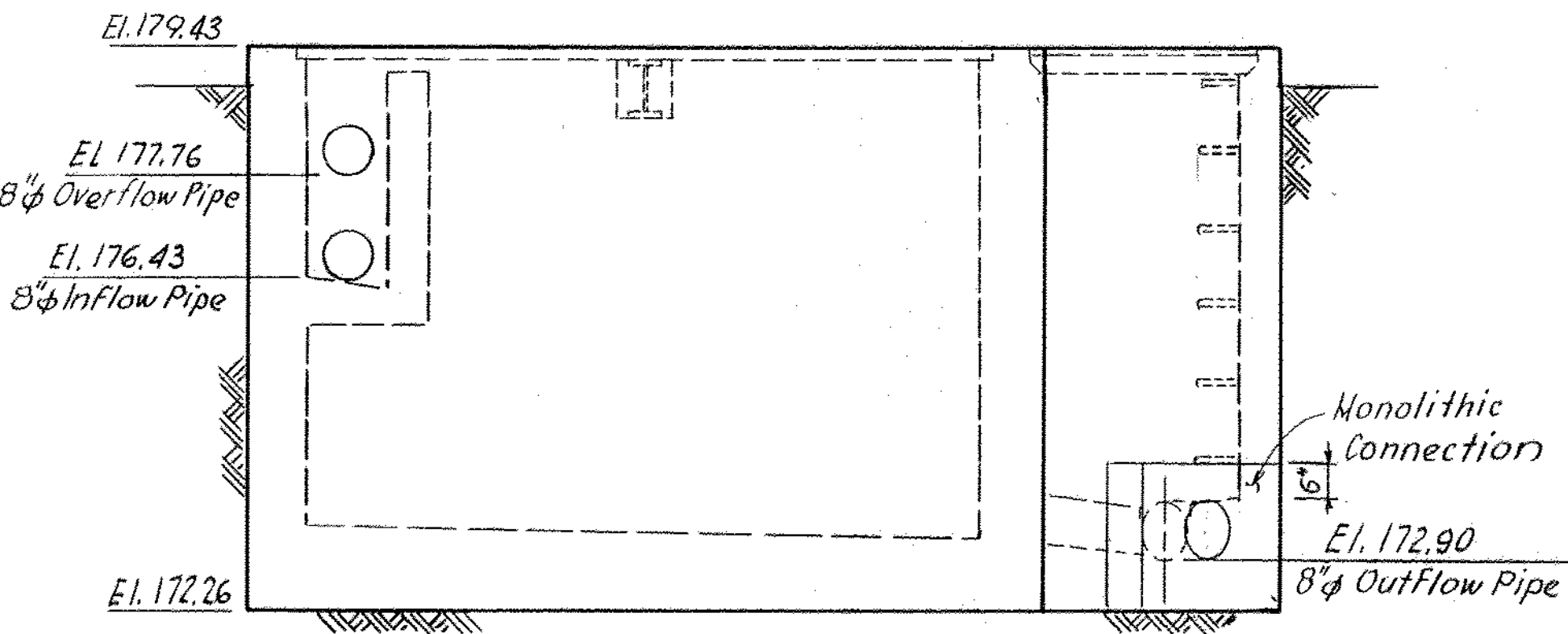
ALLOWABLE STRESSES

Concrete: $F_c = 3,250$ p.s.i. @ 28 days
Reinforcement $F_y = 60,000$ p.s.i.
Soil Bearing Pressure $P = 2,000$ p.s.f.



Notes: 1. All reinforcement is #4@12 except as shown

INVERT PLAN
Scale: 1/2" = 1'-0"



ELEVATION
Scale: 1/2" = 1'-0"

Revised 8/10/93
Contract AD did a "partial" final insp. on 7/20/93 and is doing a "Full Final" Insp. today.
Handled

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING
ROBERT S. HORII CITY ENGINEER

ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890
PHONE 485-5825

CITY ENGINEER
DEPUTY CITY ENGINEER

DIVISION ENGINEER (E-094)
L. W. JONES
JULY 11, 1993

STRUCTURAL NOTES AND DETAILS

CONSTRUCT OFF-STREET PARKING LOT
42/707 PICO-MIDVAL OFF-STREET PARKING LOT - PHASE 2
10909 WEST PICO BOULEVARD, LOS ANGELES, CA.
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO.
42 / 707

WORK ORDER NO.
E1560012

PLAN NO.
7988

DATE
11-15-91

JOB CAPTAIN

DRAWN BY
D.T.

CHECKED BY

SHEET NO.
L-9

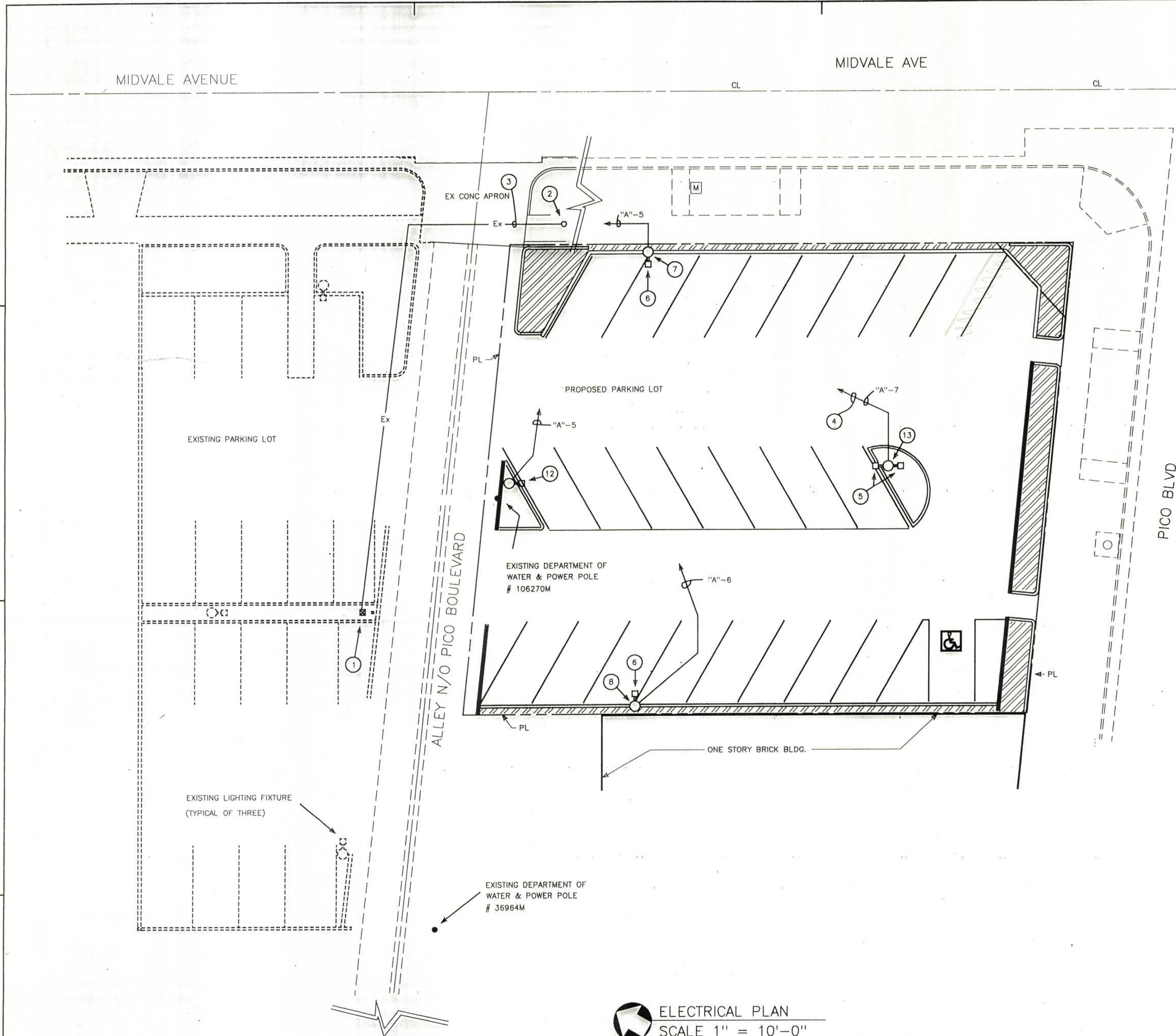
BLDG. NO. 42 / 707

SHEET OF SHEETS

INDEX NUMBER

STRIP FILTERS CONSENT DECREE
CONSTRUCTION PLAN W.O. E2000433

OF 11 SHTS
ENG. 6.104 4/BBRF

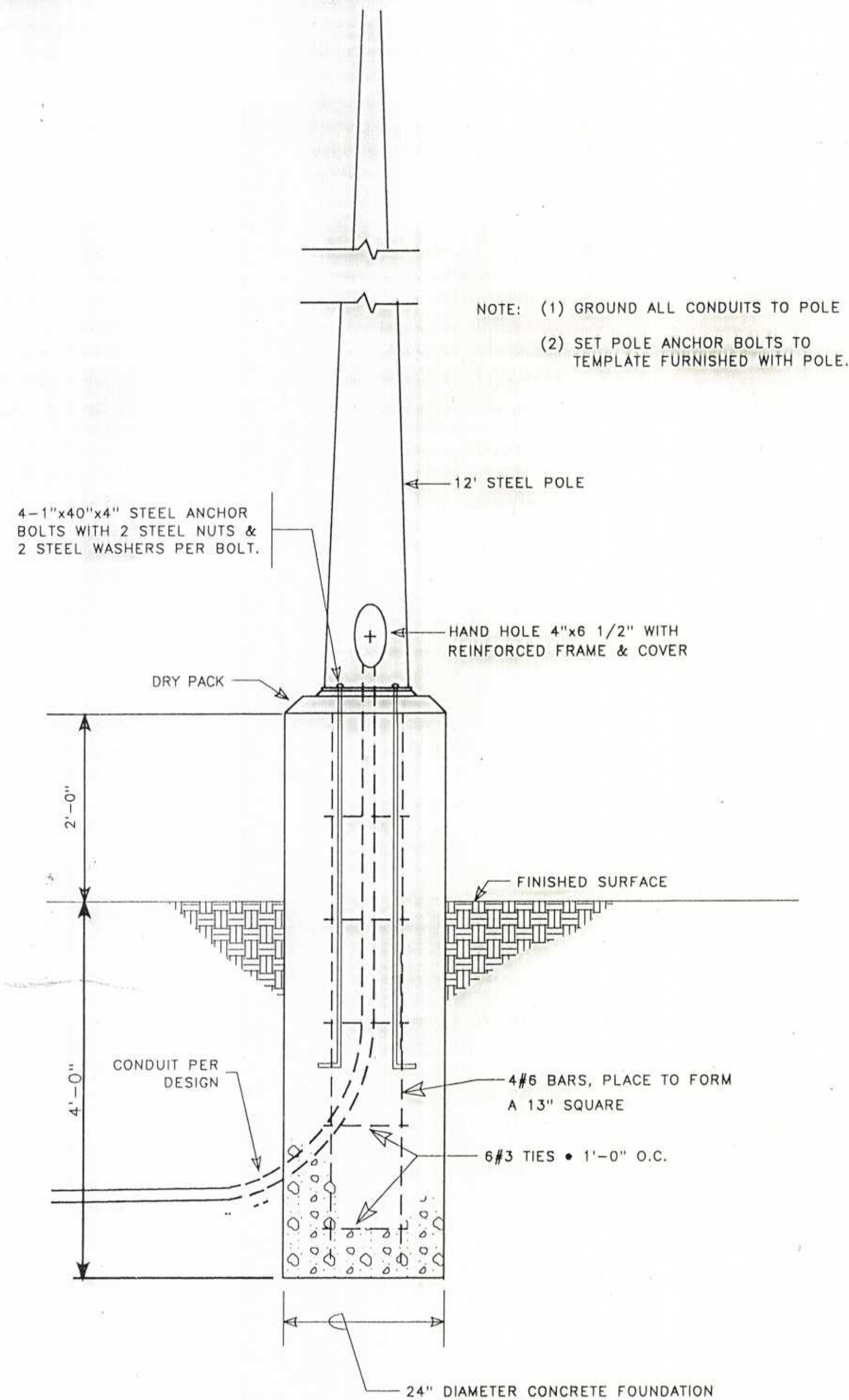


ELECTRICAL PLAN
SCALE 1" = 10'-0"

NOTES (ELECTRICAL)

- ① EXISTING UNDERGROUND SERVICE PEDESTAL. PROVIDE & INSTALL THREE-1P-20 AMP. CIRCUIT BREAKERS IN SPACES 5,6 & 7 OF EXISTING PANEL "A".
- ② EXISTING UNDERGROUND ELECTRICAL PULL BOX. (APPROX. LOCATION SHOWN ONLY).
- ③ EXISTING 1" CO(E) TERMINATING AT ②. PROVIDE & INSTALL 5#10 CONDUCTORS IN EXISTING 1"CO(E). CONNECT TO ①.
- ④ PROVIDE & INSTALL 3/4"(C)-2#10 SOLID TYPE CONDUCTORS. CIRCUIT AS SHOWN. CONNECT TO ②. (TYPICAL).
- ⑤ PROVIDE & INSTALL TWO 250 WATT, METAL HALIDE LIGHTING FIXTURES WITH PHOTO - CELL. 120 VOLT OPERATION. " KIM " CAT. # 2B/EKG401/250MH120/BL-E/A-25.
- ⑥ PROVIDE & INSTALL A 250 WATT, METAL HALIDE LIGHTING FIXTURE WITH PHOTO - CELL & FACTORY INSTALLED HOUSE SIDE GLARE REDUCING SHIELD. 120 VOLT OPERATION. " KIM " CAT. # 1A/EKG401/250MH120/BL-E/HS/A-25.
- ⑦ CENTERLINE OF POLE FOOTING TO BE ALIGNED WITH CENTERLINE OF NEW 3'-6" BLOCK WALL.
- ⑧ PROVIDE & INSTALL A 12 FOOT HIGH, SQUARE, NON-TAPERED STEEL POLE. "KIM" CAT. # PSS12-4120/A/BL-E. (TYPICAL OF THREE). SEE SHEET E-2 FOR POLE FOOTING DETAIL.
- 9 ALL CONDUCTORS TO BE TYPE THHN-THWN.
- 10 TOP OF ALL UNDERGROUND CONDUIT SHALL BE A MINIMUM OF TWO FEET BELOW FINISHED GRADE.
- 11 FOLLOWING THE INSTALLATION OF ALL REQUIRED WORK; REPAIR & REPLACE IN KIND, COLOR & FINISH, ALL SIDEWALKS, CURBS, PAVING, ETC. REMOVED OR DAMAGED FOR THE PURPOSE OF INSTALLING THE REQUIRED ELECTRICAL EQUIPMENT (INCLUDING THE LIGHTING FIXTURES).
- ⑫ SAME AS ⑥, EXCEPT WITHOUT HOUSE SIDE GLARE REDUCING SHIELD. " KIM " CAT. # 1A/EKG401/250MH120/BL-E/A-25.
- ⑬ SAME AS ⑧, EXCEPT " KIM " CAT. # PSS12-4120/B/BL-E.

| | | | |
|--|--|---|--|
| | | CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | |
| BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825 | | | |
| CITY ENGINEER DEPUTY CITY ENGINEER PRINCIPAL ARCHITECT | | | |
| ARCHITECT STRUCTURAL ENG. BLOG. MECH. ENG. BLOG. ELEC. ENG. | | | |
| ELECTRICAL PLAN & NOTES CONSTRUCT OFF-STREET PARKING LOT - PHASE 2 42/707 PICO-MIDVALE OFF STREET PARKING LOT - PHASE 2 2177 MIDVALE AVENUE, LOS ANGELES CA FOR: DEPARTMENT OF TRANSPORTATION | | INDEX NUMBER | |
| BLDG. NO. 42/707 | | BLDG. NO. 42/707 | |
| WORK ORDER NO. E1560012 | | SHEET OF SHEETS | |
| PLAN NO. 7182 | | DATE 2-25-92 | |
| JOB CAPTAIN LO | | DRAWN BY SL | |
| CHECKED BY EN | | SHEET NO. E-1 | |
| OF | | SHTS | |



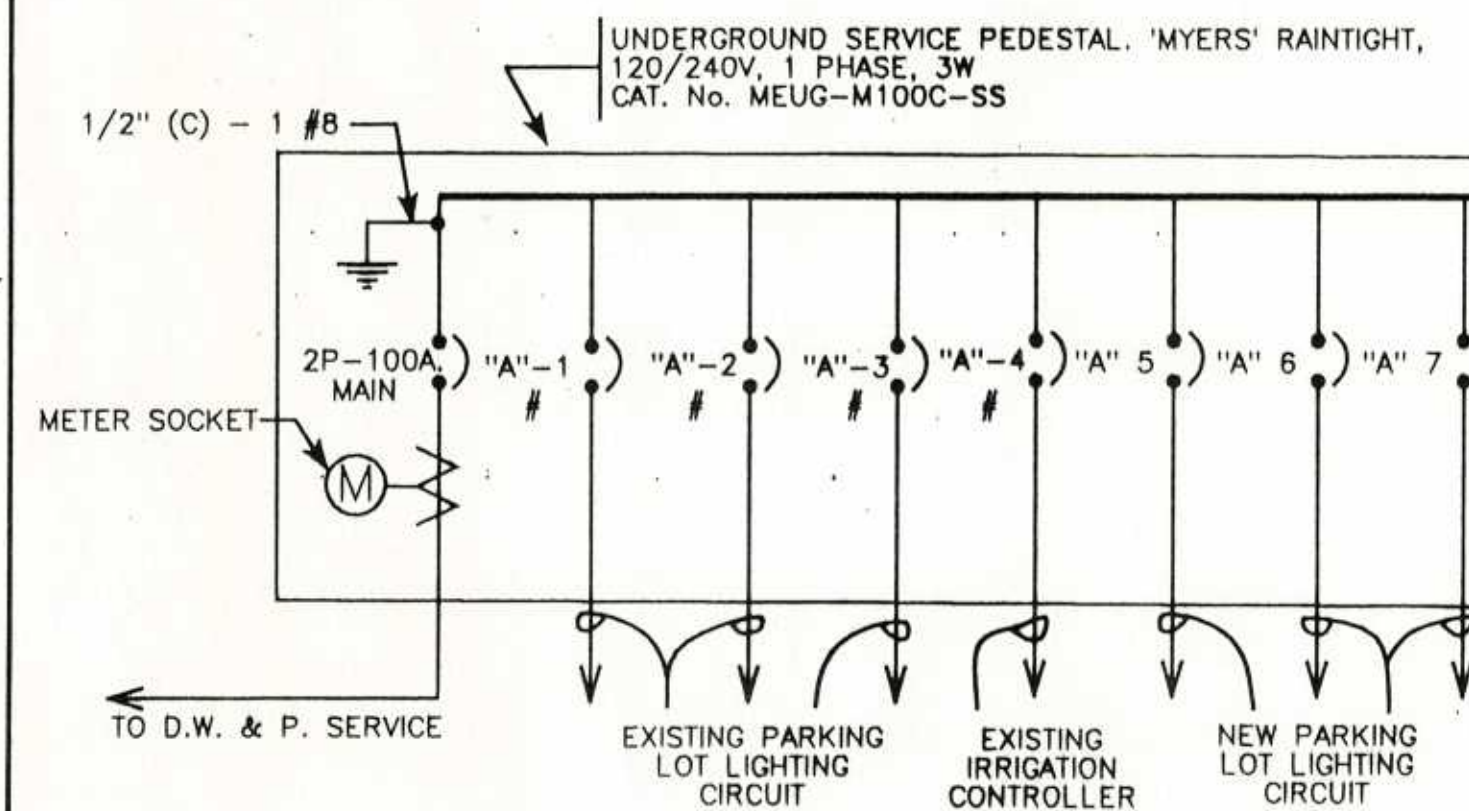
LIGHTING STANDARD & FOOTING
NO SCALE

| | | | | | | | | | | | | | | | | | | | |
|-----------------------|--|------------|--|---------|--|---------|--|-------|--|-----------------------|--|---------------------------|--|-------|--|-----------|--|-----|--|
| VOLTS | | 120 / 240 | | | | | | | | | | | | | | | | | |
| PHASE | | 1 | | | | PANEL | | " A " | | MAIN BREAKER 100 AMP. | | | | | | | | | |
| WIRES | | 3 | | | | | | | | BUS SIZE 100 AMP. | | | | | | | | | |
| CIR. NO. | | CIR. BRKR. | | OUTLETS | | REMARKS | | WATTS | | | | | | | | | | | |
| | | POLE | | AMP | | LTS. | | REC. | | MISC. | | L-1 | | L-2 | | L-3 | | | |
| 1 | | 1 | | 15 | | 1 | | | | | | 250 WATT LIGHTING FIXTURE | | 300 | | | | | |
| 2 | | 1 | | 15 | | 1 | | | | | | 250 WATT LIGHTING FIXTURE | | 300 | | | | | |
| 3 | | 1 | | 15 | | 1 | | | | | | 250 WATT LIGHTING FIXTURE | | 300 | | | | | |
| 4 | | 1 | | 15 | | | | | | 1 | | IRRIGATION CONTROLLER | | 180 | | | | | |
| 5 | | 1 | | 15 | | 2 | | | | | | 250 WATT LIGHTING FIXTURE | | 600 | | | | | |
| 6 | | 1 | | 15 | | 1 | | | | | | 250 WATT LIGHTING FIXTURE | | 300 | | | | | |
| 7 | | 1 | | 15 | | 2 | | | | | | 250 WATT LIGHTING FIXTURE | | 600 | | | | | |
| 8 | | | | | | | | | | | | | | | | | | | |
| 9 | | | | | | | | | | | | | | | | | | | |
| 10 | | | | | | | | | | | | | | | | | | | |
| 11 | | | | | | | | | | | | | | | | | | | |
| 12 | | | | | | | | | | | | | | | | | | | |
| SUB-TOTALS | | | | | | | | | | | | 1500 | | 1080 | | | | | |
| TOTAL WATTS | | | | | | | | | | | | | | = | | 2580 | | | |
| L.C.L. WATTS | | | | | | | | | | | | 2400 | | x0.25 | | = | | 600 | |
| TOTAL LOAD | | | | | | | | | | | | | | = | | 3180 | | | |
| A.I.C. 10 000 MINIMUM | | | | | | | | | | | | | | | | | | | |
| LINE AMPS | | | | | | | | | | | | | | = | | 13.3 AMPS | | | |

PANEL SCHEDULE

DENOTES EXISTING LOAD

SHORT CIRCUIT CURRENT AT SERVICE: 7200
ALL BREAKERS SHALL BE MINIMUM: 10 000 A.I.C.



SINGLE LINE DIAGRAM

DENOTES EXISTING LOAD



SCHEME A

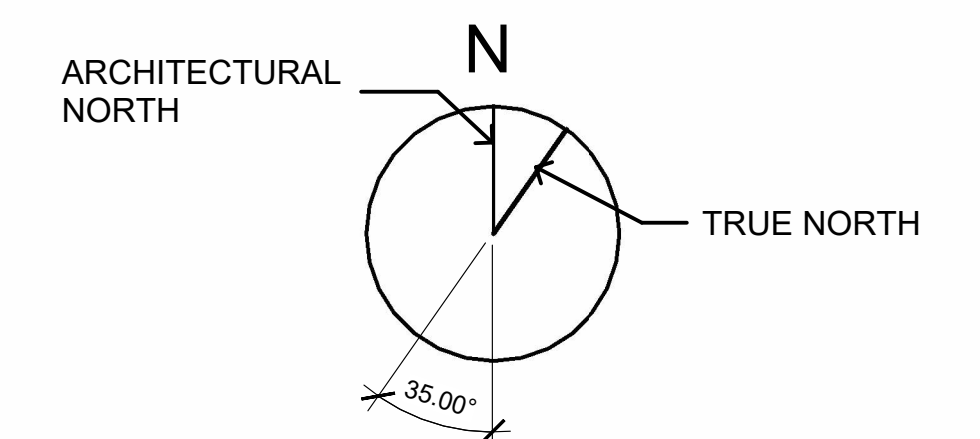
- AMENITIES DISTRIBUTED BETWEEN NORTH AND SOUTH CAMPUS
- 31 TOTAL SLEEPING UNITS, INCLUDING 4 ADA

NORTH CAMPUS (RESIDENTIAL ZONING):

- SLEEPING UNITS
- COMMUNITY BUILDING
- OFFICES
- STORAGE BUILDING

SOUTH CAMPUS (SPECIAL OVERLAY DISTRICT/COMMERCIAL):

- SLEEPING UNITS
- LAUNDRY
- SHADED OUTDOOR AREA
- DOG RUN
- PARKING (3 STANDARD + 1 ADA)





SCHEME E

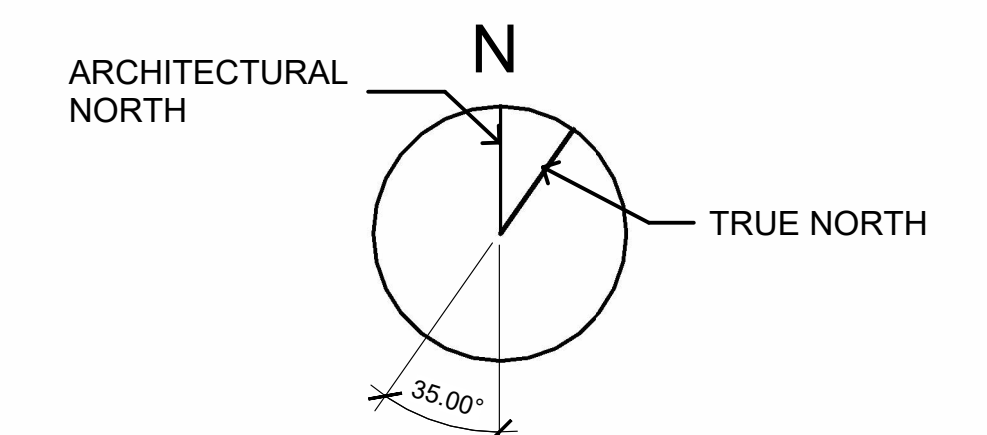
- AMENITIES CENTRALIZED IN SOUTH CAMPUS
- 31 TOTAL SLEEPING UNITS, INCLUDING 4 ADA

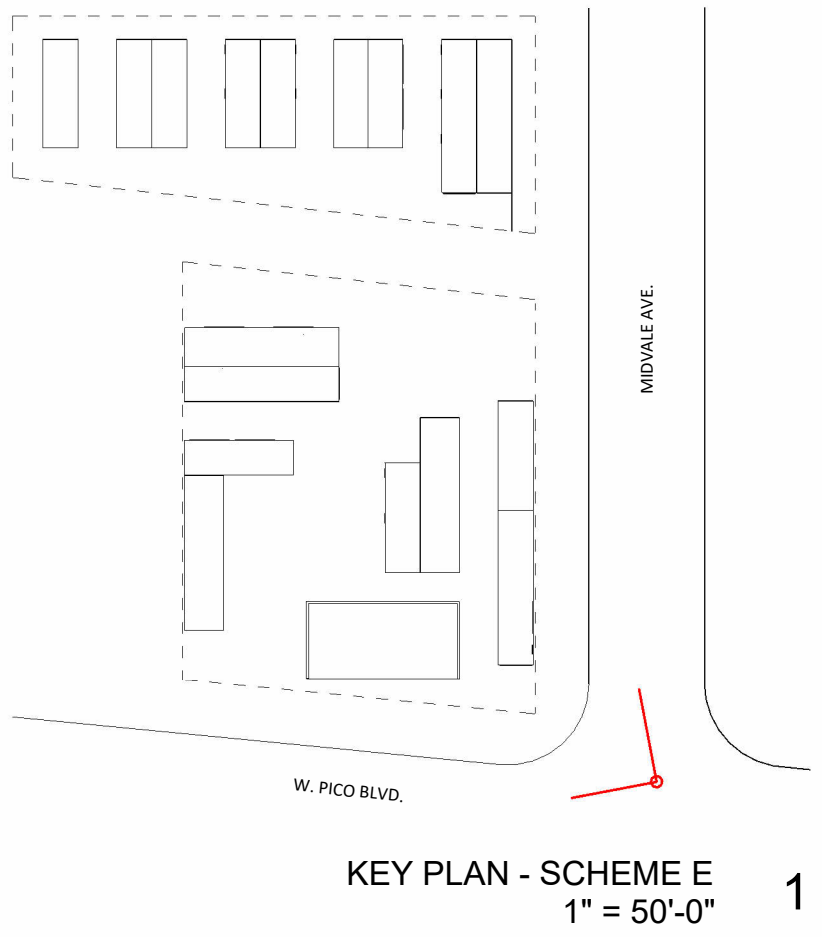
NORTH CAMPUS (RESIDENTIAL ZONING):

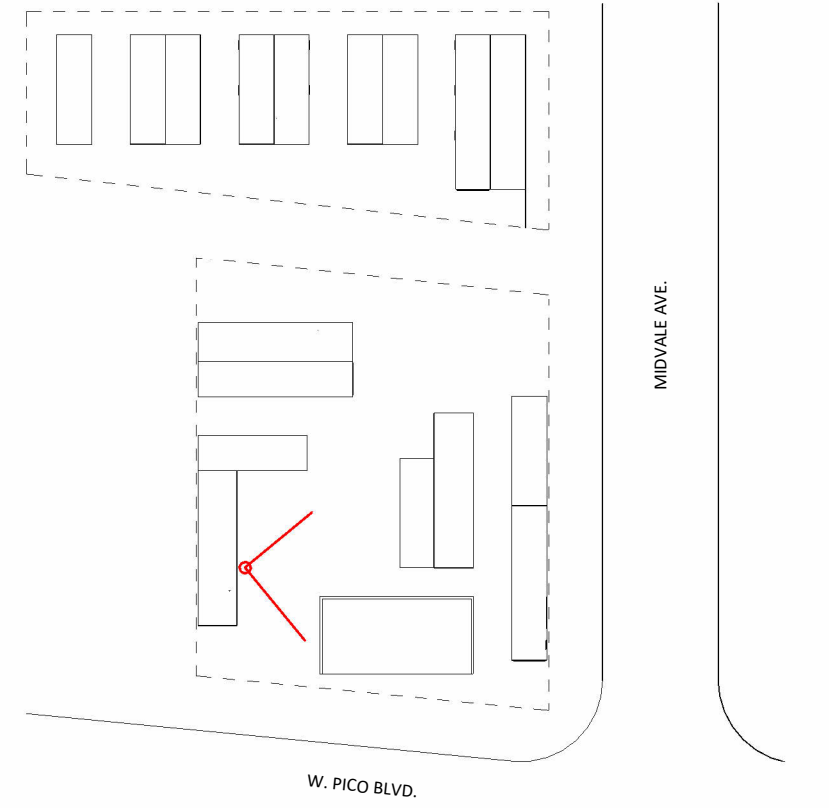
- SLEEPING UNITS

SOUTH CAMPUS (SPECIAL OVERLAY DISTRICT/COMMERCIAL):

- SLEEPING UNITS
- COMMUNITY BUILDING
- STORAGE BUILDING
- LAUNDRY FACILITY
- OFFICES
- SHADED OUTDOOR AREA
- DOG RUN
- PARKING (3 STANDARD + 1 ADA)

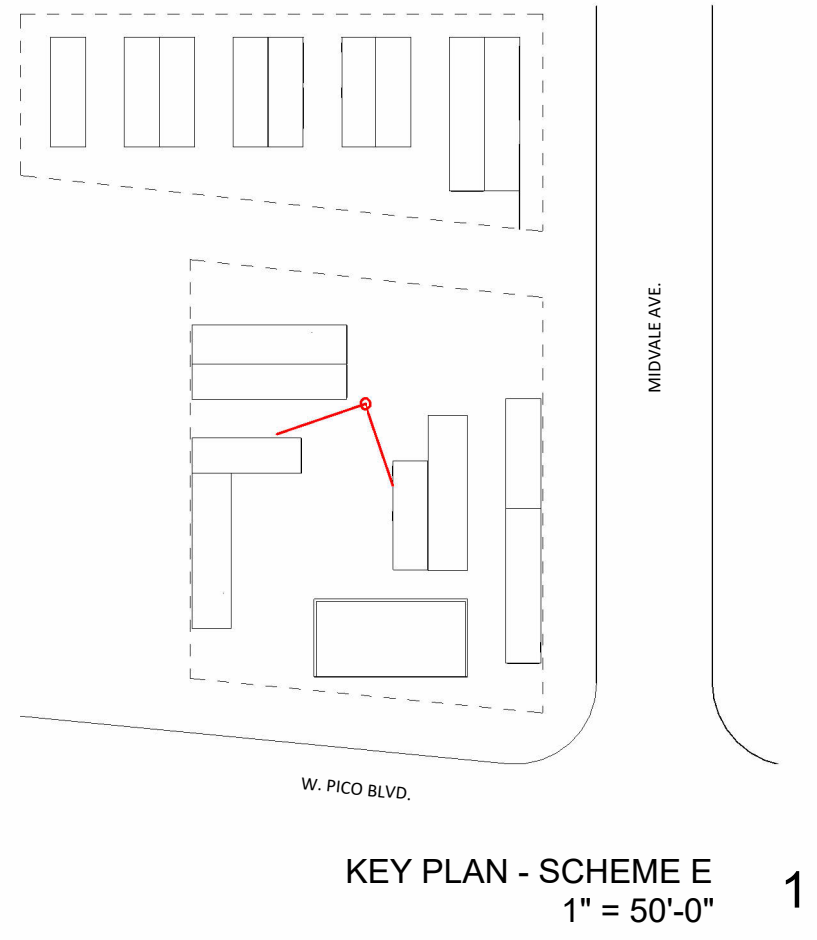


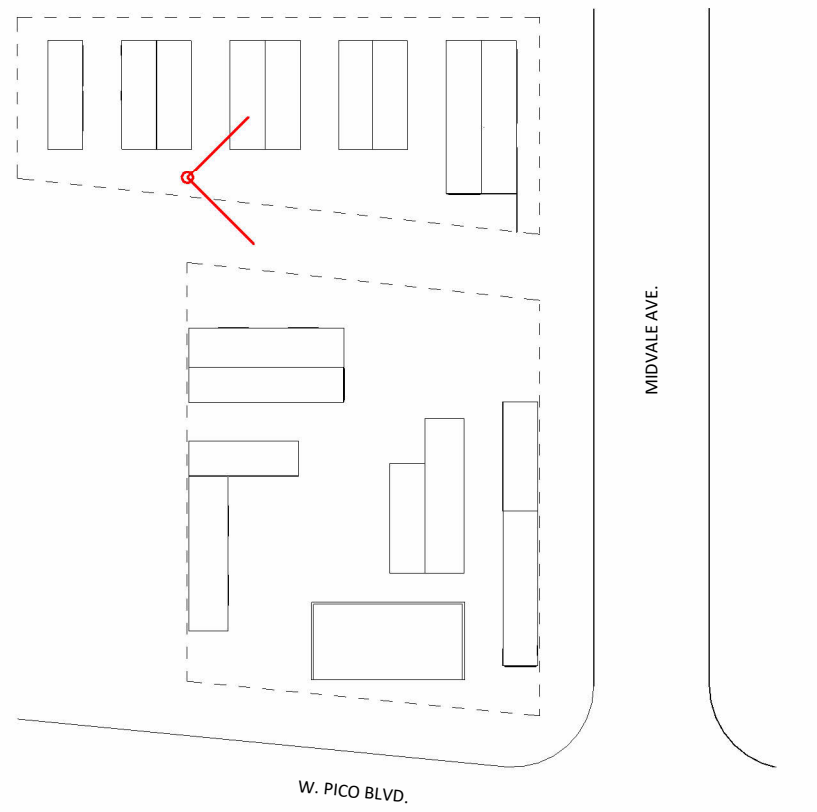




KEY PLAN - SCHEME E
1" = 50'-0"

1





KEY PLAN - SCHEME E
1" = 50'-0"



LEFT: SHELTER INTERIOR. IMAGES ABOVE: ILLUSTRATE POTENTIAL LOOK AND FEEL OF THE SHELTER.



HOMEKEY MOUNTAIN VIEW SHELTER PROJECT

- LOCATED IN MOUNTAIN VIEW, CA
- PROJECT COMPLETED 2021

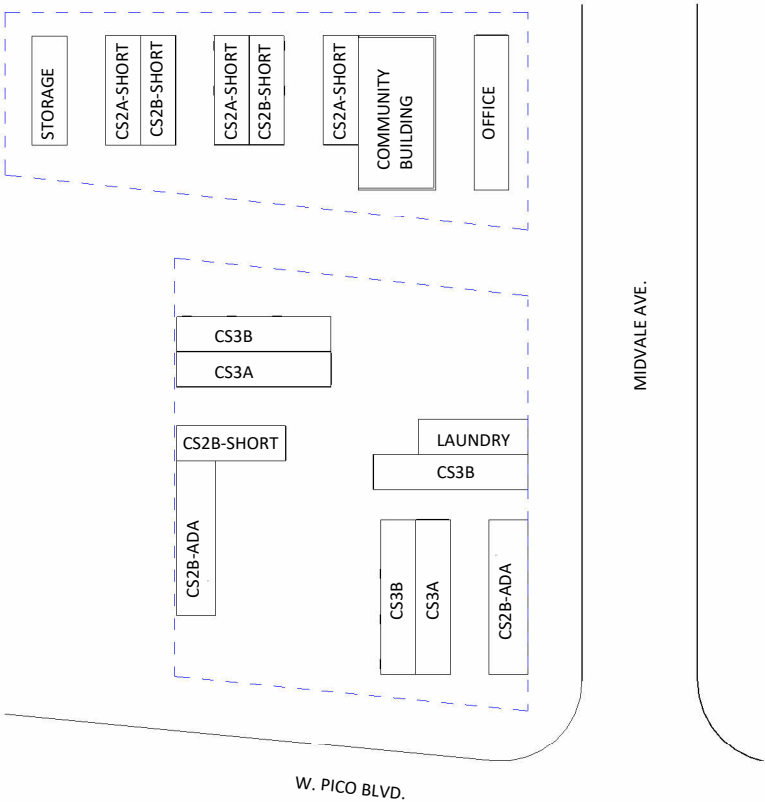
LEFT: COMMUNITY BUILDING. TOP RIGHT: INTERIOR OF COMMUNITY BUILDING. BOTTOM RIGHT: SHELTER UNITS.



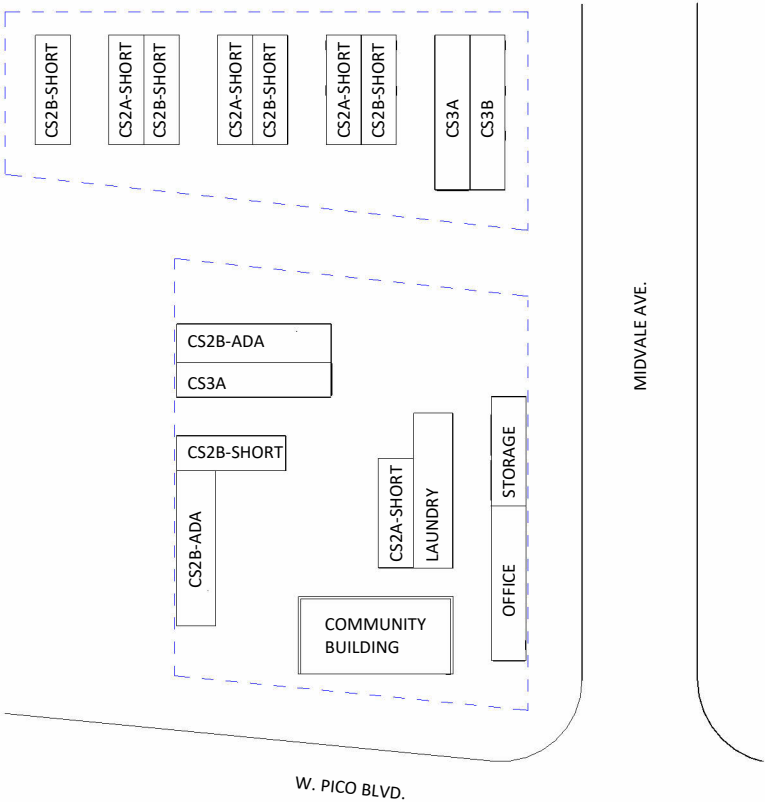
APPENDIX -
BUDGET KEYPLAN / MOD DISTRIBUTION DIAGRAM



SCHEME A



SCHEME E



ROM Estimate**9/5/23**

City of Los Angeles - Department of Public Works - Bureau of Engineering

CD 5 West LA Midvale Ave Tiny Home Village**2377 Midvale Ave (33 Beds)**

| ITEM DESCRIPTION | | ITEM TOTAL |
|--|--|---------------------|
| ALLOWANCES | | |
| 1 | MOBILIZATION per the General Requirements, Sections 01292 and 01721 | \$ 100,000 |
| 2 | ALLOWANCE for Plan Check & Permit Fees per the General Requirements, Section 01292 | \$ 40,000 |
| 3 | Allowance for Differing Site Conditions per General Requirements, Section 01253 | \$ 100,000.00 |
| 4 | ALLOWANCE for Geotechnical Services per the General Requirements, Section 01253 | \$ 10,000 |
| 5 | Allowance for Utilities / Utility Company Fees per the General Requirements, Section 01253 | \$ 200,000 |
| CONSTRUCTION | | |
| 6 | Designer Fee | \$ 181,000 |
| 7 | Demolition- Concrete islands, trees, parking bumpers and light poles, low walls | \$ 120,000 |
| 9 | Composite Deck, ramps, stairs, temporary footings | \$ 227,000 |
| 10 | Fencing & Privacy Screens | \$ 90,000 |
| 11 | Site Furnishings | \$ 12,000 |
| 12 | Misc. Site Improvements, ADA Lift, Landscaping | \$ 218,700 |
| 13 | On-Site Underground Utilities: Sewer, Domestic Water, Fire, Meters and POC | \$ 186,000 |
| 14 | Internet & Security Conduits | \$ 23,100 |
| 15 | Smoke & Fire Alarm Monitoring System | \$ 49,500 |
| 16 | Site Lighting | \$ 50,000 |
| 17 | Electrical - Main Switchboard to Local Power Panels | \$ 150,000 |
| 18 | Electrical - All other | \$ 33,000 |
| 19 | Construction Contingency | \$ 170,460 |
| TOTAL ESTIMATED CONSTRUCTION COST: | | \$ 1,960,760 |
| 20 | LifeArk Products- 33 Sleeping units, Office and Community Units, delivery and installation | \$ 2,432,133 |
| 21 | Sewer- Connection (ESR), Sewer fees per bed | \$ 34,000 |
| 22 | City's PM/PA/CM/BCA Permits | \$ 170,460 |
| SUB-TOTAL CITY COST: | | \$ 2,636,593 |
| TOTAL PROJECT COST: | | \$ 4,597,353 |
| Unit abbreviation: CY=cubic yard, EA=each, LF=linear foot, LS=lump sum, SF=square foot, SY=square yard | | |
| NOTES | | |
| | | \$0 |

ROM Estimate**04/28/23**

City of Los Angeles - Department of Public Works - Bureau of Engineering

CD 5 West LA Midvale Ave Tiny Home Village**2377 Midvale Ave (54 Beds)**

| ITEM DESCRIPTION | | ITEM TOTAL |
|--|--|---------------------|
| ALLOWANCES | | |
| 1 | MOBILIZATION per the General Requirements, Sections 01292 and 01721 | \$ 100,000 |
| 2 | ALLOWANCE for Plan Check & Permit Fees per the General Requirements, Section 01292 | \$ 40,000 |
| 3 | Allowance for Differing Site Conditions per General Requirements, Section 01253 | \$ 100,000.00 |
| 4 | ALLOWANCE for Geotechnical Services per the General Requirements, Section 01253 | \$ 10,000 |
| 5 | Allowance for Utilities / Utility Company Fees per the General Requirements, Section 01253 | \$ 200,000 |
| CONSTRUCTION | | |
| 6 | Designer Fee | \$ 83,252 |
| 7 | Demolition | \$ 33,540 |
| 8 | Level & Anchor Pallet Shelters | \$ 90,000 |
| 9 | Laundry/Administration Modular Unit | \$ 250,000 |
| 10 | Guard Booth | \$ 30,000 |
| 11 | Fencing & Gates w/ Privacy Slats or Acoustical Blankets | \$ 162,000 |
| 12 | Site Furnishings | \$ 16,000 |
| 13 | Misc. Site Improvements | \$ 422,440 |
| 14 | On-Site Underground Utilities: Sewer, Domestic Water, Fire Hydrants | \$ 39,310 |
| 15 | Internet & Security Conduits | \$ 21,000 |
| 16 | Smoke & Fire Alarm | \$ 45,000 |
| 17 | Site Lighting | \$ 42,000 |
| 18 | Electrical - Main Switchboard to Local Power Panels | \$ 450,000 |
| 19 | Electrical - All other | \$ 30,000 |
| 20 | Construction Contingency | \$ 216,454 |
| TOTAL ESTIMATED CONSTRUCTION COST: | | \$ 2,380,996 |
| 21 | Pallet Shelter (30 pallets) | \$ 360,000 |
| 22 | Hygiene trailers (2 ADA restroom units, 1 restroom unit) | \$ 140,000 |
| 23 | Sewer- Connection (ESR) | \$ 24,000 |
| 24 | City's PM/PA/CM/BCA Permits | \$ 216,454 |
| SUB-TOTAL CITY COST: | | \$ 740,454 |
| TOTAL PROJECT COST: | | \$ 3,121,450 |
| Unit abbreviation: CY=cubic yard, EA=each, LF=linear foot, LS=lump sum, SF=square foot, SY=square yard | | |
| NOTES | | |
| | | \$0 |

FOUNDATION CONCEPT DESIGN

RST JOB# 23173

For: GDS Architects, Inc.
831 Meridian St.
Duarte, CA 91010

Job: LifeArk , CD5 2377 Midvale
- Pad Foundation
2377 Midvale Ave,
Los Angeles, CA 90064

DESIGN BASED ON CALIFORNIA BUILDING CODE (CBC)
RISK CATEGORY II
94 MPH, 3 SEC GUST EXPOSURE "C" PER ASCE 7-16
SEISMIC $S_s = 2.021g$, $S_1 = 0.721g$ PER ASCE 7-16
SEISMIC DESIGN CATEGORY "D", SITE CLASS D (default),
R=6.5 (LIGHT FRAME SHEAR WALL SYSTEM)
WOOD PAD FOUNDATION WITH ASPHALT ANCHOR

CALCULATION REPORT

INDEX

| | |
|---|-------|
| Cover Page | 1 |
| Design Summary | 2 |
| Pad Footing Bearing Design. | 3-6 |
| Seismic & Wind Lateral Calculations. | 7-9 |
| Lateral and Uplift to Foundation Loadings | 10-12 |
| Building Anchor Check. | 13-15 |

Total of **Fifteen** Pages

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DESIGN SUMMARY

Design concept for temporary building foundation on parking lot paved with asphalt,

- Assuming parking lot bearing capacity is 1000 psf (based on max soil bearing with wood pad footing) - **This needs to be confirmed and verified.**
- Max applied pressure from building on wood pad footing is 340 psf (worst case of bearing check attached). This shows the applied load from the building does not exceed the parking lot capacity. Note that larger pads may be used for reducing the applied pressure further.
- Point load capacity for Parking Garge on 4.5"x4.5" area is 3000 lbs per CBC table 1607.1, item 14 and Note a.
- Max applied point load from building is 2875 lbs (worst case of point load check attached). This shows the applied point load does not exceed the parking lot capacity.
- No heavy weight should be applied from craning during construction on the easement.

PAD FOOTING BEARING DESIGN ON PARKING LOT

$$w_{RDL} := 7 \text{ psf} \quad w_{WDL} := 7 \text{ psf} \quad w_{FDL} := 10 \text{ psf} \quad w_{FLL} := 40 \text{ psf}$$

$$d_{mod} := 8.083 \text{ ft} \text{ Modular dimensions (8'-1" x 8'-1")} \quad h_{wall} := 8 \text{ ft} \quad h_{build} := 11.083 \text{ ft} \quad B := d_{mod} = 8.083 \text{ ft} \quad L := 2 \cdot d_{mod} = 16.166 \text{ ft}$$

Total load per leg:

$$P_{leg} := \left[(w_{RDL}) \cdot d_{mod}^2 + (w_{FLL} + w_{FDL}) \cdot (4 \cdot 2.75^2) + w_{WDL} \cdot h_{wall} \cdot 4 \cdot (d_{mod}) \right] \cdot \frac{1}{4} = 945 \text{ lbs/leg}$$

$$P_{cross.leg} := (w_{FLL} + w_{FDL}) \cdot (d_{mod}^2 - 4 \cdot 2.75^2) = 1754 \text{ lbs/mid cross leg}$$

Bearing check:

$$Soil_{bearing} := 1000 \text{ psf} \text{ assumed based on soil bearing for parking lot with wood pad footing}$$

$$\text{Single corner leg: } \frac{P_{leg} \cdot 144}{20 \cdot 20} = 340 \text{ psf}$$

$$\text{Double side legs: } \frac{(2) \cdot P_{leg} \cdot 144}{20 \cdot 40} = 340 \text{ psf}$$

$$\text{Triple int. corner legs: } \frac{(3) \cdot P_{leg} \cdot 144}{40 \cdot 44} = 232 \text{ psf}$$

$$\text{Quadruple int. legs: } \frac{(4) \cdot P_{leg} \cdot 144}{40 \cdot 48} = 284 \text{ psf}$$

$$\text{Cross mid leg: } \frac{P_{cross.leg} \cdot 144}{40 \cdot 40} = 158 \text{ psf}$$

$$340 \text{ psf (worst case)} < Soil_{bearing} = 1000 \text{ psf} \quad \text{OK}$$

Point load bearing check:

$\text{Point}_{\text{bearing}} := 3000$ lbs/4.5"x4.5" point load capacity for Parking Garge on 4.5"x4.5" area per CBC table 1607.1, item 14 and Note a

340 psf max applied pressure (worst case)

$$\frac{340}{12 \cdot 12} \cdot 4.5 \cdot 4.5 = 48 \text{ lbs / 4.5" SQ} < \text{Point}_{\text{bearing}} = 3000 \text{ lbs / 4.5" SQ} \quad \text{OK}$$

Total leg point load check without reduction of 4.5" SQ area consevatively (not divided by 4.5" SQ area)

Single corner leg: $P_{\text{leg}} = 945$ lbs

Double side legs: $2 \cdot P_{\text{leg}} = 1890$ lbs

Triple int. corner legs: $3 \cdot P_{\text{leg}} = 2835$ lbs

Quadruple int. legs:

this scenario occurs only at mods' interior area with less partitions

$$P_{\text{leg.INT}} := \left[(w_{\text{RDL}}) \cdot d_{\text{mod}}^2 + (w_{\text{FLL}} + w_{\text{FDL}}) \cdot (4 \cdot 2.75^2) + w_{\text{WDL}} \cdot h_{\text{wall}} \cdot 2 \cdot (d_{\text{mod}}) \right] \cdot \frac{1}{4} = 719 \text{ lbs/Int.leg}$$

$$4 \cdot P_{\text{leg.INT}} = 2875 \text{ lbs}$$

Cross mid leg: $P_{\text{cross.leg}} = 1754$ lbs

2875 lbs max applied point load (worst case)

$$2875 \text{ lbs} < \text{Point}_{\text{bearing}} = 3000 \text{ lbs} \quad \text{OK}$$

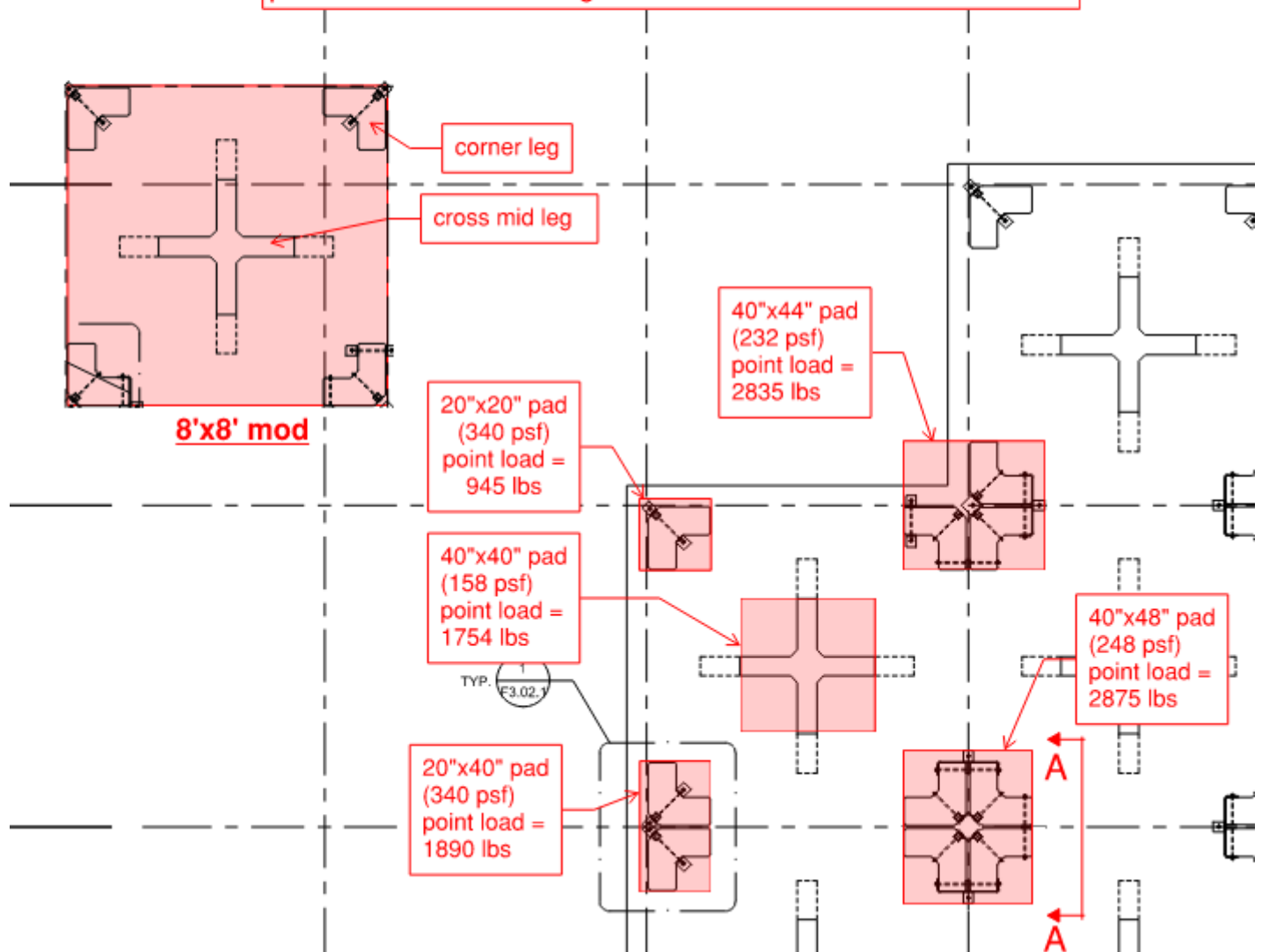
TYPICAL FOUNDATION LAYOUT WITH LOADING

Notes:

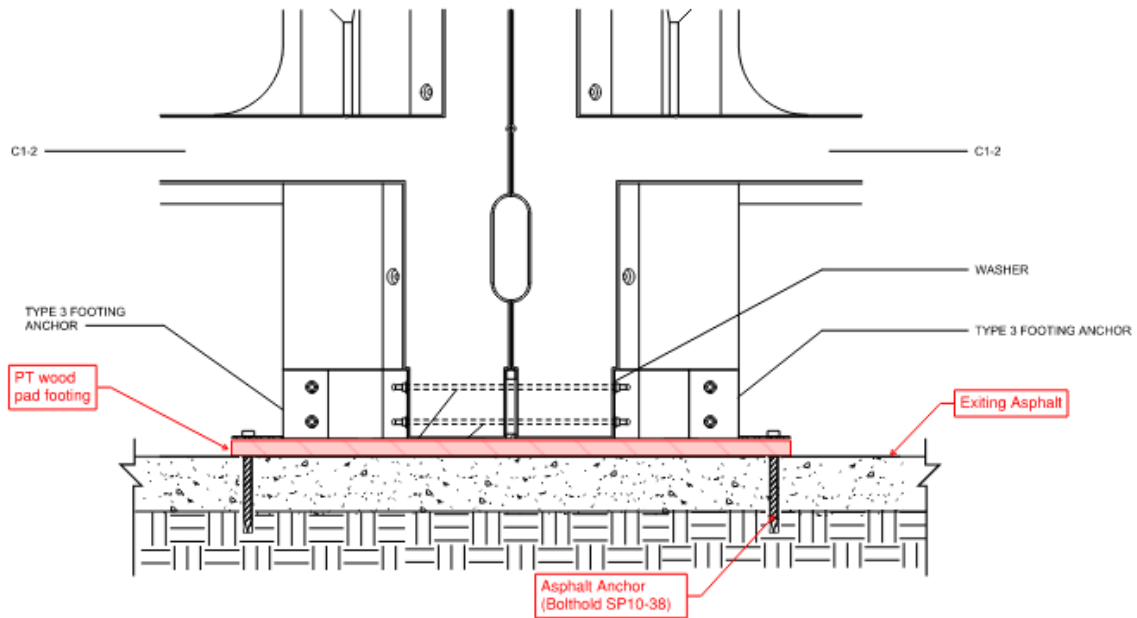
The loads are per one leg of the 4 corner legs of an 8'x8' mod and cross mid leg of the mod

Total load = unfactored floor live (40 psf) + total dead (floor, roof, walls)

Below are max applied pressure per leg/legs based on shown pad sizes for each configuration



TYPICAL FOUNDATION SECTION WITH ASPHALT ANCHORS



Section A-A
Typical Pad footing with Asphalt anchor

SEISMIC ANALYSIS SEISMIC LOAD

**SEISMIC
Per ASCE 7-16**

SITE CLASS D, RISK CATEGORY II

SEISMIC DESIGN CATEGORY E (BASED ON S1 and SDS)

$$h_{\text{build}} := 11.083 \text{ ft}$$

$$\rho := 1.3 \quad \text{Redundancy Factor for Seismic Design Category D per Section 12.3.4}$$

$$R := 6.5 \quad \Omega_0 := 3 \quad C_d := 4 \quad \text{Light frame sheathed wall (shear wall system) per Table 12.2-1}$$

$$I_e := 1.0 \quad \text{Seismic Importance Factor for Risk Category II per Table 1.5-2}$$

$$S_s = 2.021 \text{ g} \quad \text{Per USGS}$$

$$F_a := 1.2 \quad \text{Per Table 11.4-1 (Default)}$$

$$S_{ms} := F_a \cdot S_s \quad \text{Per Eq. 11.4-1}$$

$$S_{ms} = 2.43$$

$$S_{ds} := \left(\frac{2}{3} \cdot S_{ms} \right) \quad \text{Per Eq. 11.4-3}$$

$$S_{ds} = 1.617$$

$$S_1 = 0.721 \text{ g} \quad \text{Per USGS}$$

$$F_v = 1.7 \quad \text{Per Table 11.4-2}$$

$$S_{m1} := F_v \cdot S_1 \quad \text{Per Eq. 11.4-2}$$

$$S_{m1} = 1.23$$

$$S_{d1} := \frac{2}{3} \cdot S_{m1} \quad \text{Per Eq. 11.4-4}$$

$$S_{d1} = 0.82$$

$$T_L := 6 \text{ s} \quad \text{Lowest Mapped Long-Period Transition Period Per Figure 22-12}$$

$$T := 0.02 \cdot h_{\text{build}}^{\frac{3}{4}} \quad \text{Approximate Fundamental Period Per Eq. 12.8-7}$$

$$T = 0.121 \text{ s}$$

$$T_s := 1.5 \cdot \left(\frac{S_{d1}}{S_{ds}} \right) = 0.758 \text{ s} > T = 0.121 \text{ s} \quad \text{hence, Eq. 12.8-2 is used for determining } C_s \text{ and no need for ground motion hazard analysis per exception 2, sec. 11.4.8}$$

$$C_s := \frac{S_{ds}}{\frac{R}{I_e}} \quad \text{Seismic Response Coefficient Per 12.8-2}$$

$$C_s = 0.249$$

$$\text{Since } T < T_L, \quad C_{s_max} := \frac{S_{d1}}{\frac{R}{I_e} \cdot T} \quad \text{Per 12.8-3}$$

$$C_{s_max} = 1.035$$

$$C_{s_min} := \max \left(0.044 \cdot S_{ds} \cdot I_e, 0.01, \frac{0.5 \cdot S_1}{\frac{R}{I_e}} \right) \quad \text{Per 12.8-6}$$

$$C_{s_min} = 0.071$$

$$\text{SeisCoef} := \begin{cases} \rho \cdot C_s & \text{if } C_{s_min} < C_s < C_{s_max} \\ \rho \cdot C_{s_min} & \text{if } C_s < C_{s_min} \\ \rho \cdot C_{s_max} & \text{otherwise} \end{cases}$$

$$\text{SeisCoef} = 0.323$$

WIND ANALYSIS

WIND LOAD @ 94 mph, 3-sec Gust, Exp."C" - 15' max. Mean Roof Ht.

Per ASCE-7-16 Chapter 26 and Chapter 28 - MWFRS (Envelope Procedure)

WIND
Per ASCE 7-16

$V := 94$ Equivalent Basic Wind Speed (3 Sec Gust)

$K_d := 0.85$ Wind Directionality Factor, per Table 26.6-1 ASCE Pg. 266

$K_{15} := 0.85$ Velocity Pressure Exposure Coefficients per Table 26.10-1 ASCE Pg. 268 Up to Roof Mean Ht of 15' Elev.

$K_{zt} := 1.0$ Topographic Factor per ASCE Section 26.8

$K_e := 1.0$ Ground elevation factor Section 26.9, ASCE Pg. 268

$q_h := 0.00256 \cdot K_{15} \cdot K_{zt} \cdot K_d \cdot K_e \cdot V^2$ Velocity Pressure (psf) per Eq. 26.10-1 ASCE Pg. 268

$q_h = 16.34$ psf

rise := 0.25 in/ft

$P = q_h \cdot (GC_{pf} - GC_{pi})$ Design Wind Pressure (psf) per Eq. 28.3-1 ASCE Pg. 311

| Wind Perpendicular to Ridge | | | | | | | |
|-----------------------------|----|------------------|------------------|--------|--------|--------|--------|
| Building Surface | | GC _{pf} | GC _{pi} | P | Avg. | Uplift | Latera |
| Windward Roof | 2 | -0.69 | 0.18 | -14.22 | -17.32 | -17.32 | -0.36 |
| | 2E | -1.07 | 0.18 | -20.43 | | | |
| Leeward Roof | 3 | -0.37 | 0.18 | -8.99 | -10.30 | -10.29 | -0.21 |
| | 3E | -0.53 | 0.18 | -11.60 | | | |
| Windward Wall | 1 | 0.40 | -0.18 | 9.48 | 11.19 | | |
| | 1E | 0.61 | -0.18 | 12.91 | | | |
| Leeward Wall | 4 | -0.29 | -0.18 | -1.80 | -2.94 | | |
| | 4E | -0.43 | -0.18 | -4.09 | | | |

$UP_w = -17.32$ psf

$UP_l = -10.29$ psf

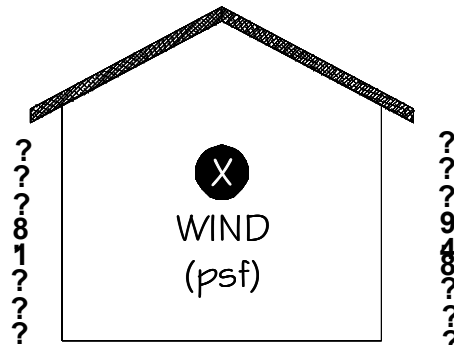
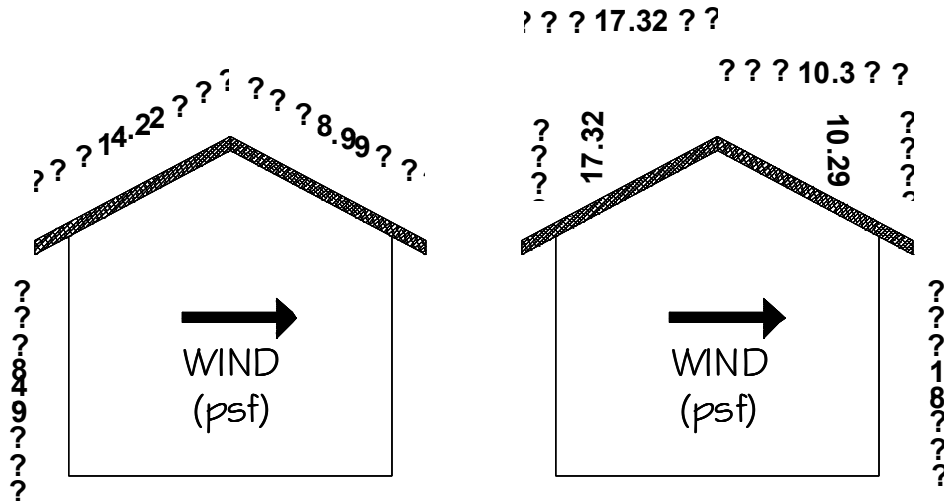
$WH_w = 11.19$ psf

$WH_l = -2.94$ psf

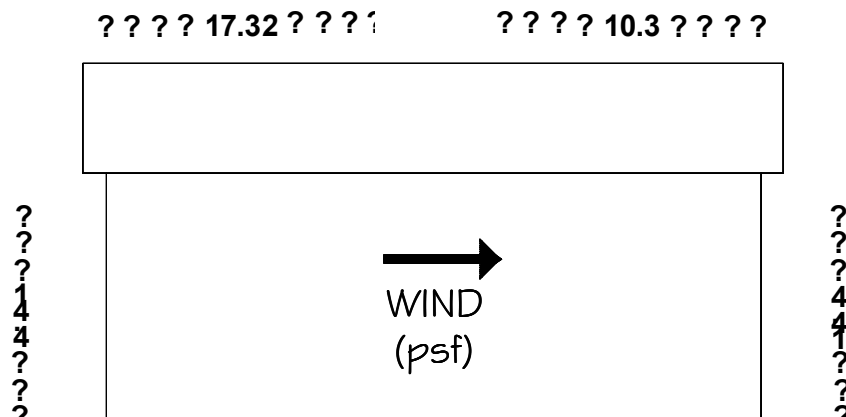
$\theta = 1.193$

| Wind Parallel to Ridge | | | | | | | |
|------------------------|----|------------------|------------------|--------|--------|----------|--------|
| Building Surface | | GC _{pf} | GC _{pi} | P | Avg. | Vertical | Latera |
| Front Roof | 2 | -0.69 | 0.18 | -14.22 | -17.32 | -17.32 | -0.36 |
| | 2E | -1.07 | 0.18 | -20.43 | | | |
| Rear Roof | 3 | -0.37 | 0.18 | -8.99 | -10.30 | -10.29 | -0.21 |
| | 3E | -0.53 | 0.18 | -11.60 | | | |
| Wind Adj. Wall | 1 | -0.45 | -0.18 | -4.41 | -4.66 | | |
| | 1E | -0.48 | -0.18 | -4.90 | | | |
| Lee Adj. Wall | 4 | -0.45 | -0.18 | -4.41 | -4.66 | | |
| | 4E | -0.48 | -0.18 | -4.90 | | | |
| Leeward Wall | 6 | -0.29 | -0.18 | -1.80 | -2.94 | | |
| | 6E | -0.43 | -0.18 | -4.09 | | | |
| Windward Wall | 5 | 0.40 | -0.18 | 9.48 | 11.19 | | |
| | 5E | 0.61 | -0.18 | 12.91 | | | |

WIND LOADING DIAGRAMS



$$\begin{aligned} UP_w &= -17.32 \text{ psf} \\ UP_l &= -10.29 \text{ psf} \\ WH_w &= 11.19 \text{ psf} \\ WH_l &= -2.94 \text{ psf} \end{aligned}$$

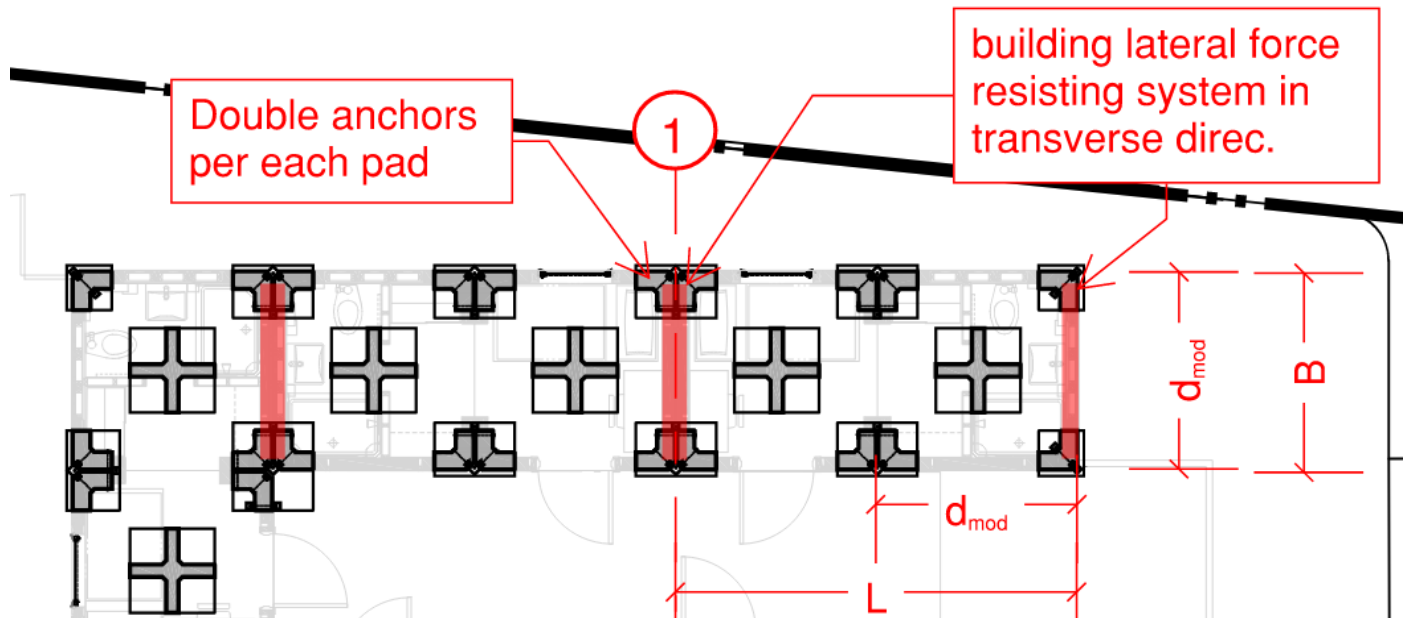


$$W_H := WH_w + (-WH_l) = 14.14 \text{ psf}$$

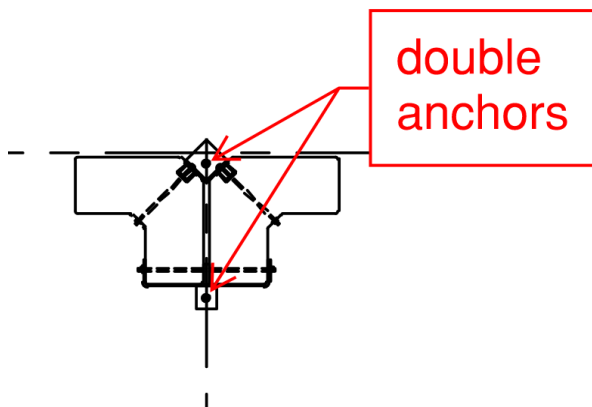
<< 15' >>

$$W_{up} := \frac{-(UP_w + UP_l)}{2} = 13.8 \text{ psf}$$

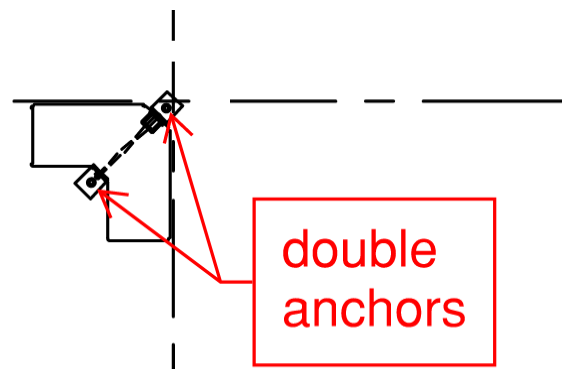
BUILDING/FOUNDATION LAYOUT



double anchors
@ double legs



double anchors
@ single leg



LATERAL SHEAR TO FOUNDATION SUMMARY

$W_H = 14.14$ psf wind lateral
 $Seis_{Coef} = 0.323$ Seismic Coef.
 $w_{RDL} := 8$ psf
 $w_{WDL} := 8$ psf
 $w_{FDL} := 10$ psf
 $d_{mod} := 8.083$ ft Modular dimensions (8'-1" x 8'-1")
 $h_{wall} := 8$ ft
 $h_{build} := 11.083$ ft
 $B := d_{mod} = 8.083$ ft
 $L := 2 \cdot d_{mod} = 16.166$ ft

WIND:

TOTAL LATERAL SHEAR PARALLEL TO LINE 1:

$$P_{wind_SW} := W_H \left(L \cdot \frac{h_{build}}{2} \right) + W_H \left(d_{mod} \cdot \frac{h_{build}}{2} \right)$$

$P_{wind_SW} = 1900$ lb

Wind Governs

SEISMIC:

TOTAL LATERAL SHEAR PARALLEL TO LINE 1 :

$$P_{seis_SW} := Seis_{Coef} \cdot \left[\left(w_{RDL} \cdot (B \cdot L) + w_{WDL} \cdot \left(\frac{h_{wall}}{2} \right) \cdot 2 \cdot (B + L) \right) + \left(w_{FDL} \cdot (B \cdot d_{mod}) + w_{WDL} \cdot \left(\frac{h_{wall}}{2} \right) \cdot 2 \cdot (B + d_{mod}) \right) \right]$$

$P_{seis_SW} = 1386$ lb

Max Base shear at line 1 on legs:

$$V_{apply} := \frac{P_{wind_SW}}{2} = 950 \quad lbs \quad \text{Applied shear per leg/leg group}$$

$$V_{apply.anchor} := \frac{V_{apply}}{2} = 475 \quad lbs \quad \text{Applied shear per anchor (2 anchors per pad OR leg/leg group)}$$

UPLIFT TO FOUNDATION SUMMARY

Wind Governs

$$W_H = 14.14 \text{ psf} \quad \text{wind lateral} \quad h_{\text{build}} = 11.083 \text{ ft} \quad h_{\text{wall}} := 8 \text{ ft} \quad d_{\text{mod}} := 8.083 \text{ ft} \quad B = 8.083 \text{ ft} \quad L = 16.166 \text{ ft}$$

$$W_{\text{up}} = 13.807 \text{ psf} \quad \text{wind uplift} \quad w_{\text{RDL}} = 8 \text{ psf} \quad w_{\text{WDL}} = 8 \text{ psf} \quad w_{\text{FDL}} = 10 \text{ psf}$$

Total lateral and vertical loads at line 1 (per trib area):

$$P_{\text{wind.lateral}} := W_H \cdot (L \cdot h_{\text{build}}) = 2533 \text{ lbs} \quad \text{lateral load}$$

$$P_{\text{wind.up}} := W_{\text{up}} \cdot (B \cdot d_{\text{mod}}) = 902 \text{ lbs} \quad \text{upward load}$$

$$P_{\text{DL}} := [(w_{\text{RDL}} + w_{\text{FDL}}) \cdot (B \cdot d_{\text{mod}}) + w_{\text{WDL}} \cdot (h_{\text{wall}}) \cdot 2 \cdot (B + d_{\text{mod}})] = 3245 \text{ lbs} \quad \text{downward load}$$

Overturning Moments:

$$M_{\text{OT}} := P_{\text{wind.lateral}} \cdot \frac{h_{\text{build}}}{2} + W_{\text{up}} \cdot \frac{B}{2} = 14092 \text{ lbs-ft}$$

Resisting Moments:

$$M_{\text{DL}} := P_{\text{DL}} \cdot \frac{B}{2} = 13116 \text{ lbs-ft}$$

Max uplift due to wind lateral and uplift on legs:

$$P_{\text{up.apply}} := \frac{M_{\text{OT}} - 0.9 \cdot M_{\text{DL}}}{B} = 283 \text{ lbs} \quad \text{Applied uplift per leg/leg group}$$

$$P_{\text{up.apply.anchor}} := \frac{P_{\text{up.apply}}}{2} = 141 \text{ lbs} \quad \text{Applied uplift per anchor (2 anchors per pad OR leg/leg group)}$$

BUILDING ANCHOR CHECK

Asphalt anchor per BOLT HOLD Specs (attached) - SP10-38

$T_{Capacity.anchor} := 1500$ lbs Pull resistance per manufac. specs

$V_{Capacity.anchor} := 1000$ lbs Shear resistance per manufac. specs

Recall:

$P_{up.apply.anchor} = 141$ lbs Applied uplift per anchor

$V_{apply.anchor} = 475$ lbs Applied shear per anchor

$P_{up.apply.anchor} = 141$ lbs < $T_{Capacity.anchor} = 1500$ lbs **OK**

$V_{apply.anchor} = 475$ lbs < $V_{Capacity.anchor} = 1000$ lbs **OK**

BOLTHOLD™ SP10-38 Asphalt Anchors Datasheet V4.0

Overview

Asphalt Anchors Corp. has developed the *BoltHold™* family of anchors suitable for mounting objects to asphalt surfaces. The SP10-38 anchors body is 6" long and 3/8" in diameter, with a 3/4"-16 female thread. The anchor is bonded to the asphalt using special grouts such as our EPX2 or EPX3.

The SP10-38 is recommended for most light applications, where pull forces are less than 1,500 lb. per anchor and shear forces are moderate (less than 1,000 lb. per anchor).

Description

The SP10-38 is constructed from a thick-walled tube. The bottom is flared and sealed to act as a wedge when pushing the anchor into the ground. A welded spiral along the length of the anchor provides a strong bond with the grout.

The top of the anchor incorporates a large washer with an internal 3/4" female thread. The washer prevents the anchor from dropping below the surface.

The standard SP10 is made of zinc plated steel, with 10-hour salt spray rating. A Dacromet - coated version offers enhanced rust protection (1,000 hours salt spray rating) but can only be used with the EPX3. An all stainless-steel version is available. Each anchor is preinstalled with a 1" long grade 5 hex bolt and a 1" washer.



Force Rating

The resistance of the installed anchors to extraction depends on the nature of the asphalt and the gravel below it. The SP10-38 is pull-rated for 1,500 lb.(6.7kN) when installed with the EPX2 or EPX3 grouts (see note 1). At ground level, the anchor can resist 1,000 lb. of shear force. The anchor is rated for 200 in.-lb. rotary torque; this torque is exerted when tightening the attaching bolt.

To find out if an anchor is suitable for your application, the safe way is to make a test installation. You will be able to leave the anchors in place after the test without the need to remove them as they are flush with the roadway surface.

Note 1: When installing anchors close together, derate the pull strength of additional anchors by 6% for every 1 inch less than 12. For example, 4 SP10 arranged 4" apart will resist a total pull force of 3,840 lb. (1,500 + 3 x (52% x 1500))

About Asphalt

Asphalt is 20 times weaker than concrete. Asphalt flows under pressure over time and thus cannot support expansion-type wedge anchors that are so effective in concrete. BoltHold anchors use a stress-free bond between the anchors and the asphalt, assuring long term stability.

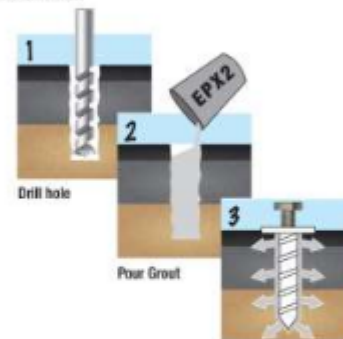
The length of the anchor serves to increase the shear resistance by embedding the anchor in the compacted gravel below the asphalt layer.

Installation

The installation requires drilling a 3/8", 6" deep hole into the asphalt and the gravel below it. The hole is then filled with grout and the anchor is dropped in. The anchor is ready for use in 15-45 minutes depending on the grout and ambient temperature. Below 45°F use our EPX3 resin grout.

Always consult the latest inline installation instructions before installing these anchors. A comprehensive installation manual is available on our web site under "Library". The online manual is updated regularly to reflect the availability of grouts, new installation techniques and user feedback.

Installation



1. Drill a hole per anchor specs
2. Fill hole with EPX2 grout
3. Push anchor in flush with surface.
4. Wait 15 minutes and attach object to anchor.



10 Ridge Rd, West Orange, NJ 07052 USA
email: marketing@asphaltanchors.com

Tel: 1.973.669.8214 Fax: 1.973.669.5161
WEB: www.asphaltanchors.com

Page 1 of 2

BOLTHOLD™ SP10-38 Asphalt Anchors Datasheet V4.0

Grout Selection

The term "grout" is used here in a broad meaning; the actual materials can be expanding cement or certain 2-part hard epoxies. We offer our tested EPX2 cement and EPX3 resin (epoxy) grouts.

In general, the anchoring grout must be self-leveling (meaning that it flows easily, to fill in all the crevices and voids). It must cure to a hard material and must be immune to extended exposure to water and temperature fluctuations. **Do not use Kwikset or Rockite.**

You will need about 2 Fluid oz (1/4 cup) or 60 cc of grout per anchor. Our EPX2 resealable bag supplies 4 anchors. The EPX2 10 lb. tubs supply 55 anchors. Our EPX3 single-cartridge epoxy tube covers 5 SP10 anchors.

Packing

The BoltHold SP10-38 anchors are packaged 6 anchors to a "Set" carton. 9 Sets are packaged in a Master carton which holds 54 anchors.

| KIT PACKING INFORMATION | |
|--------------------------------|-------------------|
| Anchors per Set | 6 |
| Set Carton dimensions, mm | 106 x 186 x 53 |
| Set Carton dimensions, inch | 4.2" x 7.3 x 2.1 |
| Set Carton weight | 2.5 lb. / 1.14 Kg |
| Set Carton Volume | 0.001 CBM |
| Number of anchors per Master | 54 |
| Master Carton dimensions, mm | 200 x 340 x 191 |
| Master Carton dimensions, inch | 7.8 x 13.4 x 7.5 |
| Master Carton Gross Weight | 20 lb. / 9 Kg |
| Master carton Volume | 0.013 CBM |

Tariffs

The SP10-38 are shipped under schedule 55. HTS code (export) 7318.19.0000

Links

[Installation Manual](#)

[Prices](#)

| Anchor Metrics | |
|-----------------------|------------------|
| Anchor Length | 6" (150 mm) |
| Anchor body diameter | 5/8" (18 mm) |
| Anchor head diameter | 1.35" (43 mm) |
| Washer thickness | 0.08" (2 mm) |
| Anchor weight | 0.2 lb. (0.1 Kg) |
| Internal Thread | 3/8"-16 UNC |
| Bolt allowed depth | 4" (100 mm) |
| Finish SP10-38 | Zinc plating |
| Finish SP10-38S | SS 304 |
| Finish SP10-38-D | Dacromet 320 |
| Pull resistance | 1,500 lb. |
| Shear Resistance | 1,000 lb. |
| Torque rating | 200 lb.-in |
| Grout volume required | 60cc (2 FL oz) |
| SP10 per EPX2 bag/Tub | 4 / 45 |
| SP10-38 6-pack SKU | 01-6310.38K |
| SP10-38S 6-pack SKU | 01-6310.35K |
| SP10-38-D 6-pack SKU | 01-6310.38K-D |



10 Ridge Rd, West Orange, NJ 07052 USA
email: marketing@asphaltanchors.com

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WEB: www.asphaltanchors.com

Page 2 of 2

Surveyed by V. LAI Date 07/13/2023 F.B. 40570 Pg. 117
Reviewed by J. YAMAMOTO Date 07/13/2023 W.O. E1909097
Type of Survey PRELIMINARY TOPOGRAPHIC SURVEY
Job Number 85363 Title page - Sheet 1 of 4

CD 5 - 2377 MIDVALE LADOT LOT 707

PROPOSED HOMELESS SHELTER SITE

NOTE: Additions or changes must be initialed, and dated.

REFERENCE:

HORIZONTAL:
FB 16707 PGS. 41-42
FB 126-157 PG. 141

VERTICAL:
BM 13-11250
NAVD 1988; 2000 ADJ
EL= 180.977

SURVEY CREW:

V. LAI
J. YAMAMOTO
S. FISCELLA
N. PAJO

BASIS OF BEARINGS STATEMENT:

HELD THE NAVIGATE LA/ICM COORDINATES ON CP 1 AT THE C/L INTERSECTION OF
PICO BLVD AND MIDVALE AVE FOR POSITION.

HELD THE NAVIGATE LA/ICM COORDINATES ON CP 2A AT THE C/L INTERSECTION OF
PICO BLVD AND KELTON AVE FOR BEARING ONLY.

FOR A BASIS OF BEARINGS OF S 60°31'06" W.

SEE SHEET 2 FOR COORDINATES.

REQUESTOR: NATHAN HO

TELEPHONE: 213-485-4428

DIVISION: PW-BOE-ARC

DELIVERY
DATE: 7/20/2023

METHOD: E-mail: NATHAN.HO@LACITY.ORG

CAD MAP PRODUCED AND SAVED AS

CD5 - 2377 Midvale Lot 707.dwg

IN FILE No. 2797 - CENTRAL CAD ARCHIVE.

Elise N.
Hernandez
7/20/2023

ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE STATED

Eng. 3.883B - Rev. 6-09

CPRA-15-BOE-000401

Date geocoded and digital copy sent to Central Records

Return original to
BUREAU OF ENGINEERING
SURVEY DIVISION

201 N. Figueroa St., Suite 1100, Los Angeles 90012

Surveyed by V. LAI Date 07/13/2023 F.B. 40570 Pg. 118
 Reviewed by J. YAMAMOTO Date 07/13/2023 W.O. E1909097
 Type of Survey PRELIMINARY TOPOGRAPHIC SURVEY
 Job Number 85363 Title page - Sheet 3 of 4

CONTROL POINTS

| PT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|----|--------------|--------------|-----------|---|
| 1 | 1837089.5200 | 6431556.3100 | 181.7555 | FD S&W LACS AT PICO BLVD & MIDVALE AVE |
| 2 | 1836926.1234 | 6431267.2906 | 0 | RD S&W LACS AT PICO BLVD & KELTON AVE |
| 2A | 1836926.1400 | 6431267.3200 | 0 | NAVLA BEARING ONLY |
| 3 | 1837225.8091 | 6431459.9516 | 181.871 | FD S&W LACS AT ALLEY N/O PICO BLVD |
| 4 | 1837023.3018 | 6431534.1932 | 0 | SET SCR "X", TOP OF RAMP, S/S CURB OF PICO BLVD |
| 6 | 1837184.7614 | 6431402.9806 | 181.989 | SET MAG NAIL IN ALLEY N/O PICO BLVD, BY ISLAND & POWER POLE |
| 7 | 1837179.1367 | 6431361.2529 | 181.799 | SET MAG NAIL IN ALLEY N/O PICO BLVD, NEAR CMU WALL |

NOTE: Additions or changes must be initiated, and dated.

Return original to
 BUREAU OF ENGINEERING
 SURVEY DIVISION
 201 N. Figueroa St., Suite 1100, Los Angeles 90012

ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE STATED

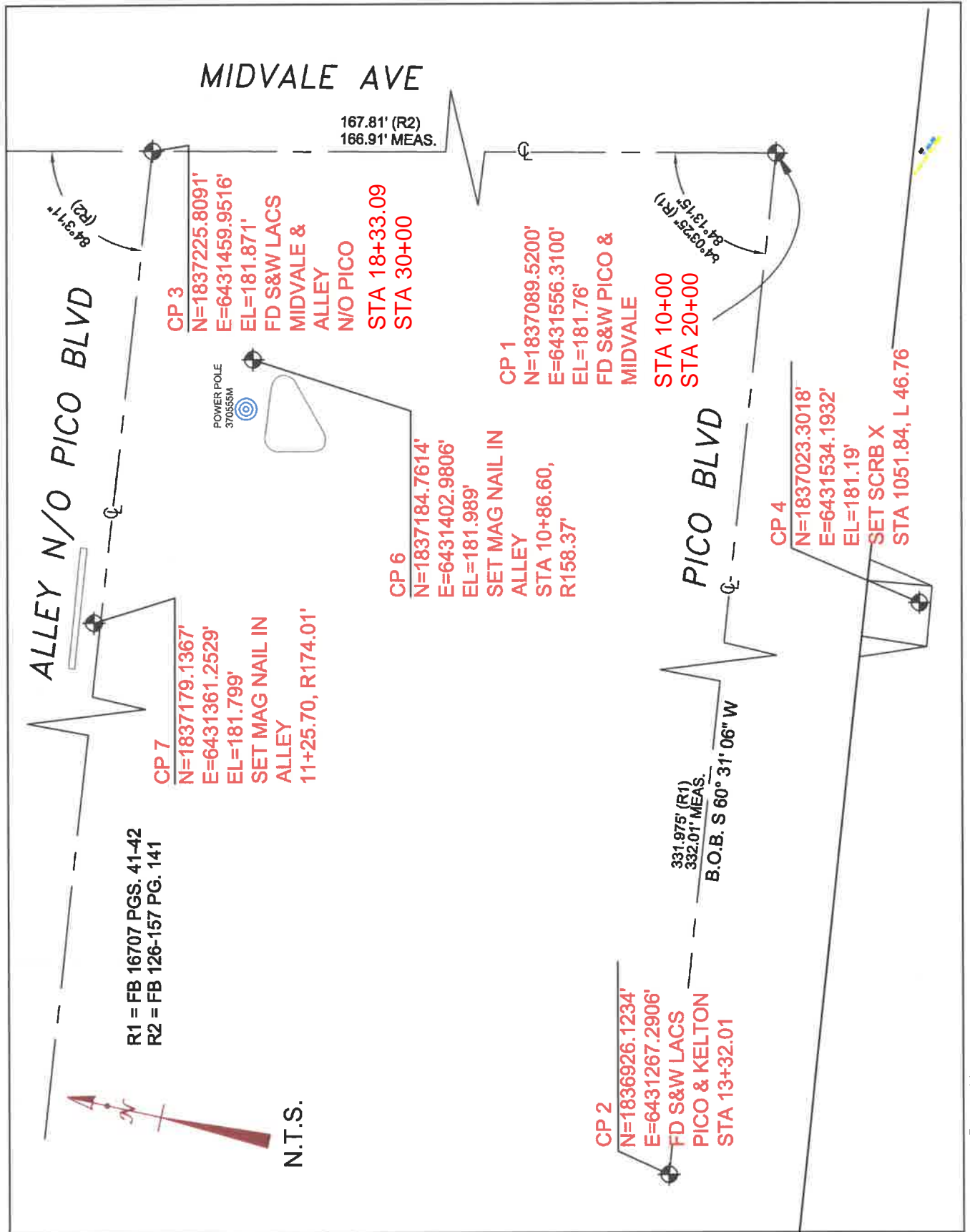
CPRA-15-BOE-000402

Date geocoded and digital copy sent to Central Records

Eng. 3.883B - Rev. 6-09

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ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE STATED

[Return to](#)

LEVEL

NOTE. Additions or changes must be initialed, and dated.

Cadastral

F. B.

40570

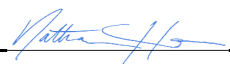
Pg.

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BUREAU OF ENGINEERING WORK ORDER

Please Submit Original Copy To:
 Work Order Unit, 1149 S. Broadway,
 7th Floor, Mail Stop #490
 (213) 485-5031 or (213) 485-5011

| Dept: 78 | | Work Order: | | Est. Completion date: Dec 2024 | |
|--|-----------------------|-----------------------------|---|--|-----------|
| Open Date 4/10/23 | | Close Date: | | | |
| Title: CD 5- 2377 Midvale LADOT Lot 707 | | | | Rpt Title: 2377 Midvale Ave | |
| Project: EPCBH005 | | Major Project: EPCBH | | Program: 7807 | |
| Council Dist: 05 | | Fund: 100 | | Reimb. Flg: Y | |
| | | | | Div. Code & Title: 78550000 Architecture | |
| Orig Dept: 78 | | Orig Project: EPCBH005 | | Other Depts: 50,54,78 | |
| Billable: Y | | Restrct Flg: N | | Work Order Type (Forms 1, 2, or 3): 1 | |
| Billing Cycle: <input checked="" type="checkbox"/> Quarterly <input type="checkbox"/> Semi-Annually <input type="checkbox"/> Completion Date | | | | D / I Ind: D | |
| Contact person for billing: Thelma Castelltort | | | | Phone: 213 847-1696 | |
| Project Description, comments, client dept./organization, authority & detailed funding information: New design of a temporary homeless shelter on an existing City owned parking lot. This site is LADOT's Lot #707. The site is divided by an alleyway. On one side of the alley is an R1-1 zoned, 6,794 square foot parcel adjacent to a single family house on a residential street. The parcel that fronts Pico Blvd. is 10,666 square feet and zoned NMU(EC). The surrounding uses are commercial. | | | | | |
| Client Contact Person (print name): | | | Phone: () - | | |
| BOE Project Engineer/Manager: Nathan Ho  (SIGNATURE) | | | Phone: (213) -485-4428 | | |
| Division/District Engineer/Group Manager: Steven Fierce (SIGNATURE) | | | Administration Division: Robert Kadomatsu (SIGNATURE) | | |
| Approved By: Ted Allen, PE, ENV SP, City Engineer (SIGNATURE) | | | | | |
| Cost Category | Total Estimated Costs | Estimated Costs (Contracts) | Estimated Costs (City)* | Funding Source | |
| | | | | Amount | Fund Name |
| City Env Doc, Planning & Design (FAP) | \$ 0 | | \$ 0 | \$ 0 | |
| Consult Env Doc, Plan & Design (CTP) | \$ 0 | \$ 0 | | \$ 0 | |
| Right-of-way (R/W) | \$ 0 | \$ 0 | | \$ 0 | |
| Construction (CONS) | \$ | \$ 0 | | \$ 0 | |
| City Construction Management (FACM) | \$ | | \$ 0 | \$ 0 | |
| Consult Const Management (CTCM) | \$ 0 | \$ 0 | | \$ 0 | |
| Total Estimated Cost | | \$ | \$ | \$ | |

CPRA-15-BOE-000405

*Includes Labor Burden, Overhead and Non-Labor Costs.



John A. Griffin City Engineer
Warren Tuck, Chief Engineer
was prepared in Engineering Offices of Jones Investment Co.

IN SANTA MONICA BLVD. AT VETERAN AVE.
IN RIGHT OF WAY SOUTH OF SANTA MONICA BLVD.
BETWEEN KETTON AVE. AND VETERAN AVE.
IN RIGHT OF WAY WEST OF MIDVALE AVE.
BETWEEN SANTA MONICA BLVD. AND LA GRANGE AVE.
IN MIDVALE AVENUE
BETWEEN LA GRANGE AVE. AND PICO BLVD.
IN RIGHT OF WAY WEST OF MIDVALE AVE.
BETWEEN FIRST ALLEY NORTH OF PICO BLVD. AND PICO BLVD.
IN MISSISSIPPI AVENUE
BETWEEN MIDVALE AVE. AND KETTON AVE.
IN TENNESSEE AVENUE
BETWEEN MIDVALE AVE. AND KETTON AVE.
DECREASATIONS No. 126 (N.S.) except that grading
limits for rock (Sec. 23.) shall be 20% and 65% and
2 1/2' piece for each 400 ft. and for the minimum num-
ber shall be three (3) instead of (6).
Horizontal Scale ~ 1" = 40:0"
Vertical Scale ~ 1" = 4:0"

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Hand-drawn map of Santa Monica Blvd. The map shows a street layout with Santa Monica Blvd running horizontally. A proposed route is indicated by a line starting from the bottom left and extending towards the top right. Key labels include 'Santa Monica Blvd', '49th St', and '48th St'. A small circle marks a specific location on the proposed route. The map is oriented with North at the top.

CO WILL REPLACE FLOOR
M DEAN
96 AND STATION
30 + 28
31 + 58
57 + 14
58 + 11
41 + 77
41

512.30 FT.

45+68

Bottom of ditch

45

44+82.04 B.C.

45+79.83 E.C.

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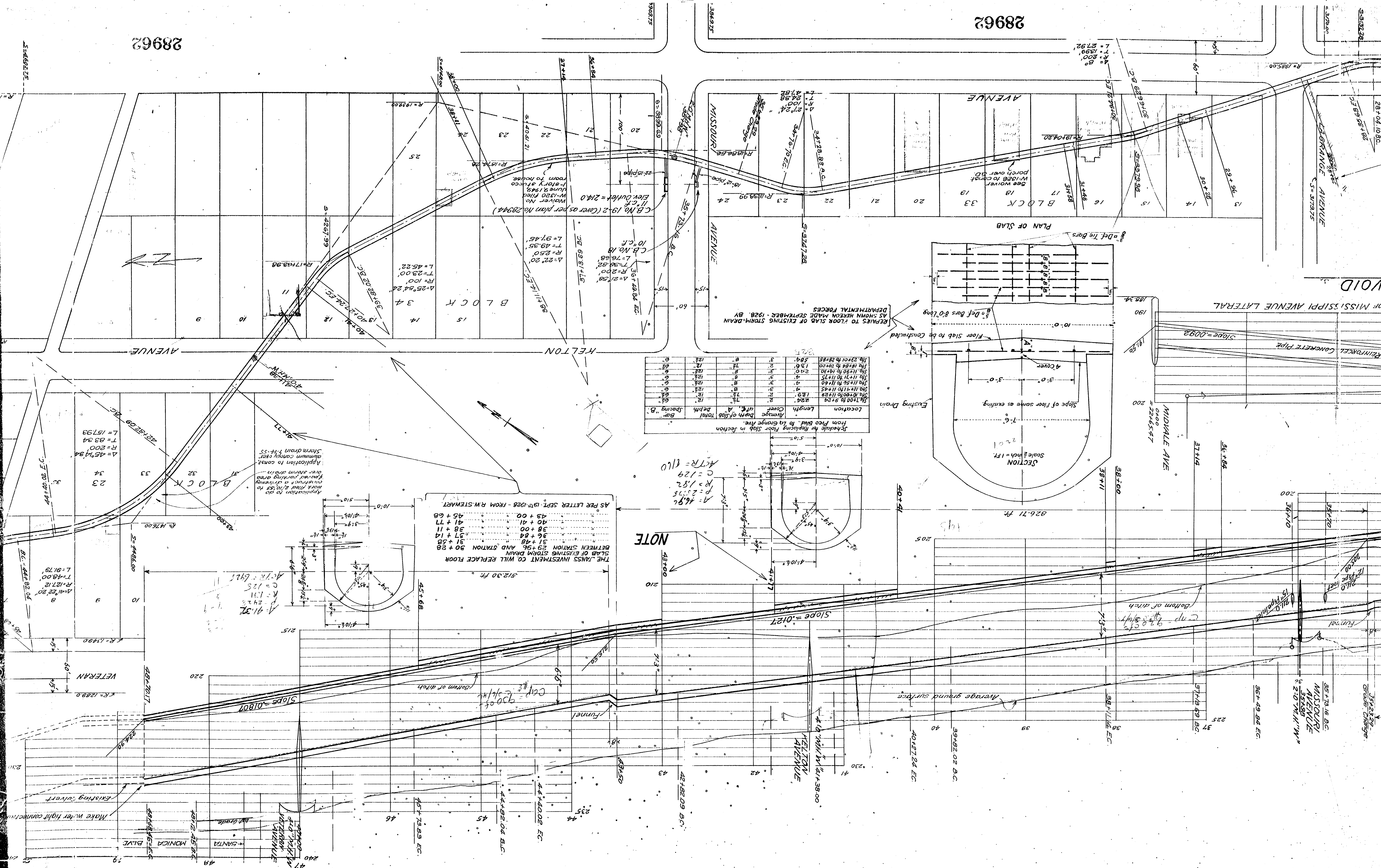
THE JANSZ INVESTMENT
SLAB OF EXISTING STG
BETWEEN STATION
NOTE

210

A hand-drawn sketch of a geological profile. The profile shows a line with a 'funnel' shape, labeled 'funnel' with an arrow. The profile is divided into two sections by a vertical line. The left section is labeled '43' and the right section is labeled '44+100 EC'. The profile is also labeled '235' at the bottom. The sketch is drawn on a grid of horizontal and vertical lines.

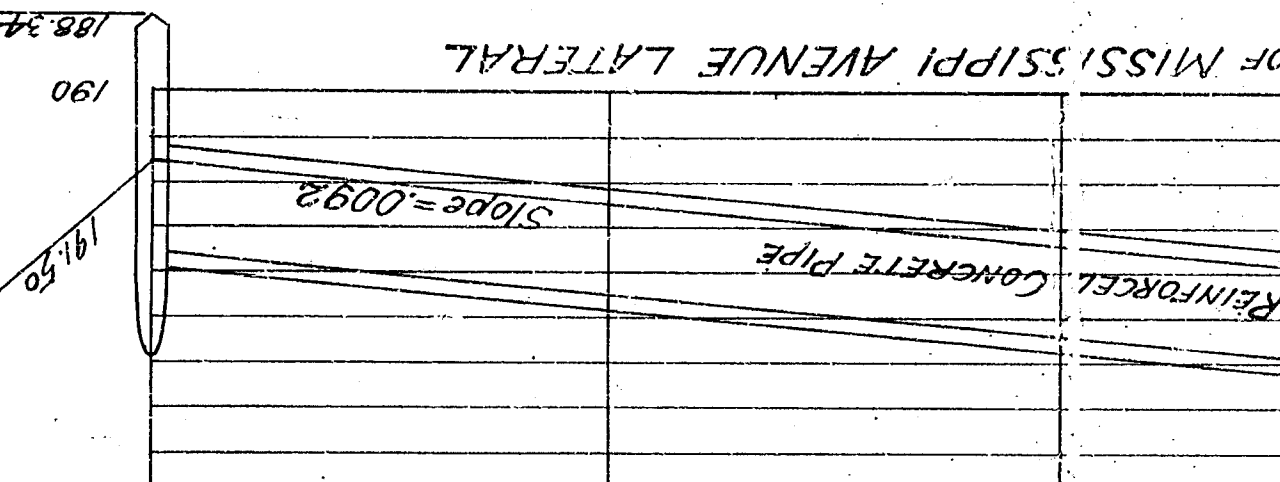
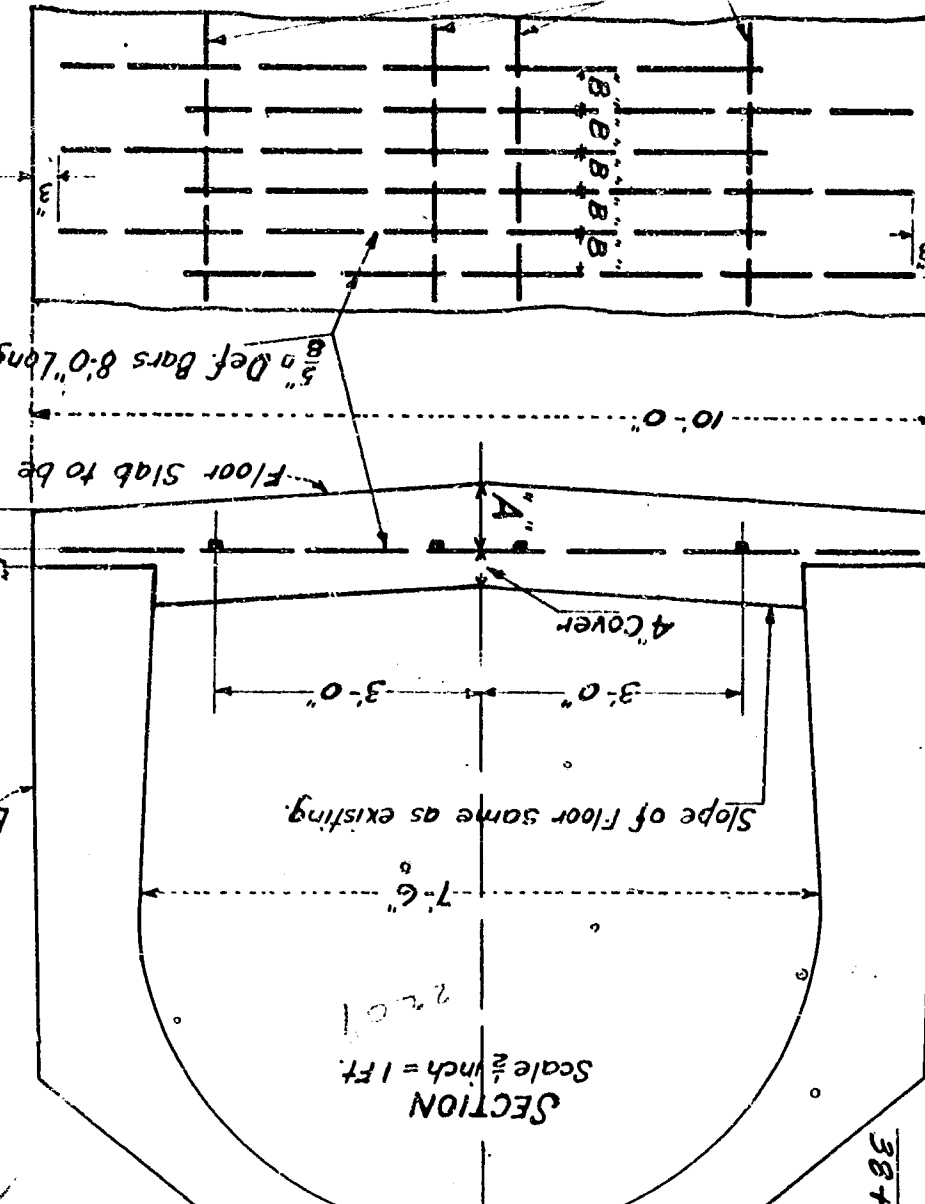
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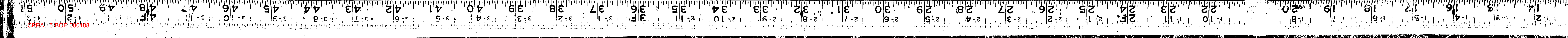
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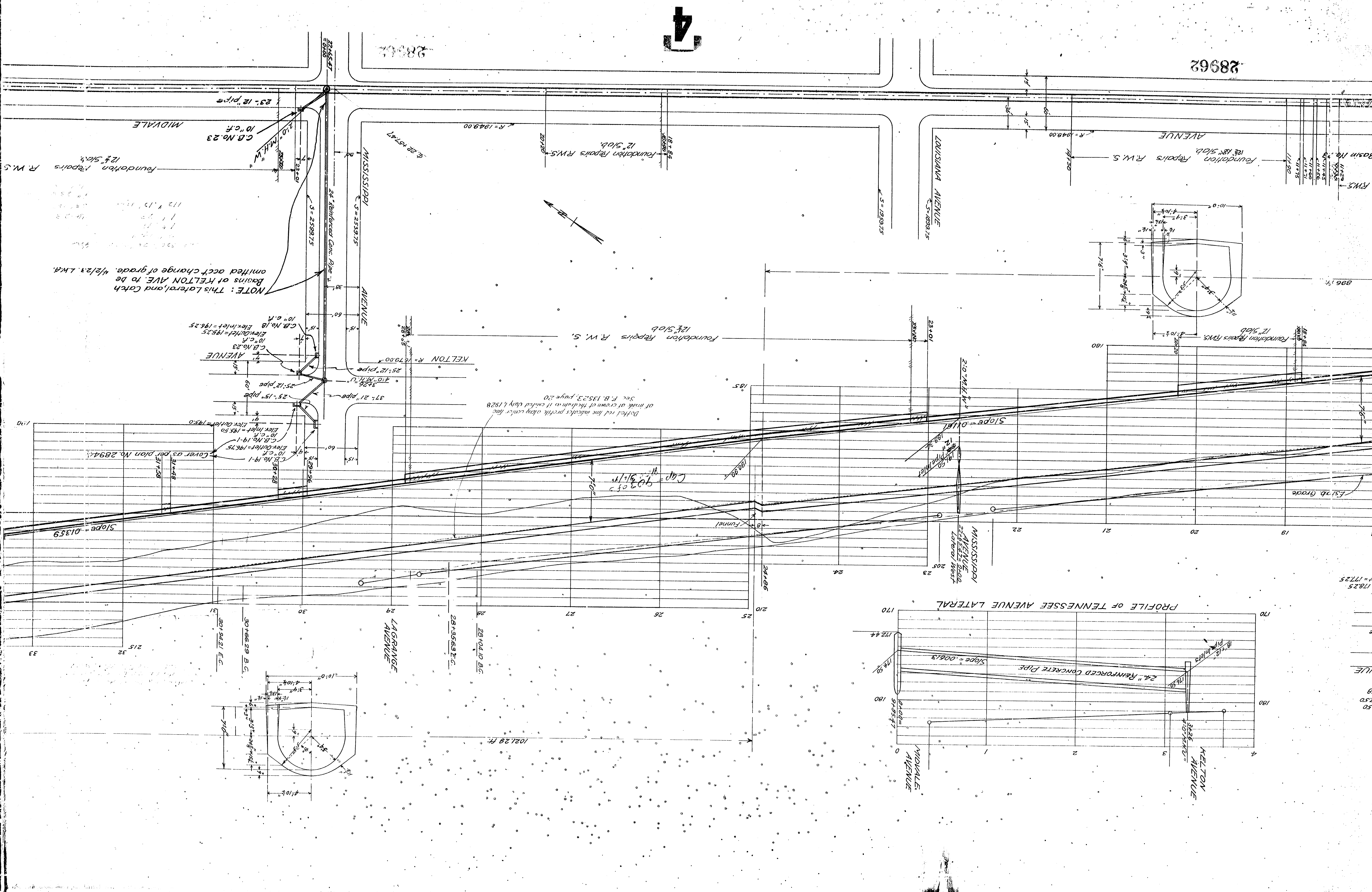


NOTE

THE JANS INVESTMENT CO. WILL REPLACE FLOOR SLAB OF EXISTING STORM DRAIN BETWEEN STATION 29+96 AND STATION 30+28 AS PER LETTER SEPT. 19th 1928 - FROM R.W. STEWART.

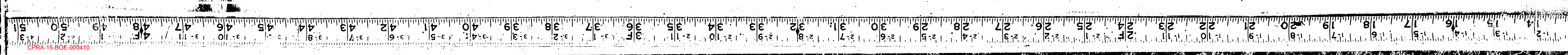
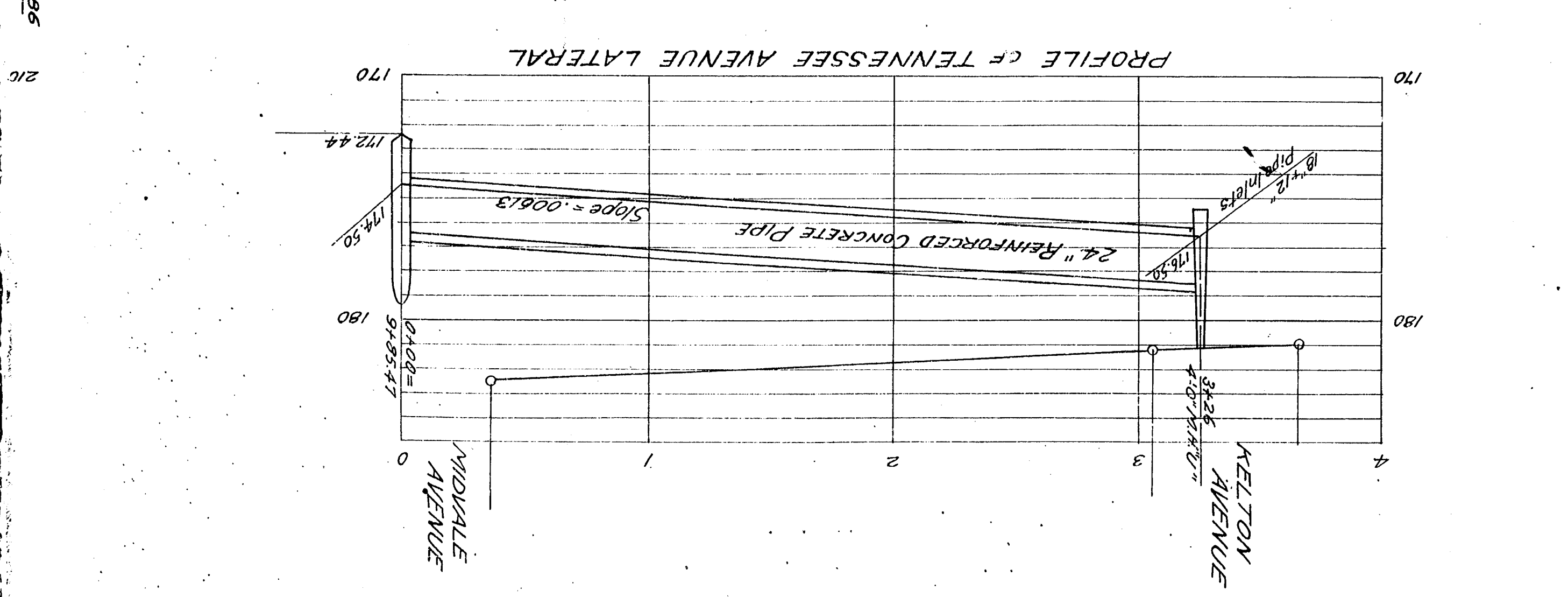
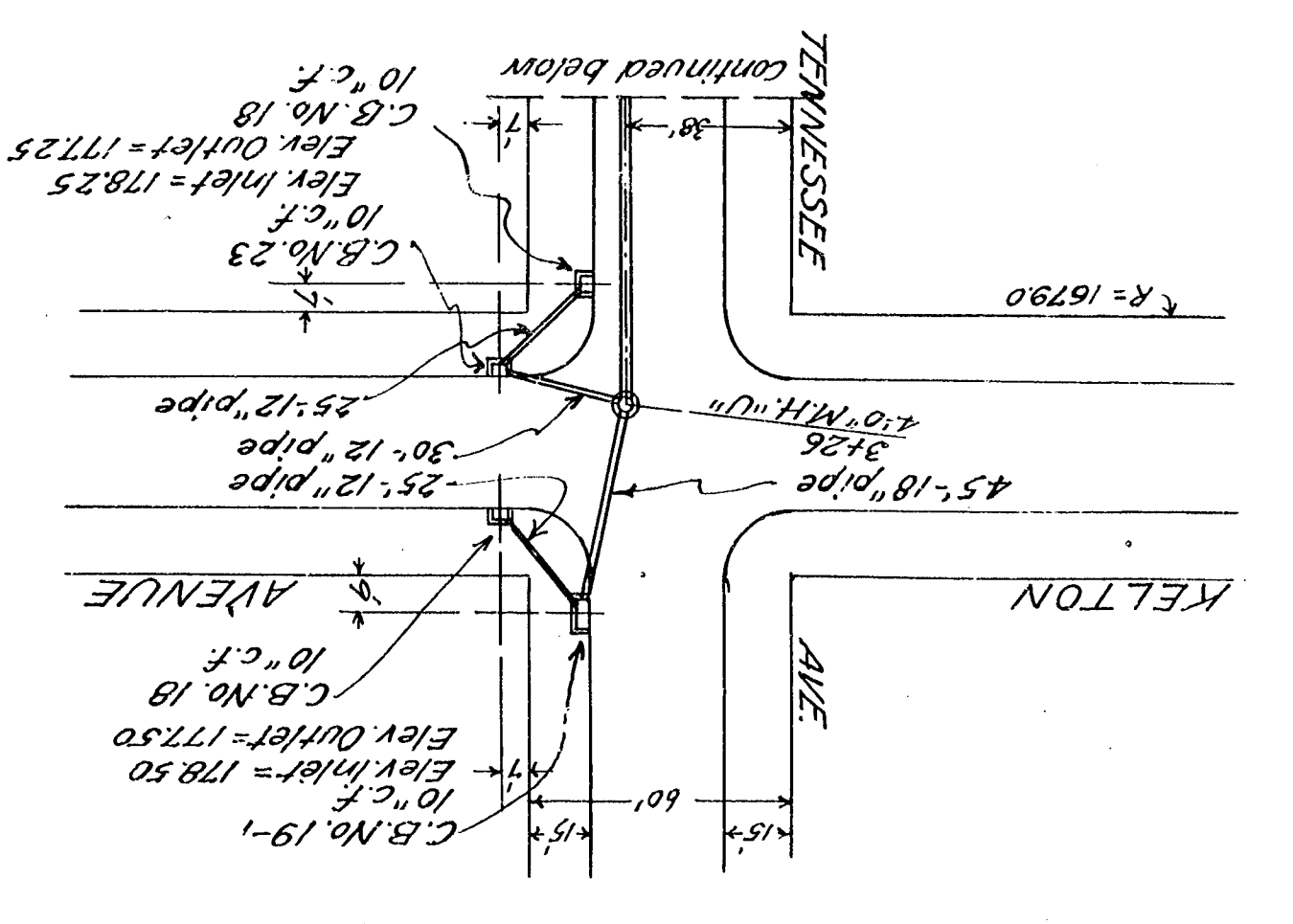
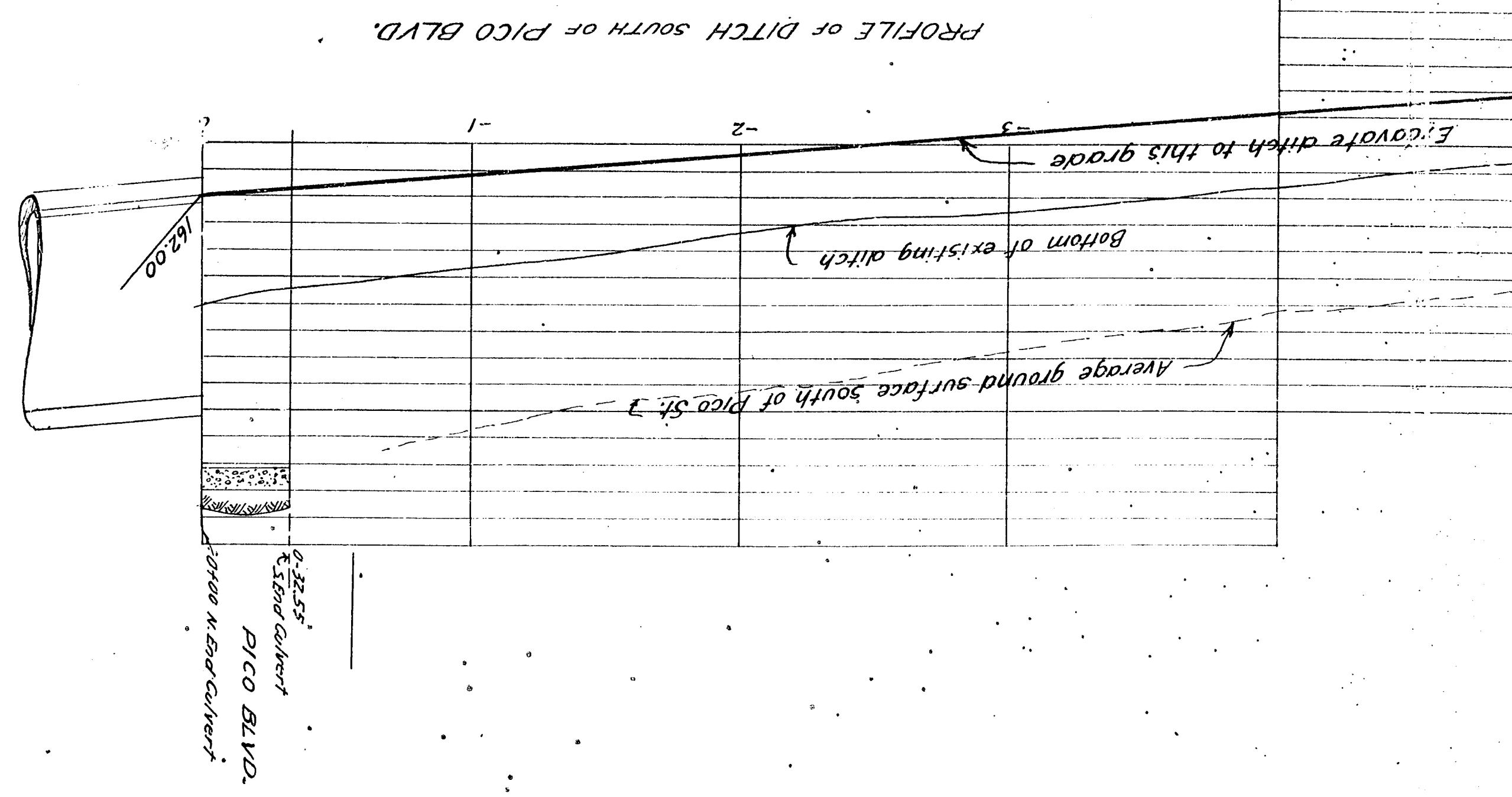
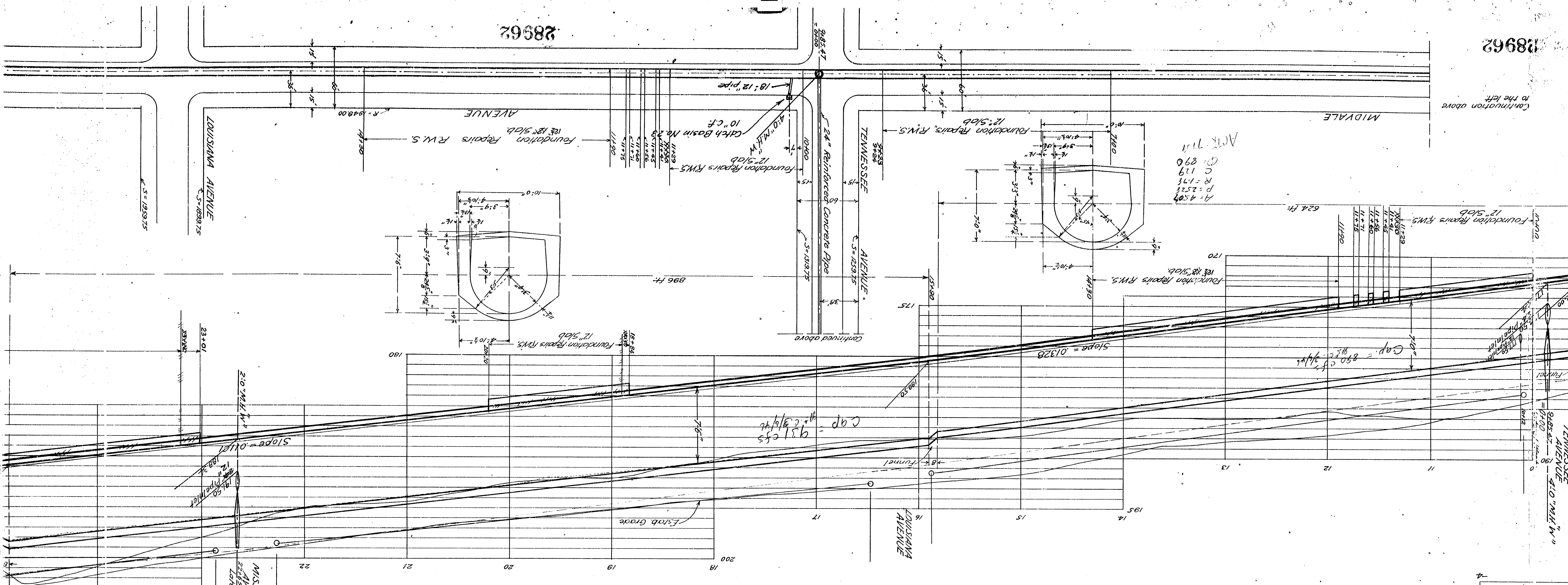


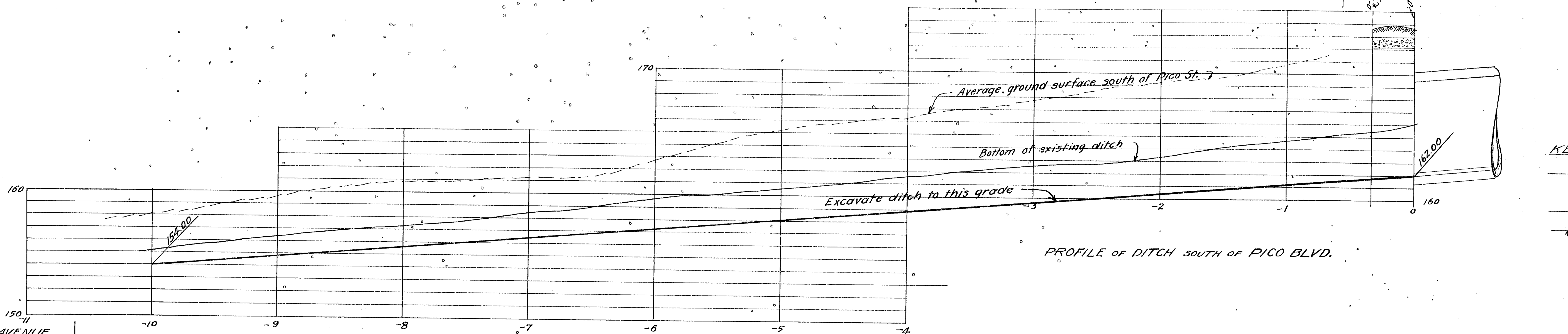
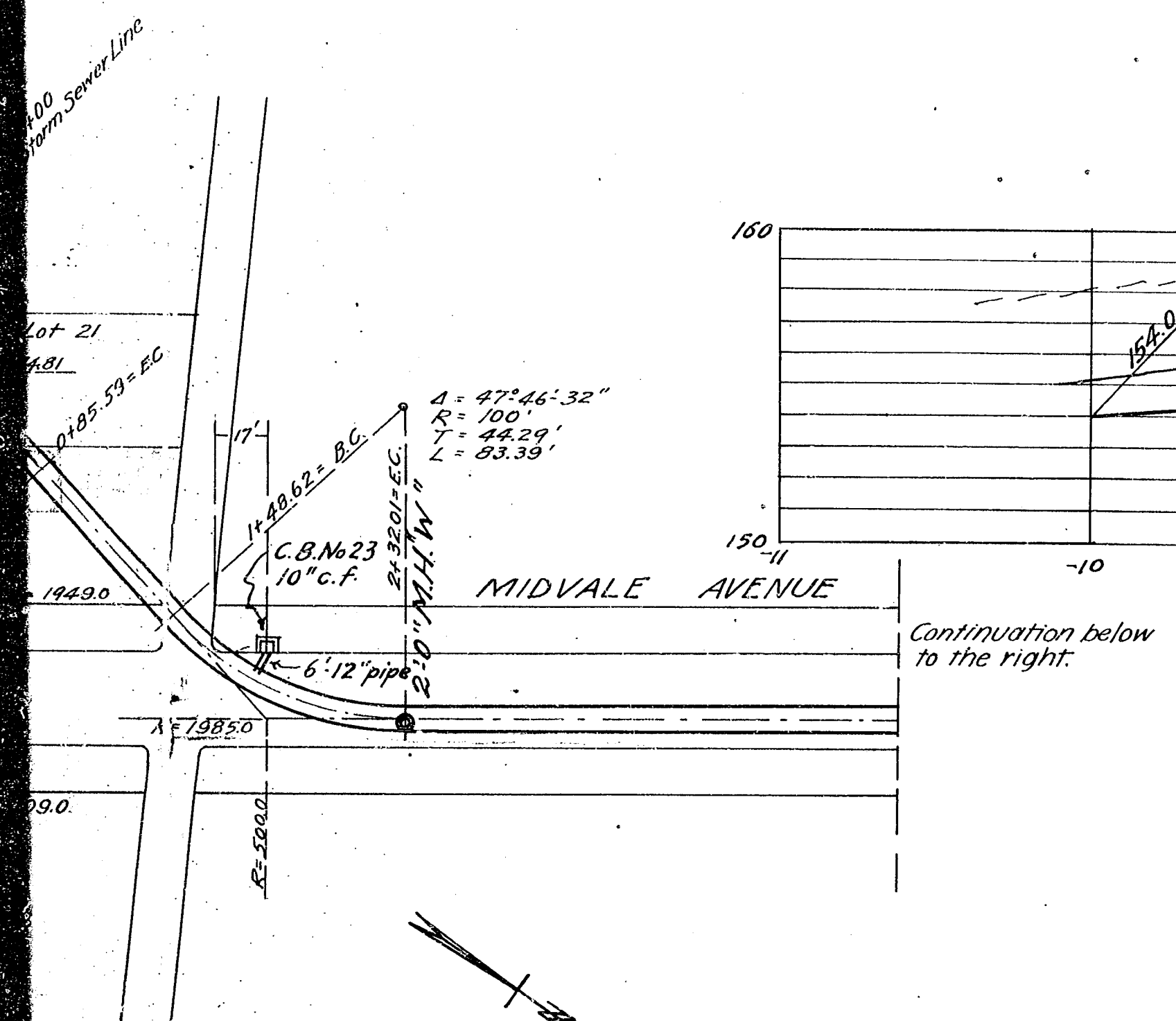




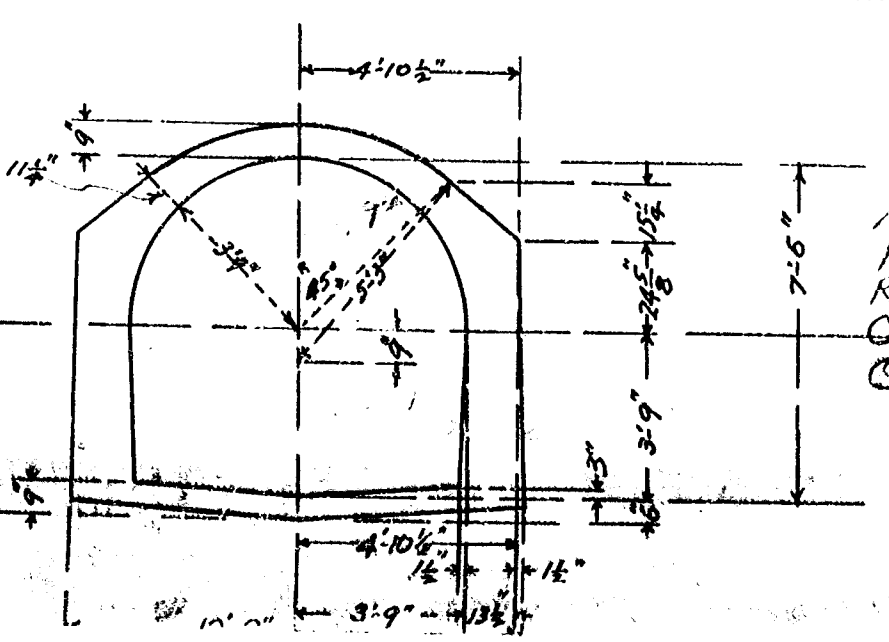
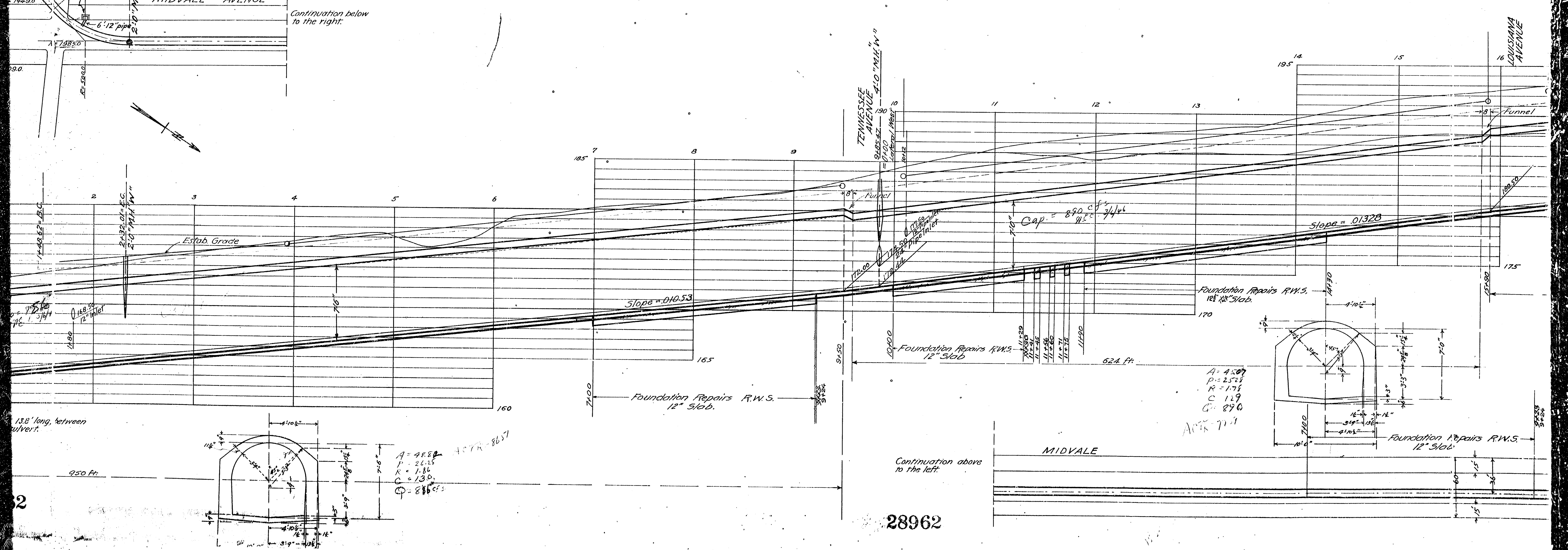
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Continuation above to the left





KELTON
45°18'0"
3
4.0
R = 16790



A = 4882
P = 26.25
R = 1.86
C = 130
Q = 886

28962

XERISCAPE ORDINANCE

ARCHITECTURAL DIVISION COMPLIANCE FORM

| LOT SQUARE FOOTAGE | POINTS REQUIRED |
|-----------------------------|----------------------------------|
| LESS THAN 15,000 | 50 |
| 15,000 - 86,000 | 100 |
| 86,001 - 150,000 | 200 |
| MORE THAN 150,000 | 200 PER EACH 150,000 SQUARE FEET |
| LOT SQUARE FOOTAGE = 10,230 | POINTS REQUIRED = 50 |

| TECHNIQUES: | POSSIBLE POINTS | CLAIMED POINTS |
|--|-----------------|----------------|
| DRIP/TRICKLE/MICRO IRRIGATION (IN ANY PORTION OF PLANTED AREAS) | 10 | 10 |
| LAWN AREAS INCLUDING DICHONDRA, SEPARATED FROM PLANTING AREAS IN IRRIGATION SYSTEM | 10 | |
| LAWN LESS THAN 25% OF THE PLANTING AREA | 10 | 10 |
| AUTOMATIC IRRIGATION CONTROLLER (ANY NUMBER) | 5 | 5 |
| TENSIO-METER/ANENOMETER/RAIN CUP USED WITH AUTOMATIC CONTROLLER | 5 | 5 |
| SWIMMING POOL/SPA COVER (IF SITE HAS BOTH A POOL AND A SPA, BOTH MUST HAVE A COVER TO EARN POINTS) | 5 | |
| NON-LIVING GROUND COVER SUCH AS WOOD CHIPS IN PLANTING AREAS (ANY AMOUNT) | 10 | 10 |
| PERMEABLE PAVING (ANY AMOUNT) | 5 | |
| RECIRCULATING WATER FEATURE (PER FEATURE) | 5 | |
| USE OF RECLAIMED WATER | 10 | |
| PLANTS - 2 PER PLANT | | 118 |
| HYDROSEED - 10 PER 5000 SQ. FT. | | |
| FLATTED PLANTS - 5 PER FLAT, UP TO 5 FLATS PER 2000 SQ. FT. | | 30 |

TOTAL POINTS = 188

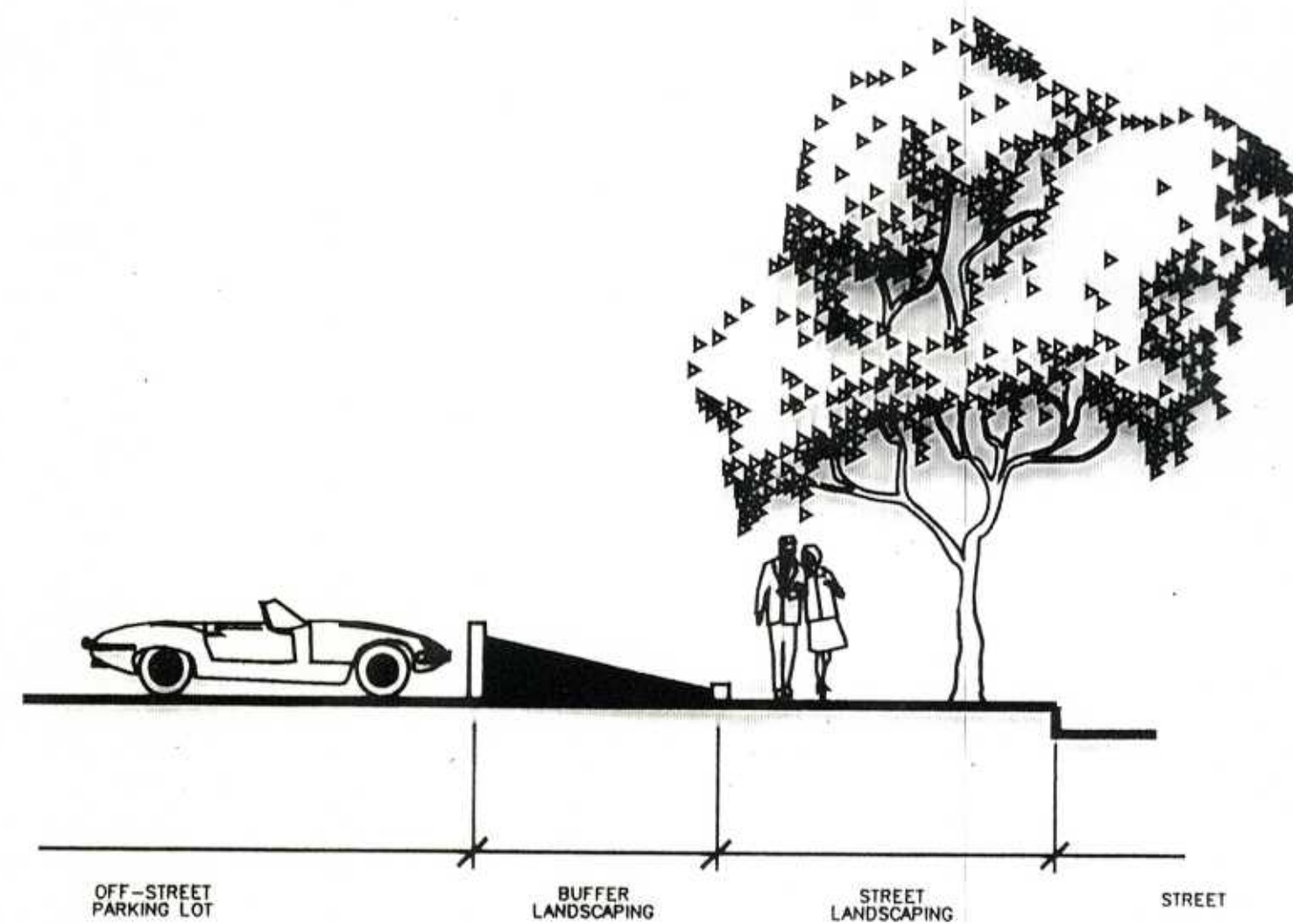
REGISTRATION STAMP

PLANNING DEPARTMENT STAMP

XERISCAPE rev. 11-4-91

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY THE BOARD OF PUBLIC WORKS OF THE CITY OF LOS ANGELES AS MODIFIED BY THE CORRESPONDING ISSUE OF STANDARD PLAN S-610 AND TO THE SPECIAL PROVISIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS STANDARD PLANS, UNLESS OTHERWISE SUPPLEMENTED OR MODIFIED. STANDARD PLANS ARE AVAILABLE AT THE PUBLIC REFERENCE COUNTER, ROOM 803, CITY HALL.
- INSPECTIONS
ALL WORK AND MATERIALS ARE SUBJECT TO INSPECTION AND APPROVAL. IN ADDITION TO INSPECTIONS REQUIRED BY THE STANDARD PLANS, AND SPECIFICATIONS, THE FOLLOWING INSPECTIONS ARE REQUIRED:
*TAGGING OF PLANT MATERIAL 15 GALLON AND LARGER AT THEIR SOURCE.
*APPROVAL OF ALL PLANT MATERIAL AT THE SITE PRIOR TO PLANTING.
*CONFIRMATION AND APPROVAL OF PLANT MATERIAL LOCATION AND PLACING PRIOR TO PLANTING.
*PRE-MAINTENANCE FINAL LANDSCAPE INSPECTION.
*POST-MAINTENANCE FINAL LANDSCAPE INSPECTION.
- SUBMITTAL
THE CONTRACTOR SHALL SUBMIT FIVE (5) COPIES OF COMPLETE SUBMITTAL LITERATURE AND/OR INFORMATION REGARDING ALL MATERIALS AND EQUIPMENT WITHIN 30 CALENDAR DAYS OF THE AWARD OF THIS CONTRACT. SUBMITTAL SHALL INCLUDE MANUFACTURER'S NAME, ADDRESS, PHONE NUMBER, AND SPECIFIC TRADE NAMES AND/OR NECESSARY DESCRIPTIVE LITERATURE. CLEARLY MARK OR UNDERLINE PROPOSED ITEMS. DELIVER SUBMITTAL FOR APPROVAL TO THE PROJECT ENGINEER.
- CITY LANDSCAPE ARCHITECT
A MEMBER OF THE CITY'S LANDSCAPE ARCHITECTURAL SECTION CAN BE REACHED AT (213) 362-6364.
- UNDERGROUND SERVICE ALERT
THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA) AT 1-(800)-422-4133 TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION WORK.
- AS-BUILT DRAWINGS
THE CONTRACTOR SHALL PROVIDE A SET OF AS-BUILT DRAWINGS TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT THE START OF THE PLANT ESTABLISHMENT PERIOD. THE AS-BUILT DRAWINGS SHALL BE MAINTAINED DAILY THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE AVAILABLE AT ALL JOB MEETINGS. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED ON A FULL SIZE SET OF PLANS WITH ALL VALVE LOCATIONS, PIPING, SLEEVES, ELECTRICAL WIRING, AND ANY DEVIATIONS FROM THE ORIGINAL PLAN CONFIGURATION, CLEARLY IDENTIFIED AND DIMENSIONED. THE PLANT ESTABLISHMENT PERIOD WILL NOT BEGIN UNTIL AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED.
- PERMITS AND INSPECTIONS
THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- SURVEYING
STANDARD SPECIFICATIONS SECTION 2-9 "SURVEYING" SHALL BE AMENDED AS FOLLOWS:
THE CITY ENGINEER WILL PERFORM AND BE RESPONSIBLE FOR THE ACCURACY OF SURVEYING PROPERTY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEYING WITHIN THE PROPERTY LINES. ALL SURVEYING WORK, REQUIRED BY THE CONTRACTOR, SHALL BE PAID FOR BY THE CONTRACTOR AND PERFORMED BY A LICENSED SURVEYOR.
- STANDARD PLANS FOR THIS PROJECT
CERTAIN WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PLANS:
NUMBER
S-410-2 TYPES OF CURBS AND GUTTERS
S-430-1 JOINTS IN CONCRETE PAVEMENT
S-610 NOTICE TO CONTRACTORS - COMPREHENSIVE
S-450-2 TREE WELLS
S-654-0 IRRIGATION SWING JOINTS
S-655-0 GATE VALVE
S-657-0 PIPE TRENCHING
S-683-0 TREE STAKING
S-456-1 ROOT BARRIERS
(SEE SHT. L-7 FOR ADDITIONAL STD. PLANS)
- ALL LANDSCAPE AND IRRIGATION WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
- EXISTING PHASE 1 PARKING LOT
THE CONTRACTOR SHALL NOT DISTURB PHASE 1 PARKING LOT OPERATIONS WITH OUT PRIOR AUTHORIZATION FROM THE DEPARTMENT OF TRANSPORTATION AND THE PROJECT ENGINEER. ANY REQUESTS SHALL BE SUBMITTED IN WRITING TO THE PROJECT ENGINEER A MINIMUM OF FIVE WORKING DAYS PRIOR TO WORK.



PICO-MIDVALE OFF-STREET PARKING LOT #42/707
W.O. E1560012
PHASE 2

ACCEPTANCE OF COMPLETED PROJECT

- THE PROJECT SHALL BE ACCEPTED AS COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
- ALL WORK REQUIRED BY BUREAU OF CONTRACT ADMINISTRATION UNDER ITS FINAL INSPECTION HAS SATISFACTORILY BEEN ACCOMPLISHED.
 - THE DEPARTMENT OF BUILDING AND SAFETY HAS SIGNED OFF THE FINAL INSPECTION APPROVAL AT THE BOTTOM OF ITS JOB CARD.
 - THE BUREAU OF STREET LIGHTING HAS INSPECTED AND APPROVED ALL LIGHTING WORK.
 - ALL DEPARTMENT OF WATER AND POWER WATER AND ELECTRICAL SERVICES, METERS AND CONDUIT ARE IN PLACE AND OPERATING.
 - ALL PAYMENTS TO SUB-CONTRACTORS HAVE BEEN MADE BY THE CONTRACTOR AND NO LIENS EXIST.

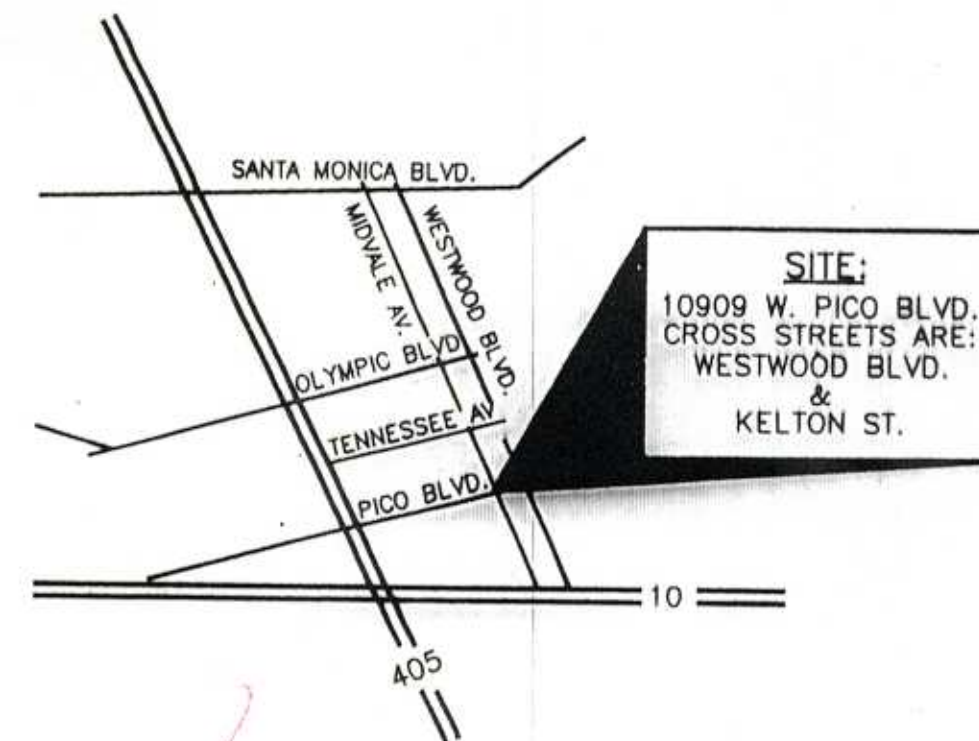
ABBREVIATIONS

| | | |
|-----------------------------------|------------------------------|----------------------------|
| AC ASPHALT CONCRETE | FL FLOW LINE | POB POINT OF BEGINNING |
| AD ATRIUM DRAIN/AREA DRAIN | FIN FINISHED | POC POINT OF CONNECTION |
| AMPS AMPERES | FOC FACE OF CURB | PP POWER POLE |
| AWG AMERICAN WIRE GAUGE | FOW FACE OF WALL | PSI POUNDS PER SQUARE INCH |
| BC BOTTOM OF CURB/BEGIN CURB | FG FINISHED GRADE | PW POTABLE WATER |
| BDRY BOUNDARY | FS FINISHED SURFACE | QC QUICK COUPLER |
| BLDG BUILDING | FFE FINISHED FLOOR ELEVATION | R/RAD RADIUS "R" |
| BM BENCH MARK | FD FLOOR DRAIN | RE RIM ELEVATION |
| BOW BACK OF WALL | GA GAUGE | RCV REMOTE CONTROL VALVE |
| BOC BACK OF CURB | GALV GALVANIZED | ROW RIGHT OF WAY |
| BW BOTTOM OF WALL | GAL GALLON(S) | REF LINE REFERENCE LINE |
| CB CATCH BASIN | GB GRADE BREAK | REINF REINFORCED |
| CL CENTER LINE | GC GROUND COVER | REQD REQUIRED |
| C-C CENTER TO CENTER | GPM GALLONS PER MINUTE | SCH SCHEDULE |
| CONC CONCRETE | GV GATE VALVE | SF SQUARE FEET |
| CONST CONSTRUCTION/CONSTRUCT | HB HOSE BIB | SGL STK SINGLE STAKE |
| CONT CONTINUOUS | HP HIGH POINT | SHT SHEET |
| DD DECK DRAIN | ID INSIDE DIAMETER | SL SCORE LINE |
| DEMO DEMOLITION | IE INVERT ELEVATION | SMH SEWER MAINTENANCE HOLE |
| DBL STK DOUBLE STAKE | IRRG IRRIGATION | SPEC SPECIFICATION |
| DET DETAIL | LA LANDSCAPE ARCHITECT | STA STANDARD |
| DF DRINKING FOUNTAIN | LBS POUNDS | SOV SHUT OFF VALVE |
| DIP DUCTILE IRON PIPE | LS LANDSCAPE | SIN SIGNAL |
| DN DOWN | MAX MAXIMUM | TP TYPICAL |
| DWG DRAWING | MAINT MAINTENANCE | TC TOP OF CURB |
| DWP DEPARTMENT OF WATER AND POWER | MFG MANUFACTURER | TW TOP OF WALL |
| DWY DRIVEWAY | MIN MINIMUM | V VOLTS |
| EFF EFFLUENT WATER | NIC NOT IN CONTRACT | W/O WITHOUT |
| EL ELEVATION | OC ON-CENTER | WO WORK ORDER |
| ELECT ELECTRIC/ELECTRICAL | OD OUTSIDE DIAMETER | WPJ WEAKENED PLANE JOINT |
| ENCL ENCLOSURE | PA PLANTING AREA | YDS YARDS |
| EQ EQUAL | PB PULL BOX | |
| EXP JT EXPANSION JOINT | PL PROPERTY LINE | |
| EXIST EXISTING | PVC POLY VINYL CHLORIDE | |
| EC END OF CURVE | | |

(XXX.XX) EX ELEVATION
XXX.XX NEW CONSTRUCTION ELEVATION

SHEET INDEX

| | |
|-----|---|
| L-1 | TITLE SHEET: VICINITY MAP / ABBREVIATIONS / GENERAL NOTES |
| L-2 | DEMOLITION PLAN & NOTES |
| L-3 | CONSTRUCTION PLAN & NOTES / STRIPING PLAN & NOTES |
| L-4 | IRRIGATION PLAN & NOTES |
| L-5 | PLANTING PLAN & NOTES |
| L-6 | DETAIL SHEET |
| L-7 | STRIP FILTER CONSTRUCTION PLAN & NOTES |
| L-8 | STRIP FILTER DETAIL SHEET |
| L-9 | STRIP FILTER DETAIL SHEET |
| E-1 | ELECTRICAL PLAN & NOTES |
| E-2 | ELECTRICAL DETAIL SHEET |



VICINITY MAP
NOT TO SCALE

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING
ROBERT S. HORI CITY ENGINEER
ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890 PHONE 485-5825

REGISTERED PROFESSIONAL ENGINEER
RALPH H. KENNEDY
No. C-17376
Exp. 6-30-93
STATE OF CALIFORNIA

CITY ENGINEER
DEPT. CITY ENGINEER
LARRY J. KELLY
PRINCIPAL ARCHITECT
HARVEY LITTELL

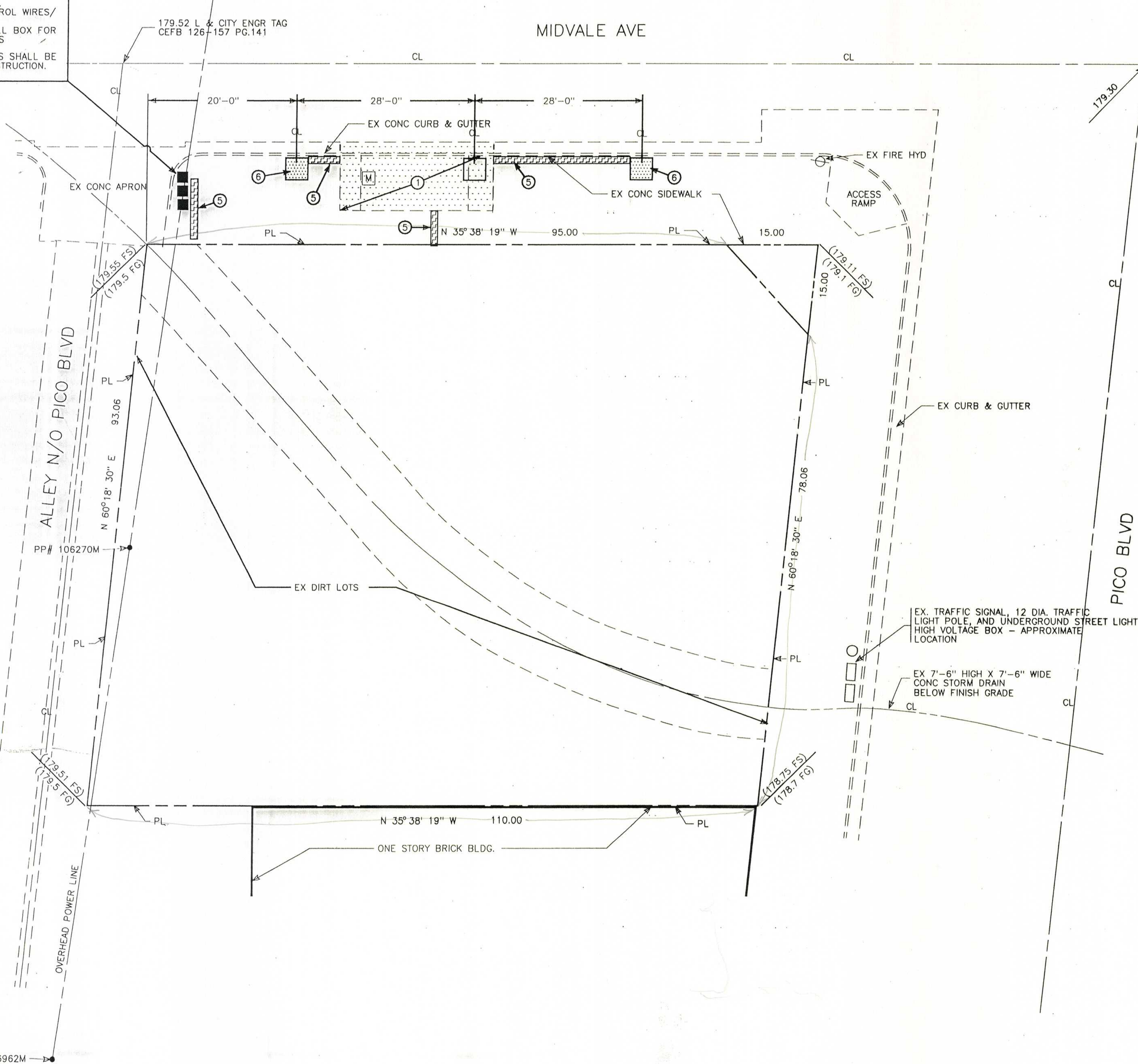
STRUCTURAL ENG.
BLDG. MECH. ENG.
BLDG. ELEC. ENG.

TITLE SHEET: VICINITY MAP / ABBREVIATIONS / SHEET INDEX / GENERAL NOTES
CONSTRUCT OFF-STREET PARKING LOT
42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2
10809 WEST PICO BOULEVARD, LOS ANGELES CA
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO. 42/707
WORK ORDER NO. E1560012
PLAN NO. 7988
DATE 5-29-92
JOB CAPTAIN L.O.
DRAWN BY BSL
CHECKED BY
SHEET NO. L-1

BLDG. NO. 42/707
SHEET OF SHEETS
INDEX NUMBER

3 EX. VALVE BOXES FROM
PHASE 1 CONSTRUCTION.
BOX #
1. IRRIGATION P.O.C.
2. IRRIGATION CONTROL WIRES/
PULL BOX
3. ELECTRICAL PULL BOX FOR
LIGHTING STANDARDS
ALL PULL BOXES SHALL BE
UTILIZED FOR CONSTRUCTION.



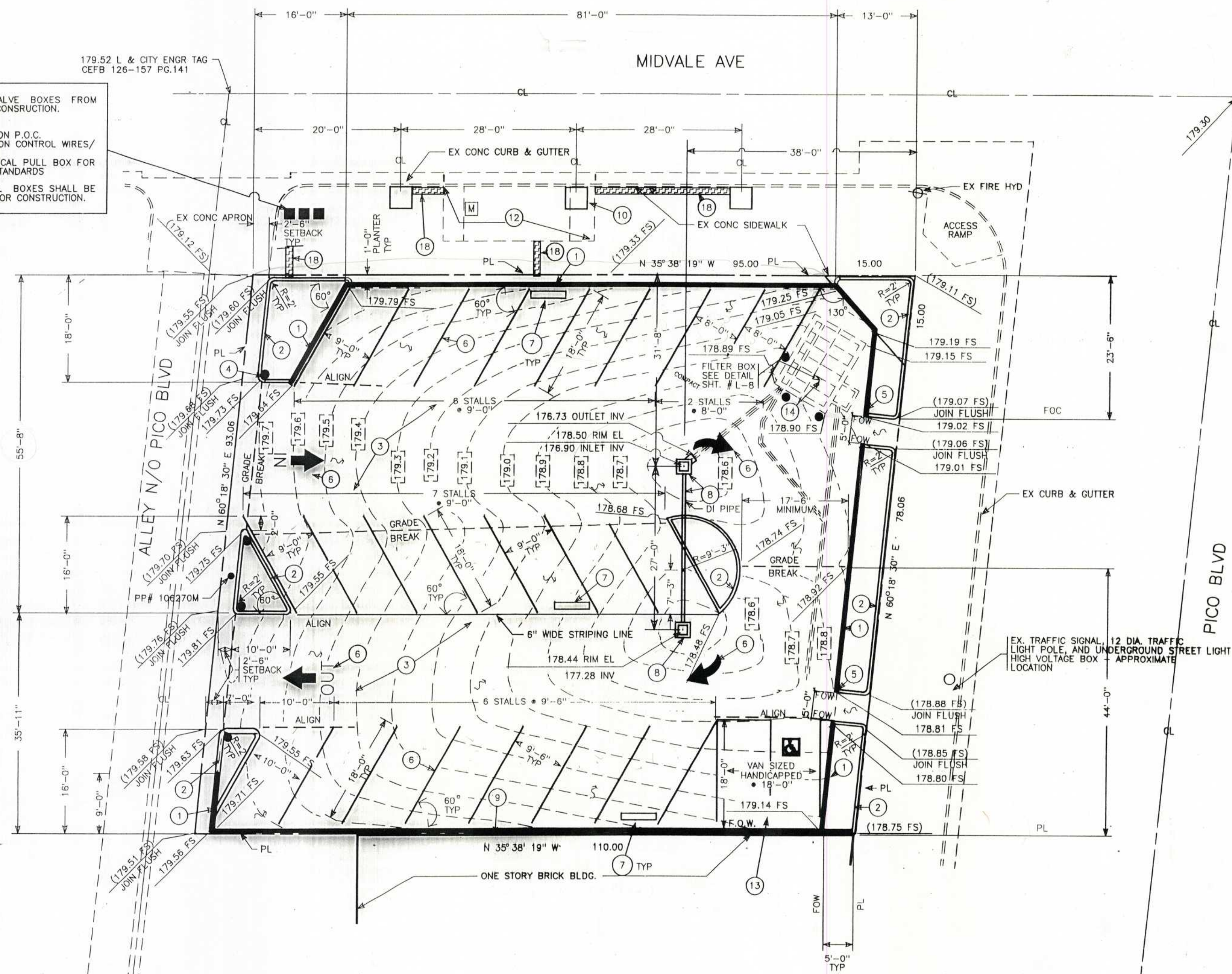
DEMOLITION NOTES

1. SAW CUT AND REMOVE CONCRETE APPROACH, CURB, AND GUTTER. SEE CONSTRUCTION PLAN FOR REPLACEMENT. (SHEET L-3)
2. SEE CONSTRUCTION PLAN FOR TREE WELL INSTALLATION. (SHEET L-3)
3. EXISTING DIRT LOTS ARE AT 90% RELATIVE COMPACTION.
4. PROVIDE THE DEPARTMENT OF TRANSPORTATION - OFF-STREET PARKING DIVISION • (213) 485-2120 7 WORKING DAYS NOTICE FOR EXISTING CHAIN LINK FENCE REMOVAL.
5. SAW CUT AND REMOVE CONCRETE FOR IRRIGATION AND ELECTRICAL WORK AS REQUIRED (SEE SHEETS L3, L4, E1)
6. SAW CUT AND REMOVE CONCRETE FOR TREE WELL INSTALLATION. (SEE SHEETS L3, L4) FOR SOIL REMOVAL SEE SHEET L3 - NOTE 15.

DEMOLITION PLAN
SCALE 1" = 10'-0"

| | | | |
|---|--|--|--|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | | BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825 | |
| CITY ENGINEER | | DEPUTY CITY ENGINEER | |
| ARCHITECT | | PRINCIPAL ARCHITECT | |
| BLDG. NO. 42/707 | | CONSTRUCT OFF-STREET PARKING LOT - PHASE 2 | |
| WORK ORDER NO. E1560012 | | 42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 | |
| PLAN NO. 7988 | | 10909 WEST PICO BOULEVARD, LOS ANGELES CA | |
| DATE 5-29-92 | | FOR: DEPARTMENT OF TRANSPORTATION | |
| JOB CAPTAIN LO | | | |
| DRAWN BY BSL | | | |
| CHECKED BY | | | |
| SHEET NO. | | | |
| L-2 | | | |
| OF 11 SHEETS | | | |
| BLDG. NO. 42/707 | | INDEX NUMBER | |

3 EX. VALVE BOXES FROM
PHASE 1 CONSTRUCTION.
BOX #
1. IRRIGATION P.O.C.
2. IRRIGATION CONTROL WIRES/
PULL BOX
3. ELECTRICAL PULL BOX FOR
LIGHTING STANDARDS
ALL PULL BOXES SHALL BE
UTILIZED FOR CONSTRUCTION.



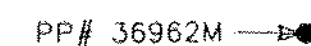
CONSTRUCTION & STRIPING NOTES

1. INSTALL CONCRETE BLOCK RETAINING WALL PER DETAIL A L-6
2. INSTALL CONCRETE PLANTER CURB PER DETAIL B L-6 PROVIDE 3/8" CONTACT JOINTS AT WALLS.
3. INSTALL ASPHALT CONCRETE PAVING TO PARKING SURFACE WITHIN PROPERTY LINES. ASPHALT CONCRETE SHALL BE OF CLASS AND GRADE C2-AR-4000 AND SHALL BE A MINIMUM OF 3" THICK OVER SELECT BASE MATERIAL PER SECTION 200-2.6. SELECT BASE SHALL BE A MINIMUM OF 4" THICK OVER 90% RELATIVE COMPACTED NATIVE SOIL.
4. INSTALL BOLLARD PER DETAIL L-6 EXACT LOCATION SHALL BE APPROVED BY PROJECT ENGINEER PRIOR TO INSTALLATION. (TOTAL OF 7 BOLLARDS)
5. INSTALL CONCRETE BLOCK WALL END DETAIL PER DETAIL C L-6
6. INSTALL PARKING STALL STRIPING PER DETAILS EHL L-6
7. INSTALL CONCRETE WHEEL BUMPER TO ALL PARKING STALLS PER DETAIL F L-6
8. INSTALL CATCH BASIN PER DETAIL G L-6
INSTALL 6" DI PIPE. SEE PROFILE (1) ON SHT. L-7
9. INSTALL CONCRETE BLOCK WALL PER PROPERTY LINE WALL DETAIL K L-6
10. INSTALL STREET TREE WELL PER STD. PLAN S-450-2 TYPE A-1. (TOTAL OF 3 TREE WELLS)
11. THE CONTRACTOR SHALL VERIFY, TO THE PROJECT ENGINEER, THAT THE SITE DRAINS PROPERLY PRIOR TO STRIPING. THE CONTRACTOR SHALL FURNISH A WATER TRUCK, WATER, AND REQUIRED EQUIPMENT AND PERSONNEL TO APPLY WATER FOR VERIFICATION. ANY AREAS THAT DO NOT DRAIN PROPERLY SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE CITY.
12. INSTALL CONCRETE CURB AND GUTTER PER STD. PLAN S-410-1 TYPE C. MATCH EXISTING FLOW LINES AND JOIN FLUSH.
INSTALL 3" THICK CONCRETE SIDEWALK PER SUBSECTION 201 AND 303. JOIN FLUSH WITH EXISTING SURFACES. MATCH EXISTING WEAKENED PLANE JOINTS PER STD. PLAN S-430-1.
REPLACE EXISTING WATER METER BOX WITH NEW APPROVED WATER METER BOX FLUSH WITH NEW FINISH SURFACE.
13. INSTALL HANDICAPPED PARKING STALL STRIPING AND SIGNAGE PER DETAIL H L-6
14. STRIP FILTER BOX AND RELATED CONSTRUCTION ITEMS SHALL BE CONSTRUCTED PER STRIP FILTER CONSTRUCTION SHTS L-7, L-8, L-9.
15. SOIL REMOVAL AND DISPOSAL IS REQUIRED FOR CONSTRUCTION OPERATIONS, AND SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE. REMOVAL AND DISPOSAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR. ALL REMOVED SOIL SHALL BE DISPOSED OF AT AN APPROVED LOCATION. REFER TO DEMOLITION SHEET L-2 FOR EXISTING GRADE ELEVATIONS.
16. PROVIDE AND APPLY 2120 SQ. FT. OF 'ON-GUARD' GRAFFITI COATING ON CONCRETE WALLS PER MANUFACTURER'S RECOMMENDATION. LOCATION AND TIME OF APPLICATION SHALL BE PER DIRECTION OF THE PROJECT ENGINEER. PROVIDE ADDITIONAL GRAFFITI COATING MATERIAL IN THE AMOUNT REQUIRED TO RE-APPLY THE WALLS COMPLETELY IN UNOPENED MANUFACTURER'S CONTAINERS PRIOR TO THE FINAL INSPECTION. (ON-GUARD # (213) 589-1780)
17. SEE SHEET E1 AND E2 FOR ELECTRICAL WORK.
18. INSTALL 3" THICK CONCRETE SIDEWALK PATCH TO ALL DISTURBED AREAS PER SUBSECTION 201 AND 303 OF THE SPECIFICATIONS. JOIN FLUSH WITH EXISTING SURFACES AND MATCH EXISTING FLOW LINES.
19. CONTOUR LINES ARE SHOWN FOR GRAPHIC CLARITY. DO NOT CONSTRUCT PAVING SURFACES BASED ON THE ACCURACY OF THE CONTOUR LINES.

CONSTRUCTION & STRIPING PLAN
SCALE 1" = 10'-0"

| | |
|--|----------------------|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | |
| BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 445-5825 | |
| CITY ENGINEER | DEPUTY CITY ENGINEER |
| ARCHITECT | PRINCIPAL ARCHITECT |
| STRUCTURAL ENG. | BLDG. MECH. ENG. |
| BLDG. ELEC. ENG. | |
| CONSTRUCTION PLAN & NOTES / STRIPING PLAN & NOTES | |
| CONSTRUCT OFF-STREET PARKING LOT | |
| 42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 10909 WEST PICO BOULEVARD, LOS ANGELES CA FOR: DEPARTMENT OF TRANSPORTATION | |
| BLDG. NO. | 42/707 |
| WORK ORDER NO. | E1560012 |
| PLAN NO. | 7988 |
| DATE | 6-12-92 |
| JOB CAPTAIN | LO |
| DRAWN BY | BSL |
| CHECKED BY | AD |
| SHEET NO. | |
| BLDG. NO. | 42/707 |
| OF | 11 |
| SHTS | |
| L-3 | |

PHASE 1 IRRIGATION WORK INCLUDED THE
INSTALLATION OF A PULL BOX HOUSING 5
LIVE CONTROL WIRES FOR WORK INCLUDED
ON THESE PLANS. THE CONTROLLER ON
ADJACENT (PHASE 1) LOT SHALL BE USED
FOR PLANT ESTABLISHMENT PERIOD.



A diagram of a valve symbol, which is a circle with a horizontal line passing through its center. An arrow points from the left towards the circle, labeled "GALLONS PER MINUTE". The circle is divided into three sections by the horizontal line and a vertical line. The top section is labeled "A", the bottom section is labeled "B", and the right section is labeled "C". To the right of the circle, there are two labels: "VALVE SEQUENCE" pointing to the top section (A) and "VALVE SIZE" pointing to the bottom section (B).

1. THE PLAN(S) IS DIAGRAMATIC. LOCATE ALL PIPING, VALVES, ETC. IN PLANTING AREAS WHERE POSSIBLE, UNLESS OTHERWISE NOTED. LOCATE ALL IRRIGATION HEADS A MINIMUM OF 3" FROM THE EDGE OF CURBS, WALLS, AND/OR OTHER HARDSCAPE AREAS.
2. VERIFY CONDITIONS
THE CONTRACTOR SHALL VERIFY EXISTING LOCATIONS OF ALL UTILITY SERVICE LINES AND SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE INCURRED DURING HIS/HER WORK. VERIFY THE STATIC PSI AND GPM AT THE POINT OF CONNECTION. NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT (213) 362-6364 OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
3. IRRIGATION INSPECTION
THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT (213) 362-6364 A MINIMUM OF 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
4. VALVE BOXES
UNLESS OTHERWISE SHOWN OR NOTED, STANDARD PLAN S-655-0 IS MODIFIED AS FOLLOWS: ALL VALVE/PULL BOXES SHALL BE 9 1/2" X 16" X 12", MADE OF CONCRETE WITH A CAST IRON, DOUBLE TOGGLE LOCKING TRAFFIC LID. ALL VALVE/PULL BOX LIDS SHALL BE EMBOSSED WITH THE FOLLOWING IDENTIFICATION IN 2" HIGH INITIALS:
SHUT-OFF VALVE SOV
REMOTE CONTROL VALVE RCV
QUICK COUPLER VALVE QC
REMOTE CONTROL VALVE W/ RCV/QC
QUICK COUPLER VALVE
(IN SAME BOX)
ELECTRICAL PULL BOX ELEC
5. PIPE AND FITTINGS
LATERAL LINES AND CORRESPONDING SLIP TYPE FITTINGS, EXCLUDING THREADED FITTINGS, SHALL BE NEW SCHEDULE 40 PVC. ALL THREADED FITTINGS, SLEEVE AND CONTINUOUSLY PRESSURIZED MAIN-LINE AND CORRESPONDING FITTINGS SHALL BE NEW SCHEDULE 80 PVC UNLESS OTHERWISE NOTED.
6. ELECTRICAL CONTROL WIRES
CONTROL WIRING SHALL BE DIRECT BURIAL TYPE WIRE WITH A MINIMUM SIZE OF 14 GA. (AWG). PROVIDE CONTROL WIRING TO ALL REMOTE CONTROL VALVES INCLUDING A SPARE CONTROL WIRE TO THE FURTHEST REMOTE CONTROL VALVE. IN THE EVENT THAT ONE CONTROLLER HAS SEVERAL DIRECTIONS OF CONTROL WIRE RUNS, ALL DIRECTIONS SHALL HAVE AN EXTRA CONTROL WIRE. ALL SPARE CONTROL WIRES SHALL BE IDENTIFIED WITH LABELS AT BOTH ENDS. WIRING SHALL BE IDENTIFIED BY INTEGRAL WIRE COLOR CODING AS FOLLOWS:
COMMON WIRE WHITE
CONTROL WIRE RED (FOR FIRST CONTROLLER)
SPARE WIRE ORANGE (FOR SECOND CONTROLLER IF APPLICABLE)
YELLOW (FOR THIRD CONTROLLER IF APPLICABLE)
GREEN

7. ELECTRICAL CONTROL WIRE CONNECTIONS
CONTROL WIRE CONNECTIONS SHALL BE MADE USING APPROVED WATERTIGHT CONNECTOR SYSTEM. WIRES SHALL BE CONNECTED USING A COPPER CRIMP SLEEVE. THE CONNECTION SHALL BE PLACED IN A TWO PIECE (MALE-FEMALE) MALLEABLE PLASTIC CASING FILLED WITH WATERPROOF SEALANT.
8. LOW HEAD DRAINAGE
THE CONTRACTOR SHALL INSTALL IN-LINE LOW HEAD DRAINAGE VALVES AT IRRIGATION HEADS OR AS INDICATED ON THE PLAN(S) WHERE NECESSARY TO PREVENT LOW HEAD DRAINAGE.
9. IRRIGATION SYSTEM ADJUSTMENTS
THE CONTRACTOR SHALL ADJUST IRRIGATION SYSTEM TO ELIMINATE ANY ABOVE GRADE WATER POOLING AND BALANCE THE SYSTEM TO OPTIMUM OPERATING CONDITIONS AS APPROVED BY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT. ADJUST IRRIGATION HEADS AFTER THE INITIAL VALUE ADJUSTMENT TO PROVIDE DESIRABLE 100x HEAD TO HEAD COVERAGE WHILE ELIMINATING OVERSPRAY ONTO BUILDINGS, WALLS SIGNS, AND PAVED AREAS.
10. CONTROLLER CHARTS
THE CONTRACTOR SHALL PROVIDE TWO SETS OF THE CONTROLLER CHARTS SHOWING THE APPROVED AS-BUILT IRRIGATION PLANS. THE CHARTS SHALL BE DONE ON A HALF SIZE PHOTOGRAPHIC REPRODUCTION OF THE APPROVED IRRIGATION AS-BUILT PLANS AND SHALL REFLECT ALL AS-BUILT DATA. EACH STATION SHALL BE SHOWN IN A DIFFERENT COLOR AND CONTROL WIRE LOCATIONS SHALL BE INDICATED. THE COMPLETE PLAN(S) SHALL BE LAMINATED ON EACH SIDE WITH 20 MIL. ACRYLIC PLASTIC SHEET. A 3/4" BRASS GROMMET SHALL BE PLACED IN EACH TOP CORNER. THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE AS-BUILT PLANS PRIOR TO PROCEEDING WITH THE PLASTIC LAMINATION.

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING
ROBERT S. HORII
CITY ENGINEER

ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890
PHONE 485-5825

CITY ENGINEER
DEPUTY CITY ENGINEER
PRINCIPAL ARCHITECT







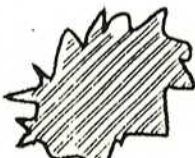


ARCHITECT
STRUCTURAL ENG.
BLDG. MECH. ENG.
BLDG. ELEC. ENG.

PLANTING PLAN & NOTES
CONSTRUCT OFF-STREET PARKING LOT
42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2
10909 WEST PICO BOULEVARD LOS ANGELES CA
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO. 42/707
WORK ORDER NO. E1560012
PLAN NO. 7988
DATE 5-29-92
JOB CAPTAIN LO
DRAWN BY BSL
CHECKED BY
SHEET NO.

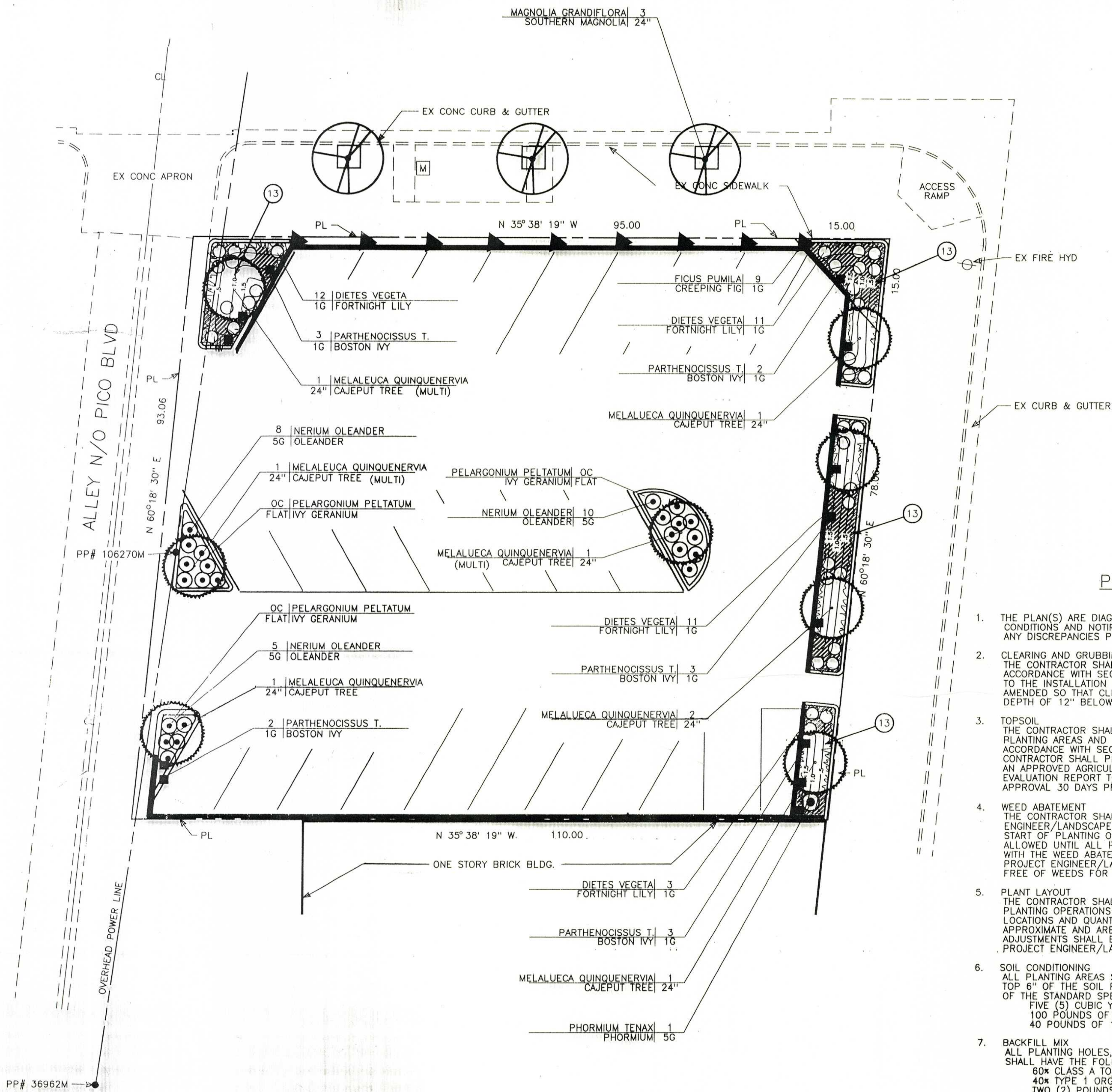
L-5
OF 11 SHEETS

BLDG. NO. 42/707
SHEET OF SHEETS
INDEX NUMBER

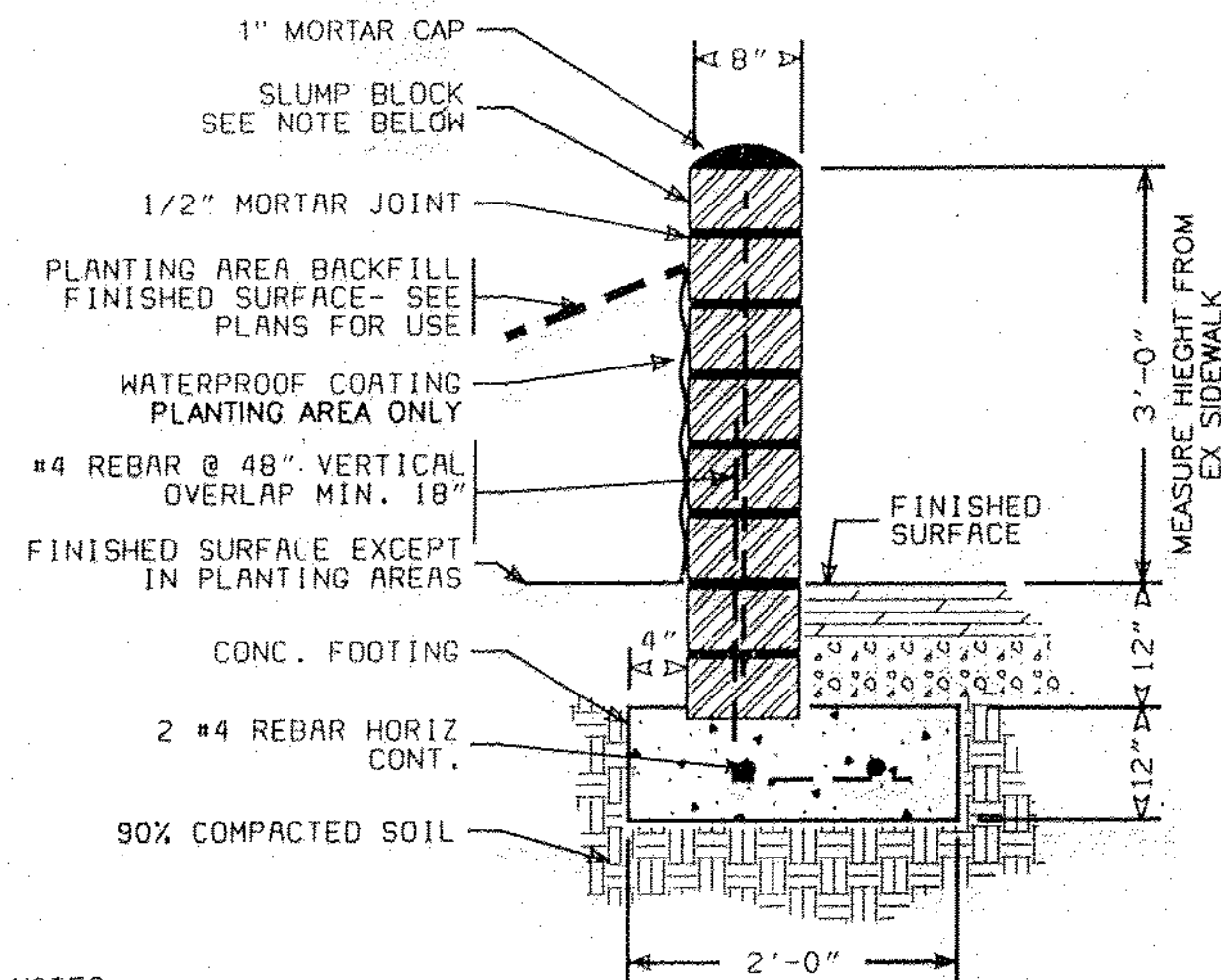
| PLANTING LEGEND | | | | | |
|---|---|----------------------|----------------------------------|------------|--|
| SYMBOL | BOTANICAL NAME | COMMON NAME | QUANTITY | SIZE | REMARKS |
|   | TREES | | | | |
| | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 3 | 24" BOX | INSTALL PER STD. PLAN S-663-0 DOUBLE STAKING PLAN S-450-2 TREE WHEEL COVER PLAN S-456-1 ROOT BARRIER |
| | MELALEUCA QUINQUENERVIA (MULTI) STEM PER PLAN | CAJEPUT TREE | 8 3 (MULTI) 5 SINGLE | 24" BOX | INSTALL PER STD. PLAN S-663-0 DOUBLE STAKING |
|    | SHRUBS | | | | |
| | DIETES VEGETA | FORTNIGHT LILY | 36 | 1 G | INSTALL PER STD. SPECIFICATIONS |
| | PHORMIUM TENAX | | 1 | 5 G |  |
| NERIUM OLEANDER 'PETITE PINK' | OLEANDER HYBRID | 23 | 5 G | | |
|    | GROUNDCOVERS & VINES | | | | |
| | ROSEMARINUS OFFICINALIS 'PROSTRATUS' | DWARF ROSEMARY | SEE PLAN | FLAT | INSTALL 10" O.C. |
| | PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 12 | 1 G | INSTALL PER STD. SPECIFICATIONS |
| | FICUS PUMILA | CREEPING FIG | 9 | 1 G | INSTALL PER STD. SPECIFICATIONS |
| | SEE PLAN | PELARGONIUM PELTATUM | IVY GERANIUM 50% PINK 50% RED | SEE PLAN | FLAT |

PLANTING NOTES

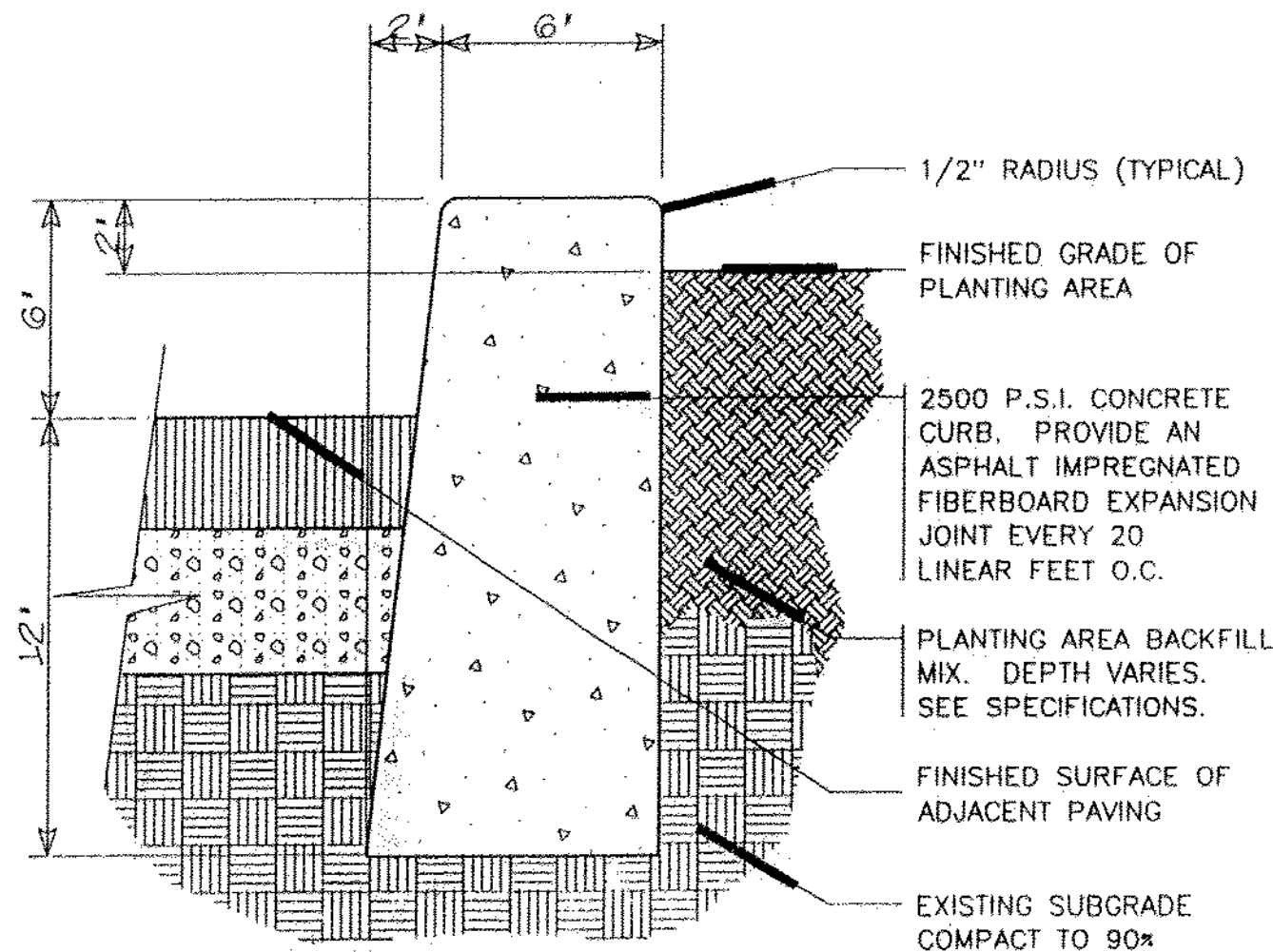
- THE PLAN(S) ARE DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CLEARING AND GRUBBING
THE CONTRACTOR SHALL CLEAR AND GRUB ALL IMPROVEMENT AREAS IN ACCORDANCE WITH SECTION 300-1 OF THE STANDARD SPECIFICATIONS PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM. SECTION 300-1 IS AMENDED SO THAT CLEARING AND GRUBBING OPERATIONS SHALL EXTEND TO A DEPTH OF 12" BELOW THE EXISTING FINISH GRADE.
- TOPSOIL
THE CONTRACTOR SHALL REMOVE THE TOP 24" OF EXISTING TOPSOIL IN ALL PLANTING AREAS AND REPLACE WITH 24" OF NEW CLASS "A" TOPSOIL IN ACCORDANCE WITH SECTION 212 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE GUARANTEES OF THE TOPSOIL'S QUALITIES WITH AN APPROVED AGRICULTURAL SUITABILITY EVALUATION REPORT. SUBMIT EVALUATION REPORT TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR APPROVAL 30 DAYS PRIOR TO ANY SOIL PLACEMENT.
- WEED ABATEMENT
THE CONTRACTOR SHALL SUBMIT A WEED ABATEMENT PROGRAM TO THE PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR APPROVAL 30 DAYS PRIOR TO THE START OF PLANTING OPERATIONS. NO PLANTING OPERATIONS WILL BE ALLOWED UNTIL ALL PLANTING AREAS ARE CLEARED OF WEEDS IN ACCORDANCE WITH THE WEED ABATEMENT PROGRAM AND TO THE SATISFACTION OF THE PROJECT ENGINEER/LANDSCAPE ARCHITECT. MAINTAIN ALL PLANTING AREAS FREE OF WEEDS FOR THE DURATION OF THE CONTRACT.
- PLANT LAYOUT
THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER 48 HOURS PRIOR TO PLANTING OPERATIONS TO CONFIRM THE LOCATION OF PLANT MATERIALS. LOCATIONS AND QUANTITIES OF PLANT MATERIALS ON THE PLANS ARE APPROXIMATE AND ARE PROVIDED TO SHOW GENERAL INTENT. PLANT LOCATION ADJUSTMENTS SHALL BE PERFORMED BY THE CONTRACTOR AS DIRECTED BY THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE CITY.
- SOIL CONDITIONING
ALL PLANTING AREAS SHALL HAVE THE FOLLOWING AMENDMENTS TILLED INTO THE TOP 6" OF THE SOIL PER 1000 SQUARE FEET IN ACCORDANCE WITH SECTION 308 OF THE STANDARD SPECIFICATIONS:
FIVE (5) CUBIC YARDS OF TYPE 1 ORGANIC SOIL AMENDMENT
100 POUNDS OF AGRICULTURAL GYPSUM
40 POUNDS OF 12-12-12 QUICK RELEASE COMMERCIAL FERTILIZER
- BACKFILL MIX
ALL PLANTING HOLES, EXCLUDING PLANT MATERIALS SMALLER THAN 1 GALLON, SHALL HAVE THE FOLLOWING BACKFILL MIXTURE:
60% CLASS A TOPSOIL
40% TYPE 1 ORGANIC SOIL AMENDMENT
TWO (2) POUNDS PER CUBIC YARD OF IRON SULFATE
AND THE FOLLOWING AMOUNTS OF 12-12-12 QUICK RELEASE COMMERCIAL FERTILIZER:
36" BOX PLANT = 4 POUNDS
24" BOX PLANT = 2 POUNDS
15 GALLON PLANT = 1 POUND
5 GALLON PLANT = 1 CUP
1 GALLON PLANT = 1/2 CUP
- MULCH
ALL PLANTING AREAS, EXCLUDING STREET TREE PLANTINGS AND TURF AREAS, SHALL HAVE TYPE 5 MULCH APPLIED. THE THICKNESS SHALL BE 1"
- FERTILIZATION
THE CONTRACTOR SHALL APPLY AN 8-8-4 COMMERCIAL SLOW RELEASE FERTILIZER TO ALL PLANTING AREAS AT A RATE OF 30 POUNDS PER 1000 SQUARE FEET UPON COMPLETION OF THE GROUNDCOVER PLANTING AND AT THIRTY DAY INTERVALS THEREAFTER UNTIL THE END OF THE PLANT ESTABLISHMENT PERIOD. THOROUGHLY WATER ALL PLANTING AREAS FOLLOWING THE APPLICATION OF THE FERTILIZER. ALL FERTILIZER APPLICATIONS SHALL BE PERFORMED UNDER INSPECTION BY A REPRESENTATIVE FROM THE BUREAU OF CONTRACT ADMINISTRATION.
- PLANT REPLACEMENT
THE CONTRACTOR SHALL REPLACE AS SOON AS POSSIBLE, ANY PLANT THAT SHOWS SIGNS OF FAILURE TO GROW AT ANY TIME DURING THE CONTRACT PERIOD OR THOSE PLANTS THAT ARE INJURED OR SO DAMAGED AS TO RENDER THEM UNSUITABLE FOR THE PURPOSE INTENDED. PROVIDE REPLACEMENT PLANTS OF THE SAME TYPE AND SIZE, AND INSTALL THEM PER THE PLANTING SPECIFICATION.
- PLANT ESTABLISHMENT PERIOD
THE CONTRACTOR SHALL PROVIDE A PLANT ESTABLISHMENT PERIOD IN ACCORDANCE WITH SECTION 308-6 OF THE STANDARD SPECIFICATIONS. SECTION 308-6 IS AMENDED TO EXTEND THE PLANT ESTABLISHMENT PERIOD TO A LENGTH OF 120 CALENDAR DAYS. ARRANGE FOR A PRE-MAINTENANCE FINAL INSPECTION TO START THE PLANT ESTABLISHMENT PERIOD BY CONTACTING THE BUREAU OF CONTRACT ADMINISTRATION, FINAL INSPECTION SECTION AT: CENTRAL METROPOLITAN, WEST LOS ANGELES AND HARBOR AREAS-(213)485-3001 WEST SAN FERNANDO VALLEY AND HYPERIAN TREATMENT PLANT-(818)989-8796 EAST SAN FERNANDO VALLEY AREA-(818)989-8335
- RESTORATION OF DAMAGED AREAS
THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION, ALL LANDSCAPED AREAS NOT SPECIFICALLY PROVIDED FOR BY THESE PLANS BUT IMPACTED BY CONSTRUCTION. PROVIDE ALL NECESSARY MATERIALS INCLUDING IRRIGATION EQUIPMENT, SOIL, SOIL AMENDMENTS, PLANTS OF THE SAME SPECIES, KINDS, AND SIZES, ETC. TO THE SATISFACTION OF THE PROJECT ENGINEER/LANDSCAPE ARCHITECT.
- CONTOUR LINES
FINAL PLANTING AREA GRADES SHALL CONFORM TO 1/2" CONTOUR LINES AS INDICATED ON THIS SHEET.
PROVIDE CLASS "A" TOPSOIL AS NECESSARY TO PROVIDE MOUNDING AS INDICATED BY CONTOUR LINES. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF FINAL GRADES. PROVIDE ADDITIONAL SOIL AND/OR GRADING AS REQUIRED TO PROVIDE SMOOTH AND WELL-SHAPED MOUNDS AS DIRECTED BY PROJECT ENGINEER/LANDSCAPE ARCHITECT.



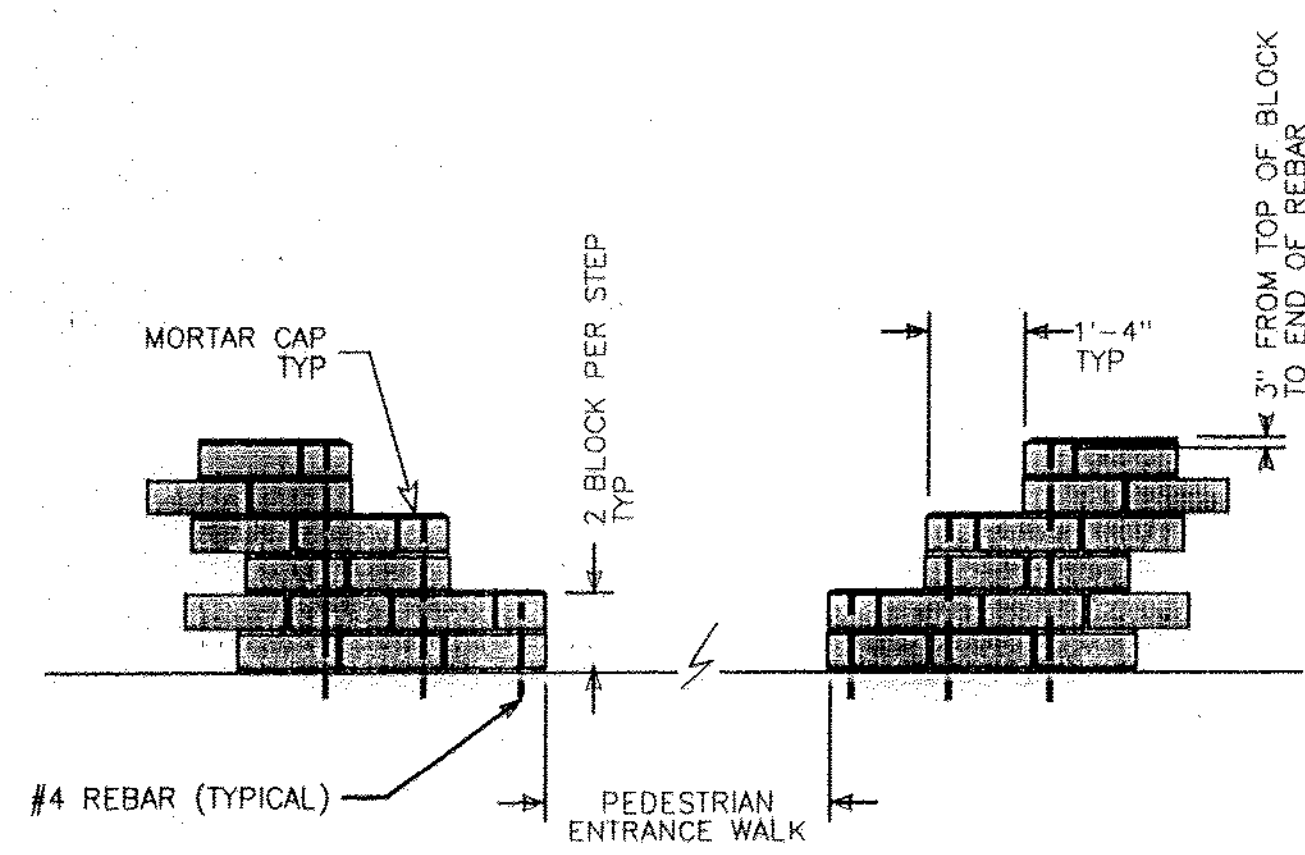
PLANTING PLAN
SCALE 1" = 10'-0"



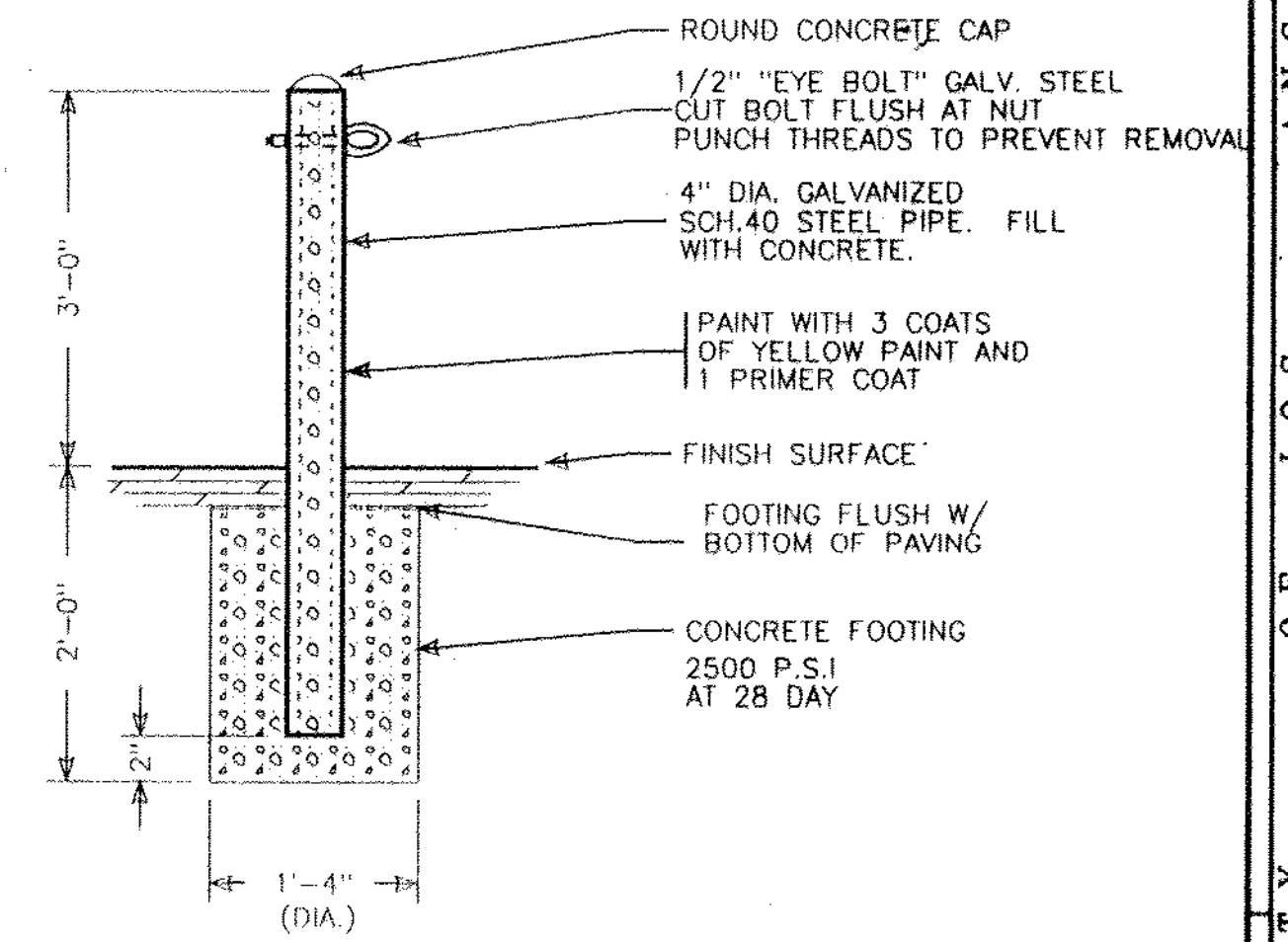
- NOTES:
1. BLOCK SHALL BE ANGELUS 8"x6"x16" SLUMPSTONE - COLOR: GREY. (OR EQUAL)
 2. SOLID FILL ALL BLOCK CELLS WITH CONCRETE.
 3. WHERE MOUNDING OCCURS, PROVIDE BLOCK HEIGHT KEEP HOLES EVERY 32" AT THE LOWER BLOCK COURSE.
 4. CONCRETE FOOTING SHALL HAVE A 28 DAY STRENGTH OF 2500 P.S.I.
 5. WATER PROOF COATING SHALL BE "APOC" MASTIC SYSTEM OR EQUAL (213) 774-8330



- NOTES:
1. CONSTRUCT WALL END(S) WITH MATERIALS AND PROCEDURES PER WALL DETAIL "A".
 2. INSTALL #4 REBAR IN LOCATIONS SHOWN ABOVE. CONNECT TO FOOTING PER WALL DETAIL A.
 3. WALL END DETAIL SHALL BE ONLY CONSTRUCTED AT THE PEDESTRIAN WALK ENTRANCES. DO NOT USE THIS DETAIL FOR AUTOMOBILE ENTRANCES.



- NOTES:
1. CONSTRUCT WALL END(S) WITH MATERIALS AND PROCEDURES PER WALL DETAIL "A".
 2. INSTALL #4 REBAR IN LOCATIONS SHOWN ABOVE. CONNECT TO FOOTING PER WALL DETAIL A.
 3. WALL END DETAIL SHALL BE ONLY CONSTRUCTED AT THE PEDESTRIAN WALK ENTRANCES. DO NOT USE THIS DETAIL FOR AUTOMOBILE ENTRANCES.



- NOTES:
1. ALL WORK SHALL COMPLY WITH "AMERICAN'S WITH DISABILITIES ACT (ADA) OF 1990.
 2. ALL STRIPING AND PAINTED SYMBOLS SHALL BE AN APPROVED BLUE PAINT.
 3. SEE ATTACHED "PARKING STALL STRIPING" AND "CONCRETE WHEEL BUMPER" DETAILS FOR INSTALLATION.
 4. SEE STRIPING PLAN FOR DESIGNATED "VAN SIZED" SPACE. PROVIDE 9' WIDE UNLOADING ZONE.

A WALL DETAIL

L-6 NOT TO SCALE

B PLANTER CURB DETAIL

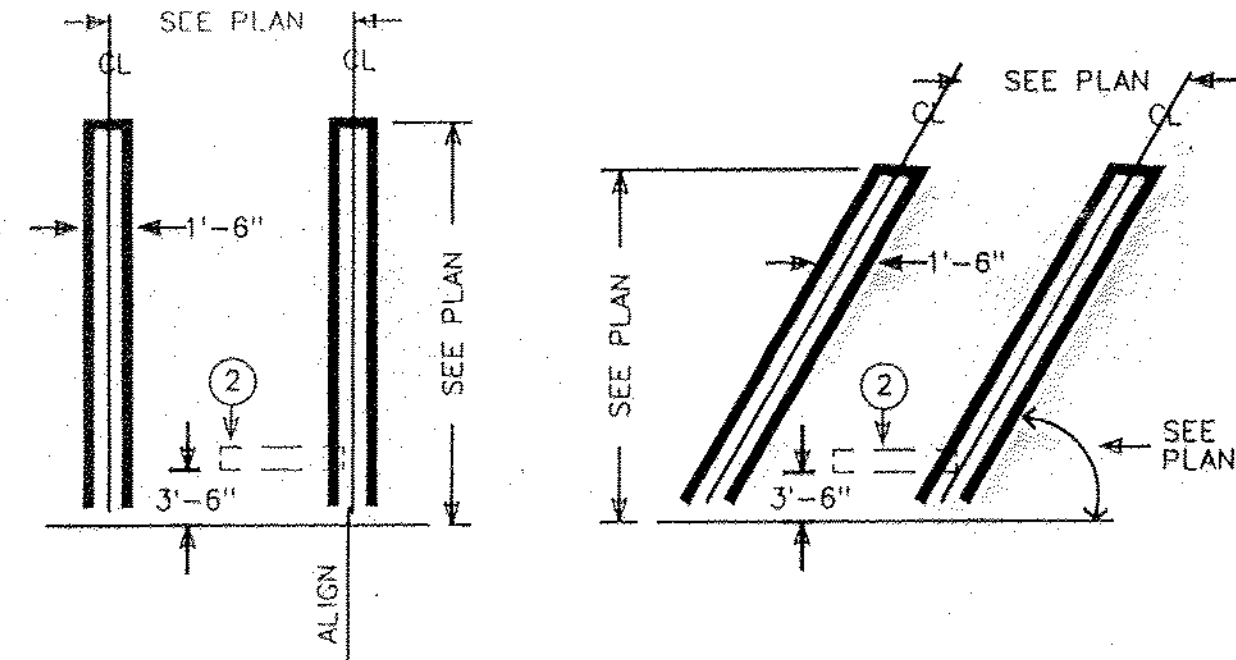
L-6 NO SCALE

C WALL END DETAIL

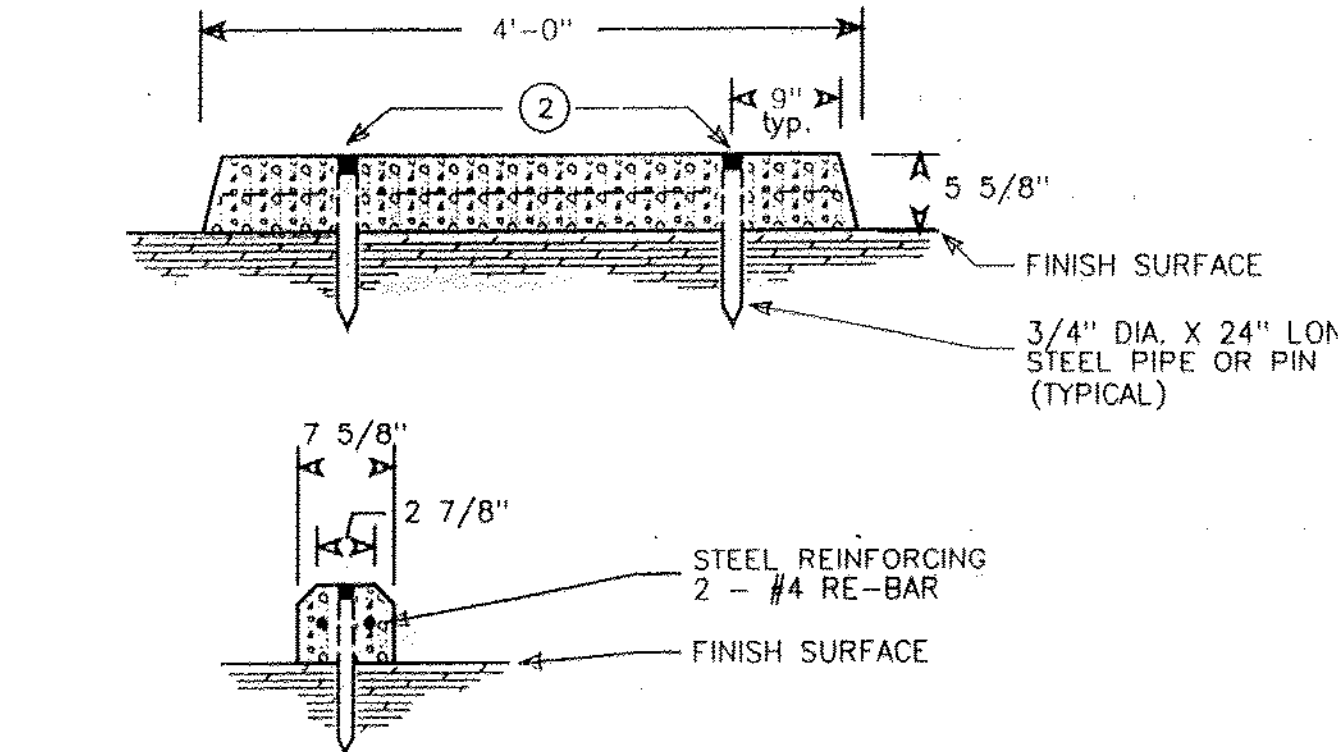
L-6 NOT TO SCALE

D BOLLARD

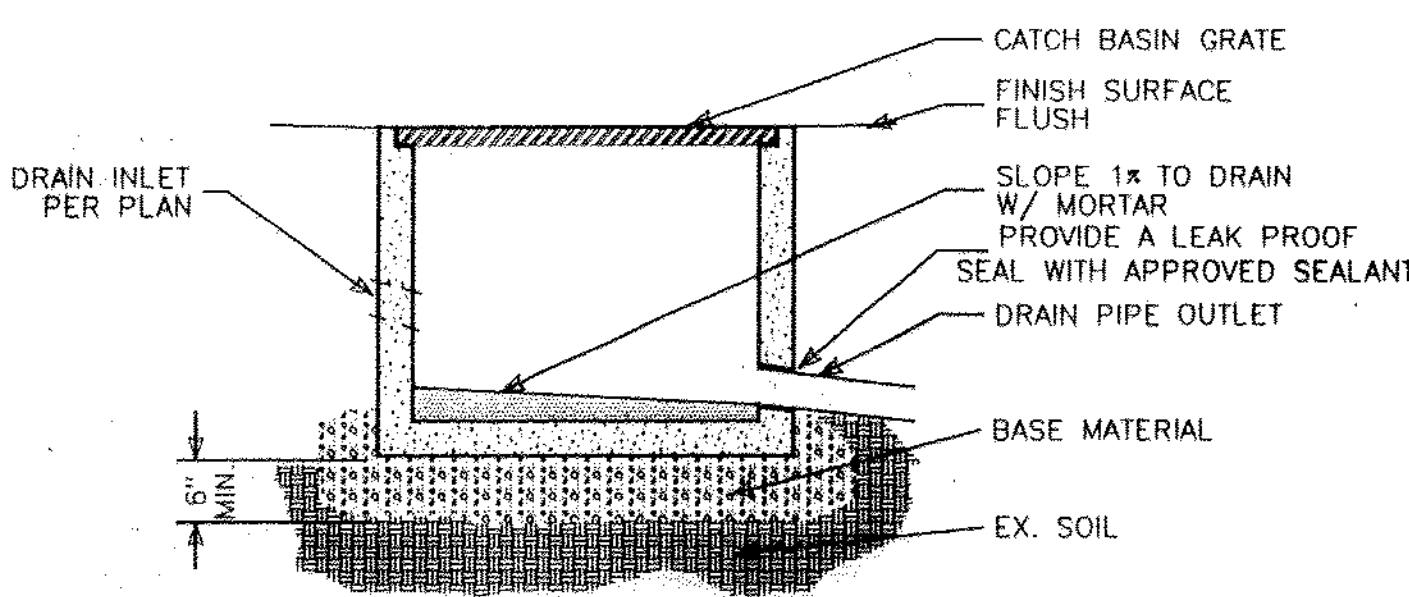
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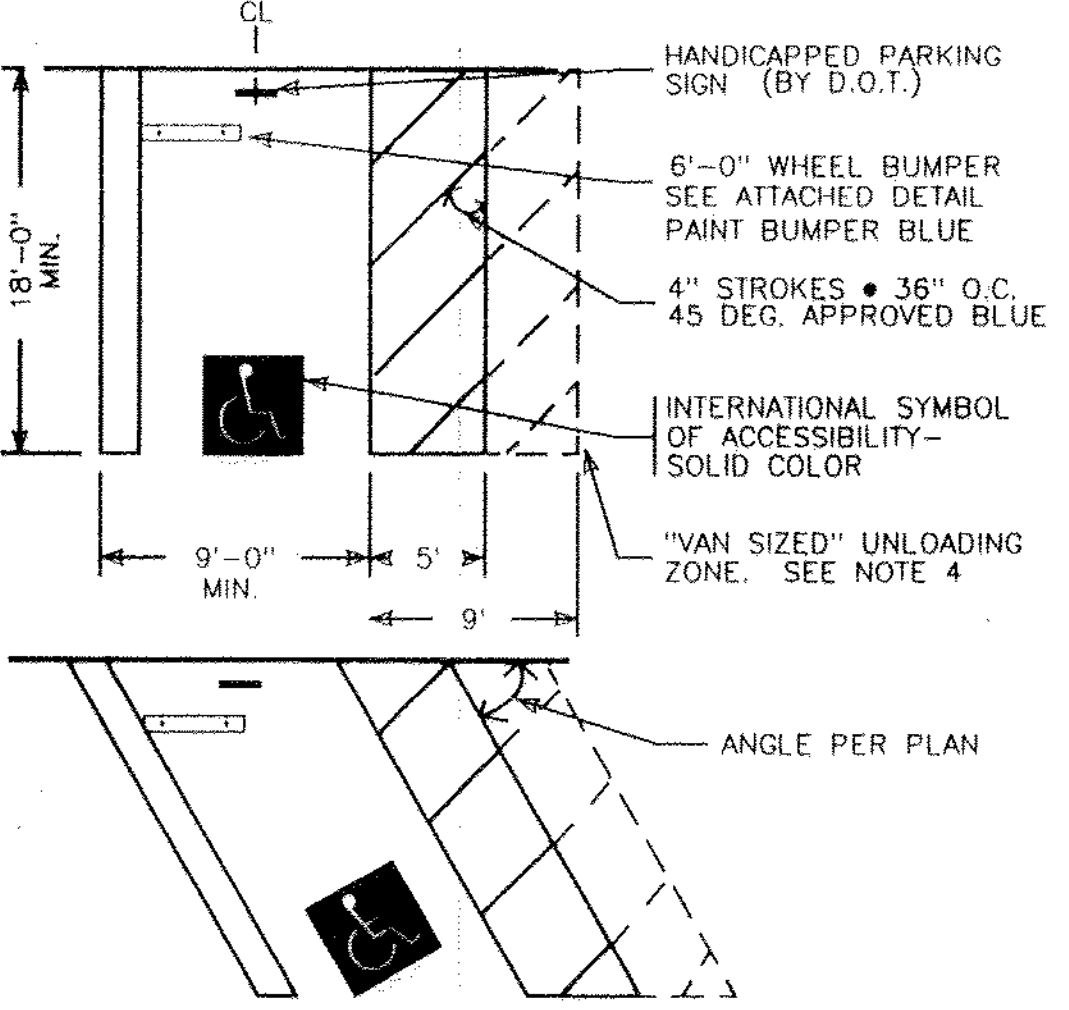
- NOTES:
1. PARKING STALL LINES SHOWN ON STRIPING PLANS ARE DIAGRAMATIC. LINES SHALL BE PAINTED WHITE WITH 4" STROKES IN ACCORDANCE WITH THIS DETAIL.
 2. INSTALL CONCRETE WHEEL BUMPER WHERE INDICATED BY PLANS PER CONCRETE WHEEL BUMPER DETAIL.



- NOTES:
1. INSTALL CONCRETE WHEEL BUMPER WHERE INDICATED BY PLANS. SEE PARKING STALL STRIPING DETAIL FOR PLACEMENT LOCATION.
 2. SECURING PIN SHALL BE DRIVEN 1/4" BELOW WHEEL STOP SURFACE AND FILLED FLUSH WITH WEATHERPROOF SEALANT.
 3. CONCRETE WHEEL BUMPER SHALL BE INSTALLED FLUSH WITH FINISH SURFACE AND SHALL BE SECURELY FASTENED.



- NOTES:
1. INSTALL BROOKS CATCH BASIN PRODUCT MODEL: 18" X 18" CATCH BASIN W/ 5" WALLS AND W.T. 60# TRAFFIC GRATE.
 2. INSTALL SELECT BASE MATERIAL PER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. COMPACT EX. SOIL AND SELECT BASE MATERIAL TO 95% RELATIVE COMPACTION.



- NOTES:
1. ALL WORK SHALL COMPLY WITH "AMERICAN'S WITH DISABILITIES ACT (ADA) OF 1990.
 2. ALL STRIPING AND PAINTED SYMBOLS SHALL BE AN APPROVED BLUE PAINT.
 3. SEE ATTACHED "PARKING STALL STRIPING" AND "CONCRETE WHEEL BUMPER" DETAILS FOR INSTALLATION.
 4. SEE STRIPING PLAN FOR DESIGNATED "VAN SIZED" SPACE. PROVIDE 9' WIDE UNLOADING ZONE.

E PARKING STALL STRIPING

L-6 NOT TO SCALE

F CONCRETE WHEEL BUMPER

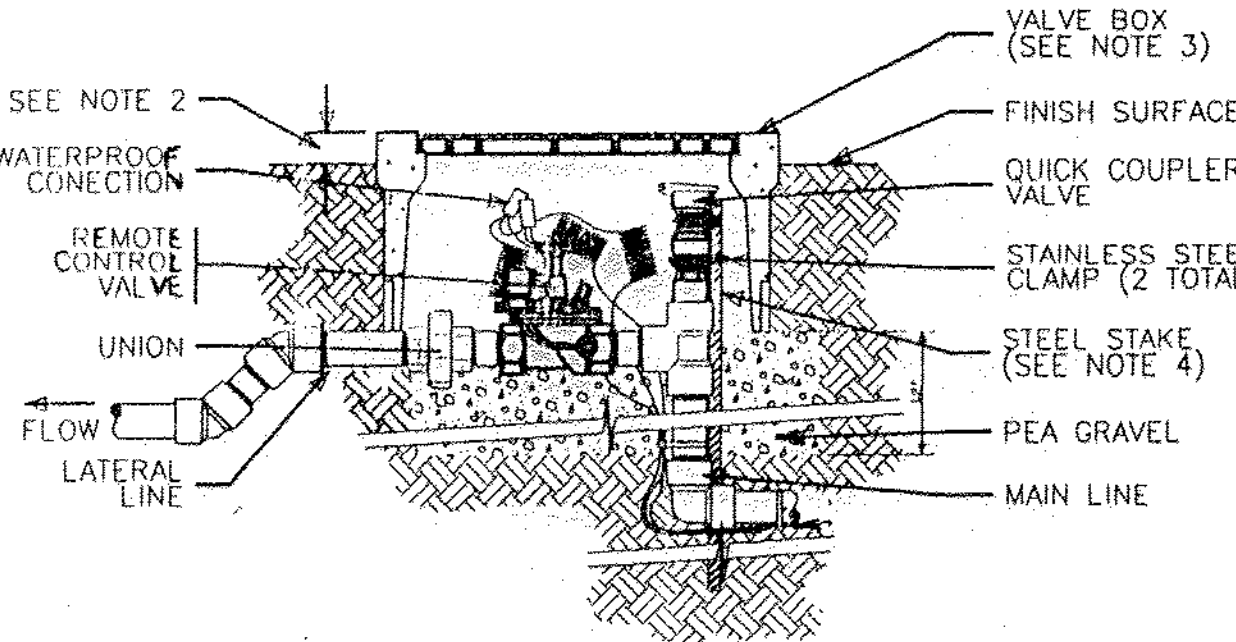
L-6 NOT TO SCALE

G CATCH BASIN DETAIL

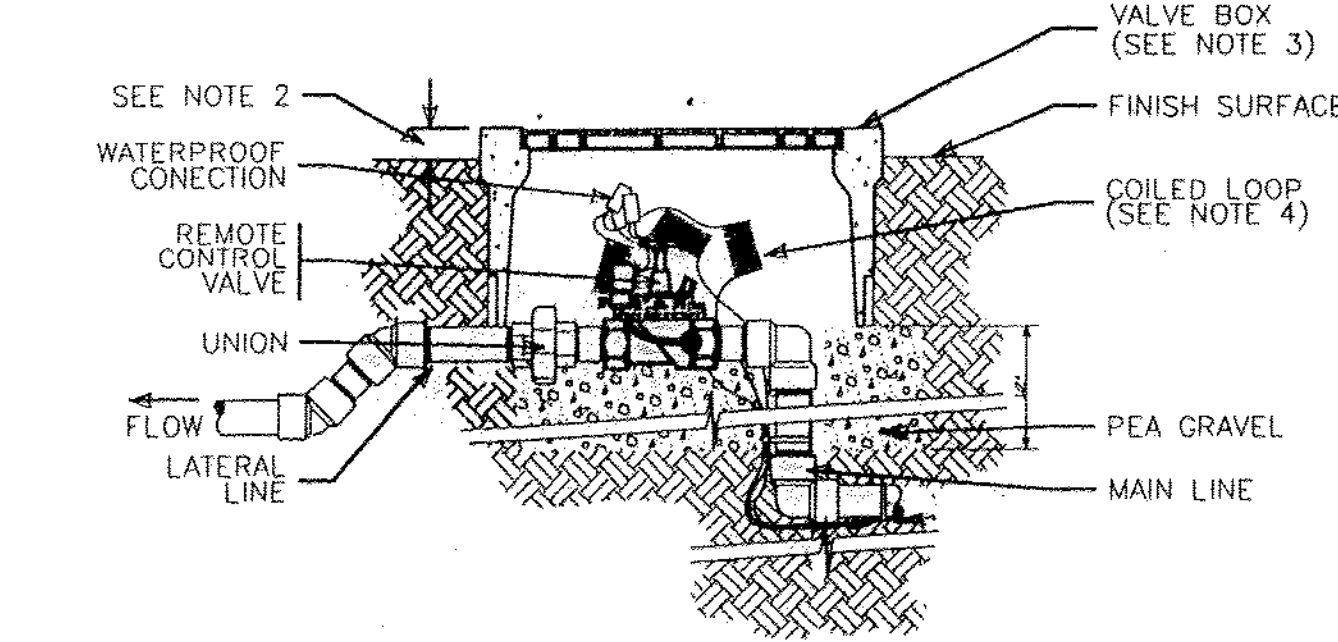
L-6 NOT TO SCALE

H HANDICAPPED PARKING SPACE DETAIL

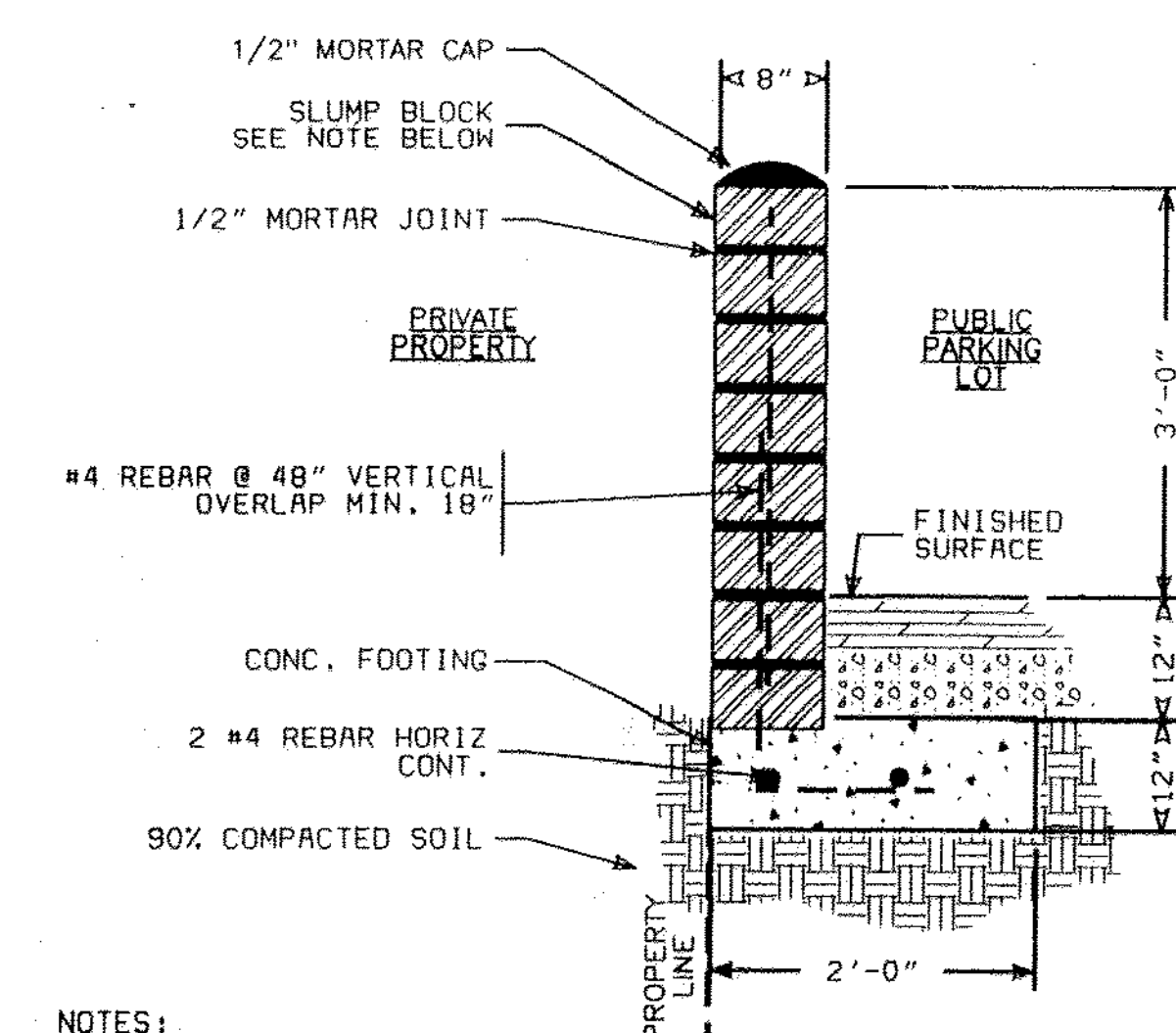
L-6 NOT TO SCALE



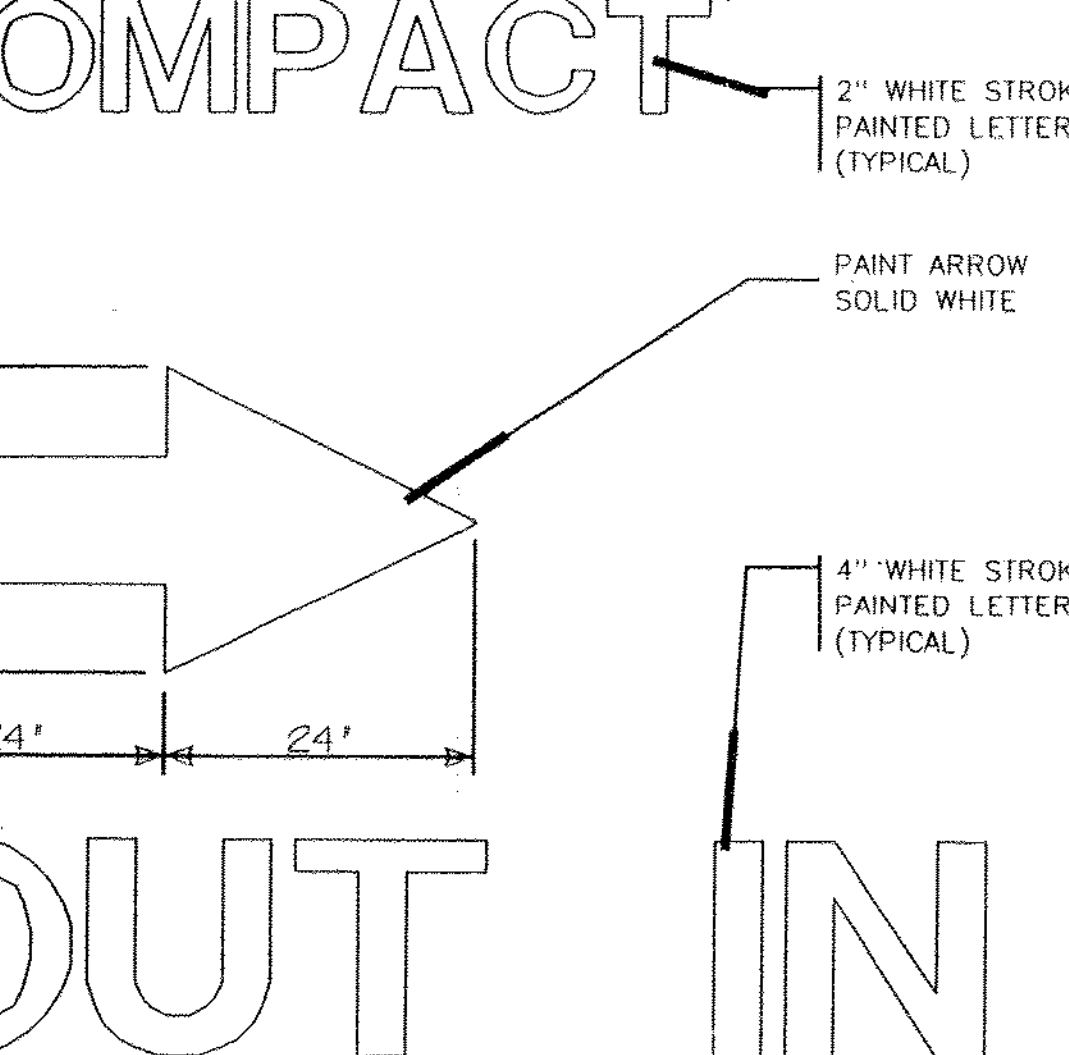
- NOTES:
1. ALL PIPE AND FITTINGS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE SPECIFIED.
 2. FINISH SURFACE ADJACENT TO BOX CAN BE EITHER PLANTED, HARDSCAPE, OR A COMBINATION.
 3. VALVE BOX SHALL BE CONCRETE WITH A CAST IRON LID. BOX DIMENSIONS ARE 9 5/8" X 16" X 12". LID SHALL HAVE THE LETTERS "RCV OC" CAST WITH 2" LETTERS ONTO THE TOP.
 4. STAKE SHALL BE 3/4" GALVANIZED STEEL, 36" LONG. ATTACH STAKE TO QUICK COUPLER WITH STAINLESS STEEL CLAMPS AS SHOWN ABOVE.
 5. PROVIDE TWO FOOT COILED EXPANSION LOOP AT EACH WIRE CONNECTION.



- NOTES:
1. ALL PIPE AND FITTINGS SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE SPECIFIED.
 2. FINISH SURFACE ADJACENT TO BOX CAN BE EITHER PLANTED, HARDSCAPE, OR A COMBINATION.
 3. VALVE BOX SHALL BE CONCRETE WITH A CAST IRON LID. BOX DIMENSIONS ARE 9 5/8" X 16" X 12". LID SHALL HAVE THE LETTERS "RCV OC" CAST WITH 2" LETTERS ONTO THE TOP.
 4. PROVIDE TWO FOOT COILED EXPANSION LOOP AT EACH WIRE CONNECTION.



- NOTES:
1. BLOCK SHALL BE ANGELUS 8"x6"x16" SLUMPSTONE - COLOR: GREY.
 2. SOLID FILL ALL BLOCK CELLS WITH CONCRETE.
 3. CONCRETE FOOTING SHALL HAVE A 28 DAY STRENGTH OF 2500 P.S.I.



- NOTES:
1. ALL WORK SHALL COMPLY WITH "AMERICAN'S WITH DISABILITIES ACT (ADA) OF 1990.
 2. ALL STRIPING AND PAINTED SYMBOLS SHALL BE AN APPROVED BLUE PAINT.
 3. SEE ATTACHED "PARKING STALL STRIPING" AND "CONCRETE WHEEL BUMPER" DETAILS FOR INSTALLATION.
 4. SEE STRIPING PLAN FOR DESIGNATED "VAN SIZED" SPACE. PROVIDE 9' WIDE UNLOADING ZONE.

I REMOTE CONTROL VALVE AND QUICK COUPLER

L-6 NOT TO SCALE

J REMOTE CONTROL VALVE

L-6 NOT TO SCALE

K PROPERTY LINE WALL DETAIL

L-6 NOT TO SCALE

L TYPICAL LETTERS AND ARROWS

L-6 NO SCALE

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING
ROBERT S. HORII CITY ENGINEER
ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890
PHONE 485-5825

CITY ENGINEER
DEPUTY CITY ENGINEER
PRINCIPAL ARCHITECT
STRUCTURAL ENG.
BLOG. MECH. ENG.
BLOG. ELEC. ENG.

CONSTRUCT OFF-STREET PARKING LOT
42/707 BICO-MOVABLE OFF-STREET PARKING LOT - PHASE 2
10309 WEST PICO BOULEVARD, LOS ANGELES CA
FOR: DEPARTMENT OF TRANSPORTATION

DETAIL SHEET
BLOG. NO.
42/707
WORK ORDER NO.
E1560012
PLAN NO.
7988
DATE 6/12/12
JOB CAPTAIN LO
DRAWN BY BSL
CHECKED BY AD
SHEET NO.

INDEX NUMBER

SHEET OF SHEETS

BLDG. NO. 42/707

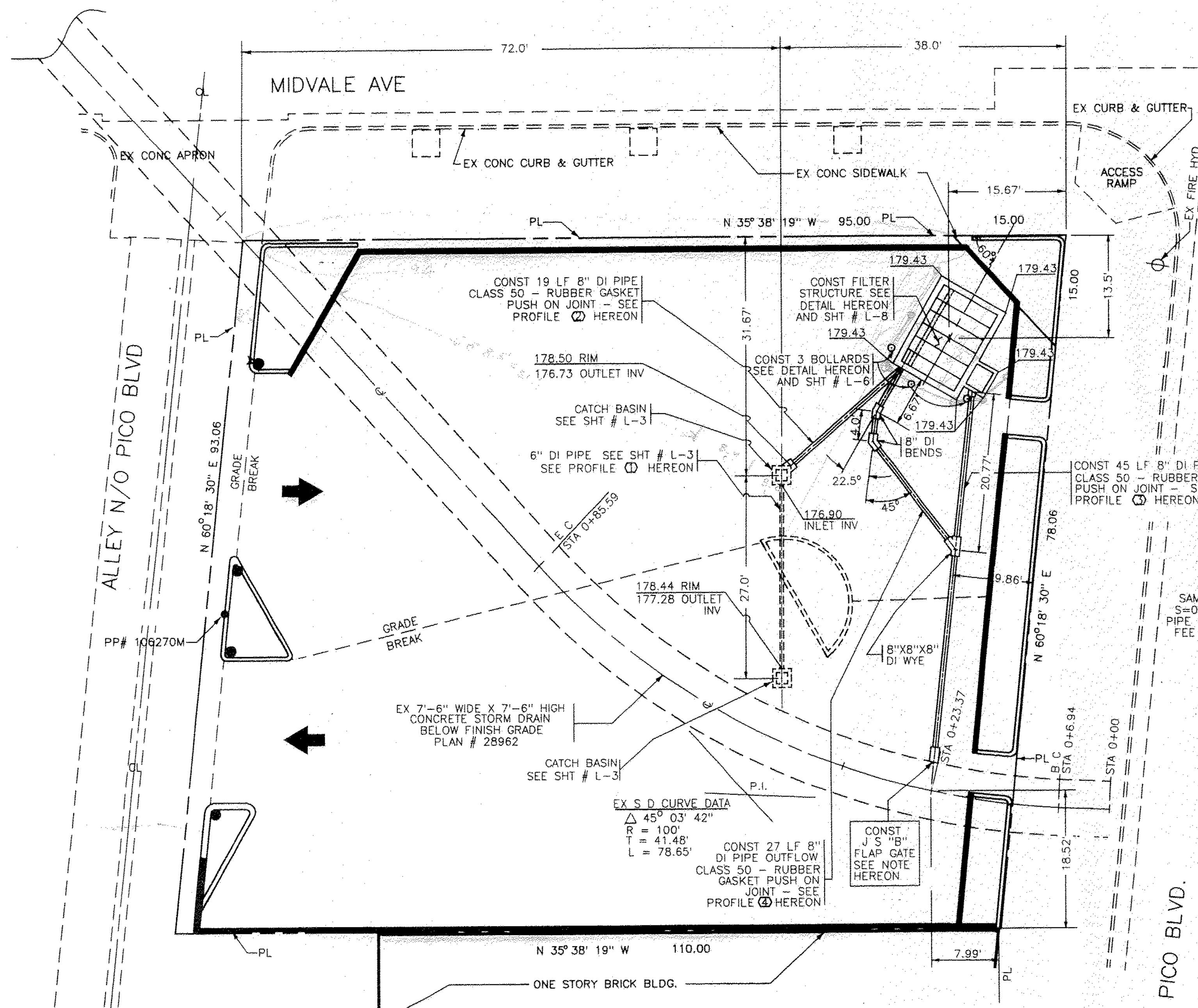
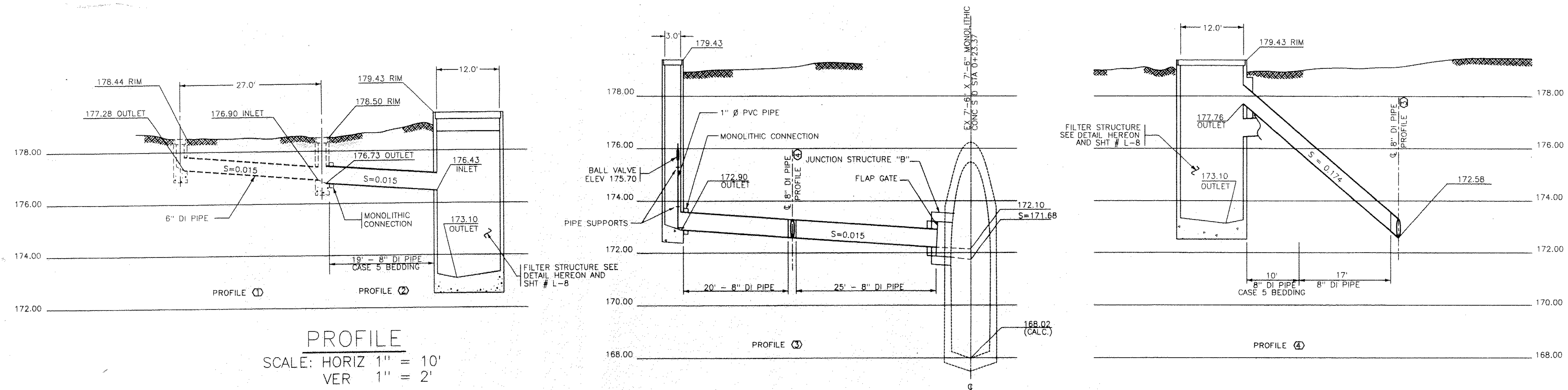
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OF 11 SHTS

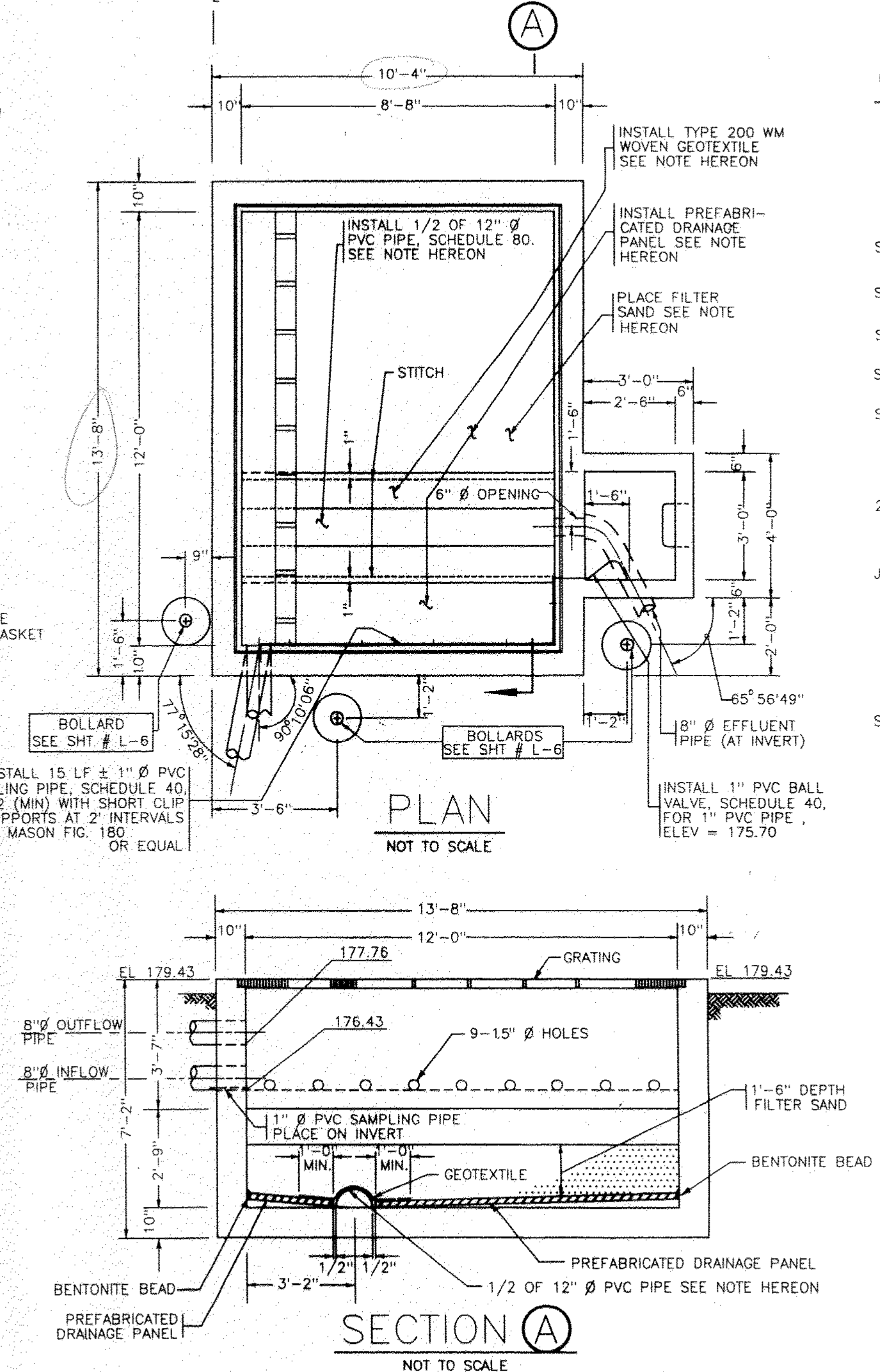
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DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING
ROBERT S. HORII CITY ENGINEER
ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 800 PHONE 465-5925



STRIP FILTER PLAN
SCALE 1" = 10'-0"



CONSTRUCTION NOTES

- STANDARD PLANS FOR THIS PROJECT
- CITY OF LOS ANGELES
- S-610 NOTICE TO CONTRACTORS - COMPREHENSIVE
 - S-251-1 PIPE LAYING IN TRENCHES
 - S-302-1 JUNCTION STRUCTURE "B"
 - S-331-1 MONOLITHIC CONNECTION
 - S-348-1 STEEL STEP FOR CONCRETE STRUCTURES
- LACFCO
- 2-D192 AUTOMATIC FLAP GATE INLETS TO STORMDRAINS
- J S "B" DATA AT STA 0 + 23.37:
- A = 83' 49' 08" B = 21' C = 7.87' D = 7.50'
E = 1.83' F = 4.88' G = 3.75' L = 2.60'
MODIFIED FLAP GATE DATA:
D = 8" Z = 5"
- STRIP FILTER DRAINAGE SYSTEM:
- FABRICATE THE 1/2 OF 12" Ø PVC PIPE PER NOTE NO. 9 ON SHEET L-9 AND PLACE ON THE INVERT OF THE FILTER STRUCTURE AS SHOWN HEREON AND ON SHEET L-8. SEAL AT BOTH ENDS WITH MATERIAL APPROVED BY ENGINEER TO PREVENT LEAKAGE.
 - INSTALL APPROX 94 SF PREFABRICATED DRAINAGE PANEL PER SPECIAL PROVISIONS DIRECTLY ON THE INVERT OF THE FILTER STRUCTURE WITH FABRIC SIDE UP. INSTALL IN TWO SECTIONS ON BOTH SIDES OF THE 1/2 OF 12" Ø PVC PIPE. SEAL AT THE WALLS OF THE FILTER STRUCTURE WITH 1" BENTONITE BEAD IN ORDER TO PREVENT LEAKAGE.
 - PLACE APPROX 31 SF TYPE 200 WM WOVEN GEOTEXTILE OVER THE 1/2 OF 12" Ø PVC PIPE. OVERLAP THE WOVEN GEOTEXTILE 1'-0" MIN ONTO THE PREFABRICATED DRAINAGE PANEL ON BOTH SIDES OF PIPE AND STITCH TO PREFABRICATED DRAINAGE PANEL 1" FROM EDGE ON BOTH SIDES WITH STITCHING MATERIAL TO BE APPROVED BY THE ENGINEER.
 - PLACE APPROX 5.8 CY FILTER SAND OVER THE PREFABRICATED DRAINAGE PANEL, WOVEN GEOTEXTILE, AND PIPE TO A DEPTH OF 1'-6" THE FILTER SAND SHALL HAVE AN EFFECTIVE SIZE OF 0.5 MM AND A UNIFORMITY COEFFICIENT NOT GREATER THAN 1.65. EFFECTIVE SIZE IS THE 10 PERCENTILE DIAMETER. UNIFORMITY COEFFICIENT IS THE RATIO OF THE 60 PERCENTILE DIAMETER TO THE 10 PERCENTILE DIAMETER.

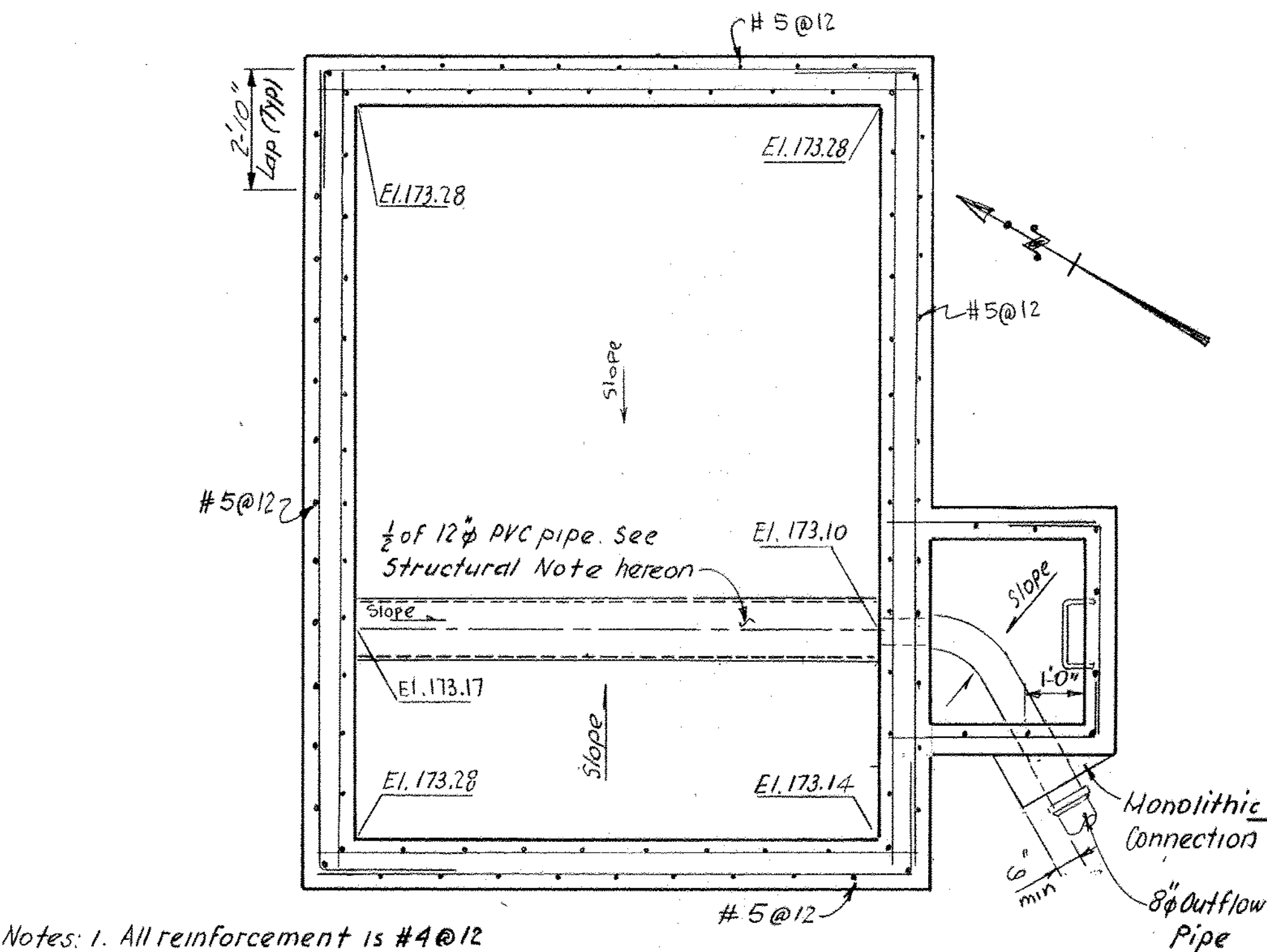
| CITY ENGINEER | DEPUTY CITY ENGINEER | ARCHITECT | STRUCTURAL ENG. | BLOG. MECH. ENG. | BLOG. ELEC. ENG. |
|--|----------------------|-----------|-----------------|------------------|------------------|
| | | | | | |
| STRIP FILTERS CONSENT DECREE CONSTRUCTION PLAN | | | | | |
| CONSTRUCT OFF-STREET PARKING LOT | | | | | |
| 42/707 PICO-MIDVALE OFF-STREET PARKING LOT - PHASE 2 | | | | | |
| 10809 WEST PICO BOULEVARD, LOS ANGELES CA | | | | | |
| FOR: DEPARTMENT OF TRANSPORTATION | | | | | |
| BLOG. NO. | 42/707 | | | | |
| WORK ORDER NO. | E1560012 | | | | |
| PLAN NO. | 7988 | | | | |
| DATE | 11-22-91 | | | | |
| JOB CAPTAIN | CN | | | | |
| DRAWN BY | NPP | | | | |
| CHECKED BY | JAC | | | | |
| SHEET NO. | L-7 | | | | |
| BLDG. NO. | 42/707 | SHEET | OF | SHEETS | INDEX NUMBER |
| | | | | | |

STRUCTURAL NOTES

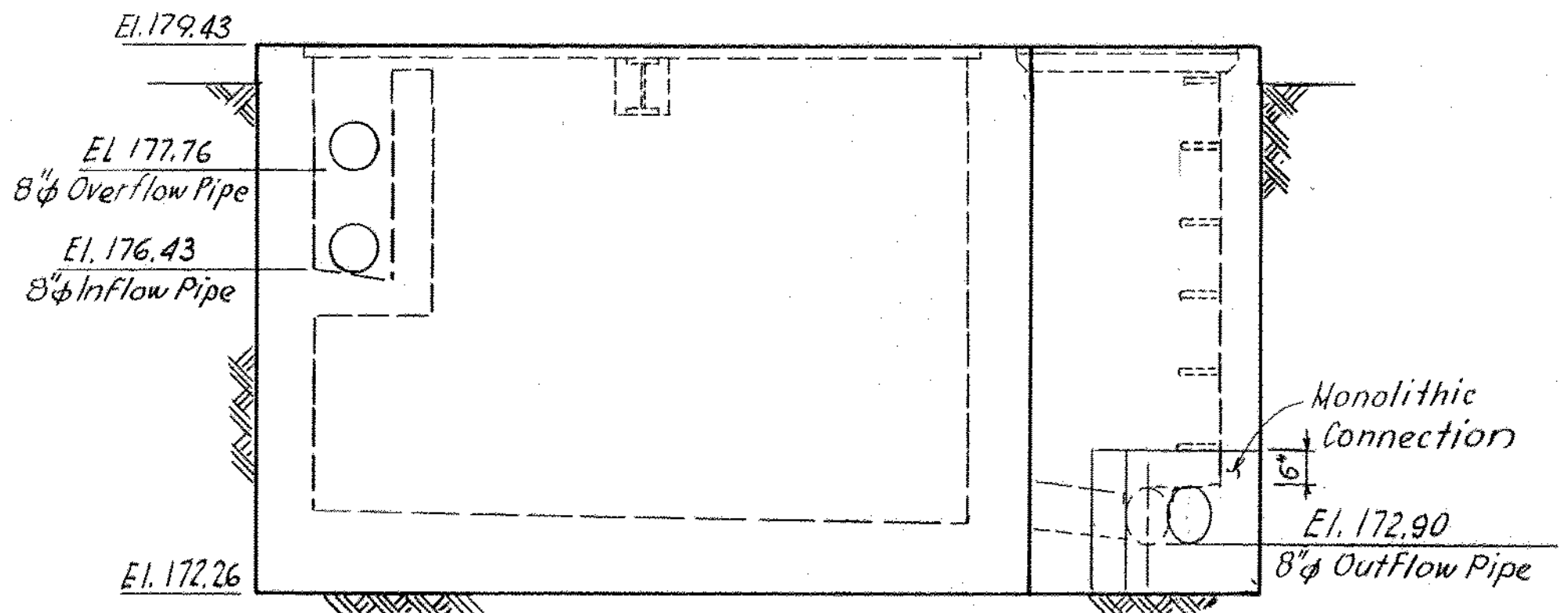
- 1. Reinforcing bars shall be intermediate grade, deformed bars conforming to ASTM designation A615, including Supplement S1, grade 60.
- 2. Bar spacings are center to center of bars. Bar cover is clear distance between surface of bar and face of concrete and shall be as follows unless otherwise noted:
 - a. Concrete deposited against earth: 3"
 - b. Invert: 2 1/2"
 - c. All other bars: 2"
- 3. a. Reinforcement shall terminate 2" from concrete surface unless otherwise noted.
- b. Bars may be continuous in lieu of splicing
- c. Hooked bars shall have standard hooks.
- 4. All concrete shall be Class 560-C-3250 unless otherwise specified.
- 5. All structural steel shall conform to ASTM A36. All structural steel and connections shall be galvanized after fabrication.
- 6. All welding shall be done by Los Angeles City Building Department certified welder using approved electrodes.
- 7. All field welds shall be thoroughly cleaned and painted with organic zinc rich paint, Galvanox Type I, as manufactured by Wyandotte Chemical Co., or approved equal.
- 8. Grating shall be 1KG Borden pressure locked grating Type "B" or an approved equal. Grating shall be galvanized after fabrication.
- 9. Invert PVC pipe shall be 12" dia. schedule 80 with 2 rows one inch dia. holes spaced 3" o.c., 180° apart. Contractor shall cut the pipe in half along centerline of holes.
- 10. The Contractor shall submit the shop drawings of gratings before fabrication to the Engineer for approval

DESIGN DATA

| | |
|-------------------------|--------------------------------|
| LIVE LOAD | |
| Pedestrian | 150 p.s.f. |
| DEAD LOAD | |
| Concrete: | 150 p.c.f. |
| Soil: | 115 p.c.f. |
| LATERAL EARTH PRESSURE | |
| E.F.P. (Level Backfill) | 36 p.c.f. + 2' surcharge |
| ALLOWABLE STRESSES | |
| Concrete: | $F_c = 3,250$ p.s.i. @ 28 days |
| Reinforcement | $F_y = 60,000$ p.s.i. |
| Soil Bearing Pressure | $P = 2,000$ p.s.f. |



INVERT PLAN
Scale: 1/2" = 1'-0"



ELEVATION
Scale: 1/2" = 1'-0"

Revised 8/10/93
Contract AD did a "partial" final insp. on 7/20/93 and is doing a "Full Final" Insp. today.
Handled

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING
ROBERT S. HORII CITY ENGINEER

ARCHITECTURAL DIVISION
CITY HALL EAST ROOM 890
PHONE 485-5825

CITY ENGINEER
DEPUTY CITY ENGINEER

DIVISION ENGINEER (E-094)
L. W. JONES, P.E.
11-15-91

STRUCTURAL NOTES AND DETAILS

CONSTRUCT OFF-STREET PARKING LOT
42/707 PICO-MIDVAL OFF-STREET PARKING LOT - PHASE 2
10909 WEST PICO BOULEVARD, LOS ANGELES, CA.
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO.
42 / 707

WORK ORDER NO.
E1560012

PLAN NO.
7988

DATE
11-15-91

JOB CAPTAIN

DRAWN BY
D.T.

CHECKED BY

SHEET NO.
L-9

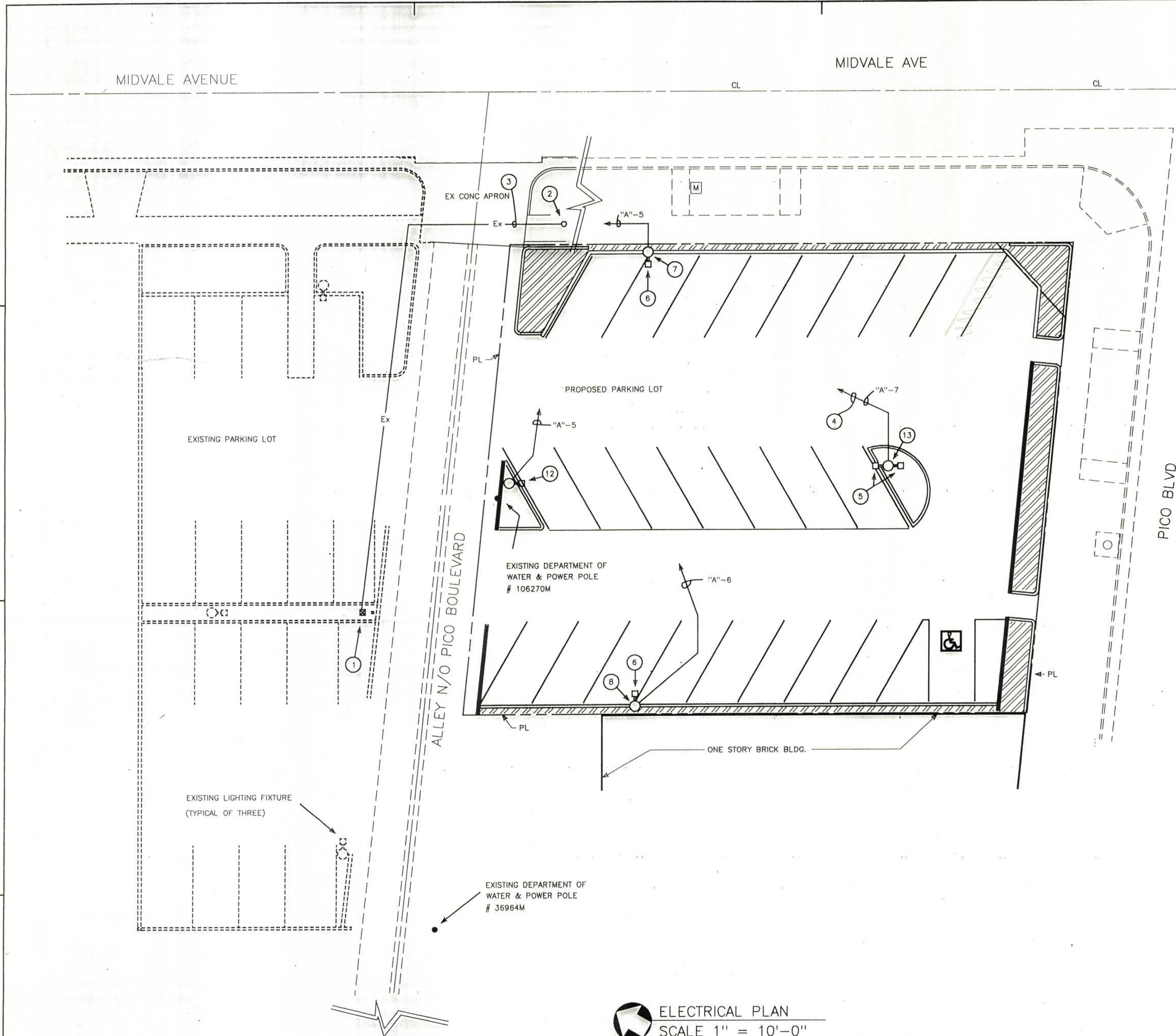
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SHEET OF SHEETS

INDEX NUMBER

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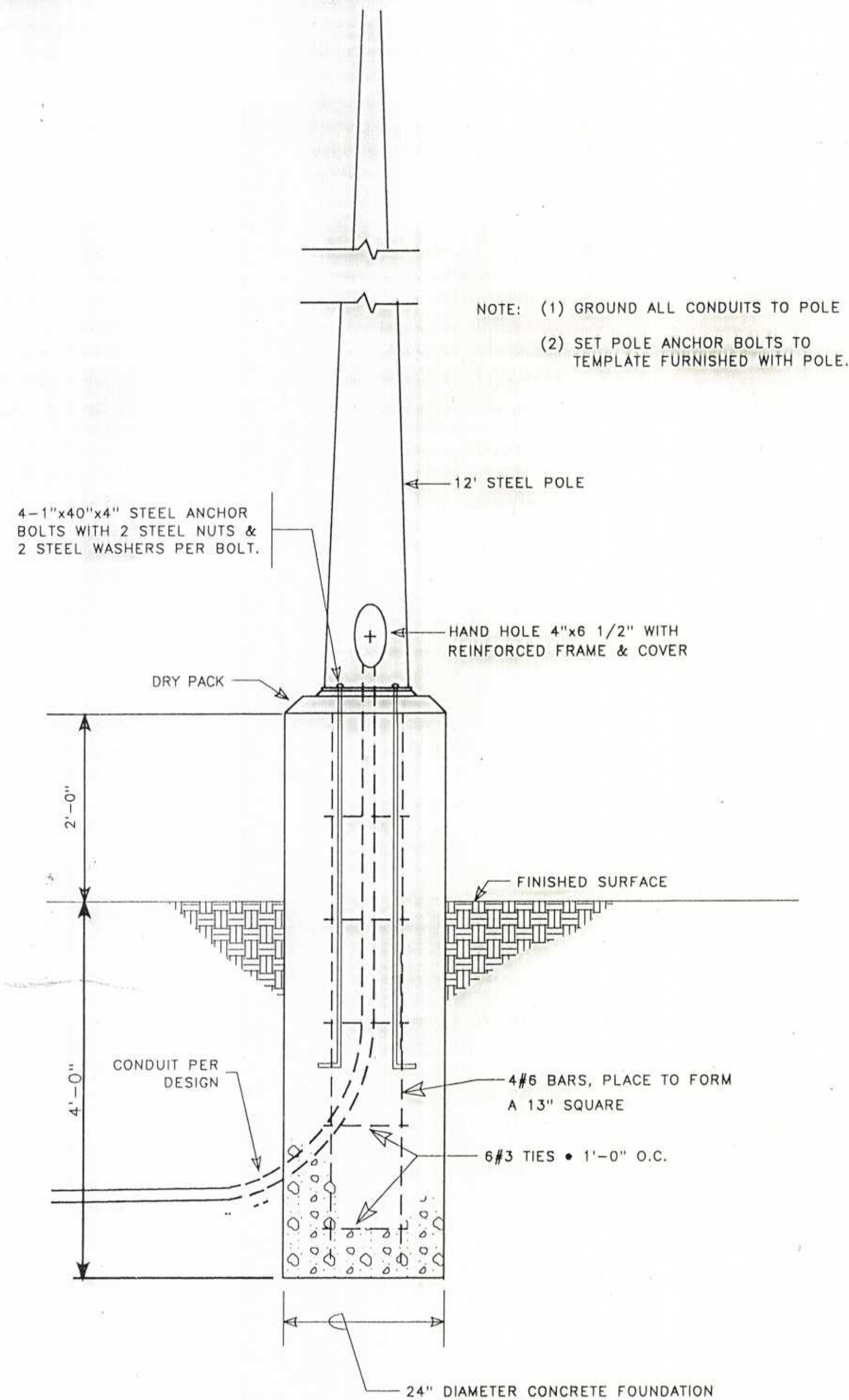


ELECTRICAL PLAN
SCALE 1" = 10'-0"

NOTES (ELECTRICAL)

- 1 EXISTING UNDERGROUND SERVICE PEDESTAL. PROVIDE & INSTALL THREE-1P-20 AMP. CIRCUIT BREAKERS IN SPACES 5,6 & 7 OF EXISTING PANEL "A".
- 2 EXISTING UNDERGROUND ELECTRICAL PULL BOX. (APPROX. LOCATION SHOWN ONLY).
- 3 EXISTING 1" CO(E) TERMINATING AT 2 . PROVIDE & INSTALL 5#10 CONDUCTORS IN EXISTING 1"CO(E). CONNECT TO 1 .
- 4 PROVIDE & INSTALL 3/4"(C)-2#10 SOLID TYPE CONDUCTORS. CIRCUIT AS SHOWN. CONNECT TO 2 . (TYPICAL).
- 5 PROVIDE & INSTALL TWO 250 WATT, METAL HALIDE LIGHTING FIXTURES WITH PHOTO - CELL. 120 VOLT OPERATION. " KIM " CAT. # 2B/EKG401/250MH120/BL-E/A-25.
- 6 PROVIDE & INSTALL A 250 WATT, METAL HALIDE LIGHTING FIXTURE WITH PHOTO - CELL & FACTORY INSTALLED HOUSE SIDE GLARE REDUCING SHIELD. 120 VOLT OPERATION. " KIM " CAT. # 1A/EKG401/250MH120/BL-E/HS/A-25.
- 7 CENTERLINE OF POLE FOOTING TO BE ALIGNED WITH CENTERLINE OF NEW 3'-6" BLOCK WALL.
- 8 PROVIDE & INSTALL A 12 FOOT HIGH, SQUARE, NON-TAPERED STEEL POLE. "KIM" CAT. # PSS12-4120/A/BL-E. (TYPICAL OF THREE). SEE SHEET E-2 FOR POLE FOOTING DETAIL.
- 9 ALL CONDUCTORS TO BE TYPE THHN-THWN.
- 10 TOP OF ALL UNDERGROUND CONDUIT SHALL BE A MINIMUM OF TWO FEET BELOW FINISHED GRADE.
- 11 FOLLOWING THE INSTALLATION OF ALL REQUIRED WORK; REPAIR & REPLACE IN KIND, COLOR & FINISH, ALL SIDEWALKS, CURBS, PAVING, ETC. REMOVED OR DAMAGED FOR THE PURPOSE OF INSTALLING THE REQUIRED ELECTRICAL EQUIPMENT (INCLUDING THE LIGHTING FIXTURES).
- 12 SAME AS 6 , EXCEPT WITHOUT HOUSE SIDE GLARE REDUCING SHIELD. " KIM " CAT. # 1A/EKG401/250MH120/BL-E/A-25.
- 13 SAME AS 8 , EXCEPT " KIM " CAT. # PSS12-4120/B/BL-E.

| | | | |
|--|----------------------|---|------------------|
| CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS | | BUREAU OF ENGINEERING ROBERT S. HORII CITY ENGINEER ARCHITECTURAL DIVISION CITY HALL EAST ROOM 890 PHONE 485-5825 | |
| CITY ENGINEER | DEPUTY CITY ENGINEER | PRINCIPAL ARCHITECT | |
| ARCHITECT | STRUCTURAL ENG. | BLOG. MECH. ENG. | BLOG. ELEC. ENG. |
| ELECTRICAL PLAN & NOTES | | CONSTRUCT OFF-STREET PARKING LOT - PHASE 2 | |
| 42/707 PICO-MIDVALE OFF STREET PARKING LOT - PHASE 2 | | 2177 MIDVALE AVENUE, LOS ANGELES CA | |
| FOR: DEPARTMENT OF TRANSPORTATION | | | |
| BLDG. NO. | 42/707 | WORK ORDER NO. | E1560012 |
| PLAN NO. | 7182 | DATE | 2-25-92 |
| JOB CAPTAIN | LO | DRAWN BY | SL |
| CHECKED BY | EN | SHEET NO. | E-1 |
| BLDG. NO. | 42/707 | SHEET | OF |
| INDEX NUMBER | | | |



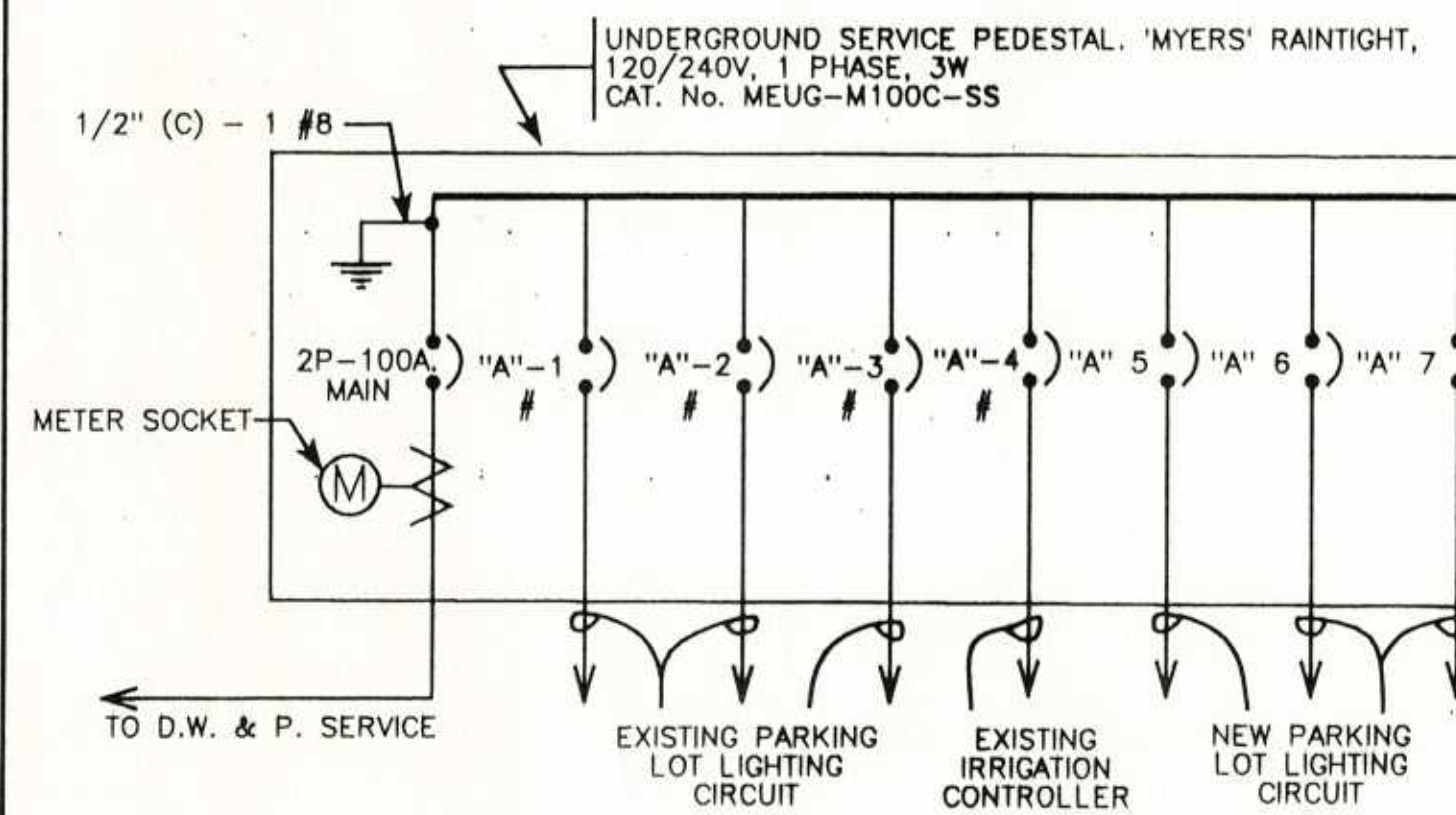
LIGHTING STANDARD & FOOTING
NO SCALE

| | | | | | | | | | | | |
|-----------------------|-----------|-----------|---------|------|-------|---------------------------|-------------|-------|-------|-----------------------|--|
| VOLTS | | 120 / 240 | | | | | | | | | |
| PHASE | | 1 | | | | PANEL | | " A " | | MAIN BREAKER 100 AMP. | |
| WIRES | | 3 | | | | | | | | BUS SIZE 100 AMP. | |
| CIR. NO. | CIR.BRKR. | | OUTLETS | | | REMARKS | | WATTS | | | |
| | POLE | AMP | LTS. | REC. | MISC. | | | L-1 | L-2 | L-3 | |
| 1 | 1 | 15 | 1 | | | 250 WATT LIGHTING FIXTURE | 300 | | | | |
| 2 | 1 | 15 | 1 | | | 250 WATT LIGHTING FIXTURE | 300 | | | | |
| 3 | 1 | 15 | 1 | | | 250 WATT LIGHTING FIXTURE | | 300 | | | |
| 4 | 1 | 15 | | | 1 | IRRIGATION CONTROLLER | | 180 | | | |
| 5 | 1 | 15 | 2 | | | 250 WATT LIGHTING FIXTURE | 600 | | | | |
| 6 | 1 | 15 | 1 | | | 250 WATT LIGHTING FIXTURE | 300 | | | | |
| 7 | 1 | 15 | 2 | | | 250 WATT LIGHTING FIXTURE | | 600 | | | |
| 8 | | | | | | | | | | | |
| 9 | | | | | | | | | | | |
| 10 | | | | | | | | | | | |
| 11 | | | | | | | | | | | |
| 12 | | | | | | | | | | | |
| SUB-TOTALS | | | | | | | 1500 | 1080 | | | |
| TOTAL WATTS | | | | | | | = 2580 | | | | |
| L.C.L. WATTS | | | | | | | 2400 | x0.25 | = 600 | | |
| TOTAL LOAD | | | | | | | = 3180 | | | | |
| LINE AMPS | | | | | | | = 13.3 AMPS | | | | |
| A.I.C. 10 000 MINIMUM | | | | | | | | | | | |

PANEL SCHEDULE

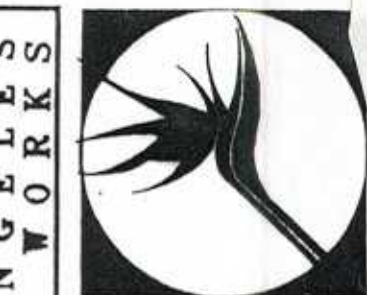
DENOTES EXISTING LOAD

SHORT CIRCUIT CURRENT AT SERVICE: 7200
ALL BREAKERS SHALL BE MINIMUM: 10 000 A.I.C.



SINGLE LINE DIAGRAM

DENOTES EXISTING LOAD



CITY OF LOS ANGELES
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CITY ENGINEER

DEPUTY CITY ENGINEER

PRINCIPAL ARCHITECT

ARCHITECT

STRUCTURAL ENG.

BLDG. MECH. ENG.

BLDG. ELEC. ENG.

ELECTRICAL DETAIL SHEET

CONSTRUCT OFF-STREET PARKING LOT - PHASE 2

42/707 PICO-MIDVALE OFF STREET PARKING LOT - PHASE 2
2377 MIDVALE AVENUE, LOS ANGELES CA
FOR: DEPARTMENT OF TRANSPORTATION

BLDG. NO. 42/707

WORK ORDER NO. E1560012

PLAN NO. 7988

DATE 2-25-92

JOB CAPTAIN LO

DRAWN BY SL

CHECKED BY EN

SHEET NO.

E-2

INDEX NUMBER

SHEET OF SHEETS

42/707

BLDG. NO. 42/707

